

7/14/2020

**CERTIFICATE OF APPROPRIATENESS**

George Bogaert  
Tuff Shed, Inc.  
34425 Schoolcraft  
Livonia, MI 48150

**RE: Application Number 20-6757; 867 Edison Street, Boston-Edison Historic District**

Dear Mr. Bogaert,

At the regularly scheduled meeting held virtually on July 8, 2020, the Detroit Historic District Commission (“Commission”) reviewed the above-referenced application for building permit. Pursuant to Section 5(10) of the Michigan Local Historic District Act, as amended, being MCL 399.205, MSA 5-3407(5)(10) and Section 21-2-73 of the 2019 Detroit City Code; the Commission has reviewed the above-referenced application for building permit and hereby issues a Certificate of Appropriateness, which is effective as of July 14, 2020.

The following proposed work meets the defined elements of design for the historic district and the Secretary of the Interior’s Standards for Rehabilitation and guidelines for rehabilitating historic buildings (36 CFR Part 67).

**• Erect a new 16’ x 20’ x 11’ detached garage (2x4 wood frame construction) on existing concrete pad including the following materials and products:**

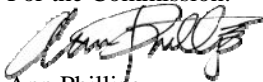
- 3/8 SmartSide Exterior Vertical Groove Siding with a “cedar texture”. First coat of paint on the body of the garage to be “Tundra Frost” (white in color) and trim to be “Delicate White” (white in color).
- 8’ x 7’ white raised panel overhead garage door located on alley (south) façade and accessed via the alley (color: white).
- 3’-0” x 6’-8” steel pedestrian door located on the north end of the west façade off of the rear yard. The door will be a white/gray primed door which will be painted by the property owner (color unknown).
- Gable roof to be 4:12 in pitch and covered in 3 tab asphalt shingles (color: Charcoal). A small vent is to be centered in the peak of the north and south roof gables. The vents are to be 12” x 12” white plastic louvered vents with screens.
- (1) 3’ W x 2’ H vinyl slider window to be centered on the north elevation at 4’-2” above grade.
- No electrical work or exterior lighting is included in this application.

**With the following conditions:**

- The cladding of the garage is to be a horizontal true lapped siding (not panelized) with a 4” – 6” reveal and smooth in finish.
- The window is to be wood, aluminum-clad wood, or aluminum rather than vinyl and the operation of the window is to be 1/1 double-hung rather than a slider.
- Paint color selections are to complement the existing house.
- The applicant shall revise the submission to reflect the updated siding, window, and paint selections and submit to HDC staff for review and approval prior to pulling the building permit for the project.

Please retain this COA for your files. You should now proceed to obtain a building permit from the City of Detroit Buildings, Safety, Engineering and Environmental Department. It is important to note that approval by the Detroit Historic District Commission does not waive the applicant's responsibility to comply with any other applicable ordinances or statutes.

For the Commission:



Ann Phillips  
Staff

Detroit Historic District Commission

THIS IS A 3-PAGE FORM - ALL INFORMATION IS REQUIRED FOR PROJECT REVIEW

# HISTORIC DISTRICT COMMISSION PROJECT REVIEW REQUEST

City of Detroit - Planning & Development Department  
2 Woodward Avenue, Suite 808  
Detroit, Michigan 48226

Date: 06/03/2020

## PROPERTY INFORMATION

ADDRESS: 867 Edison Street

AKA: \_\_\_\_\_

HISTORIC DISTRICT: Boston-Edison

SCOPE OF WORK:  
(Check ALL that apply)

Windows/  
Doors

Roof/Gutters/  
Chimney

Porch/  
Deck

Landscape/Fence/  
Tree/Park

General  
Rehab

New  
Construction

Demolition

Addition

Other: Garage

## APPLICANT IDENTIFICATION

Property Owner/  
Homeowner

Contractor

Tenant or  
Business Occupant

Architect/Engineer/  
Consultant

NAME: George Bogaert

COMPANY NAME: Tuff Shed Inc.

ADDRESS: 34425 Schockcraft Rd.

CITY: Livonia

STATE: MI

ZIP: 48150

PHONE: 734-853-5727

MOBILE: 586-804-9573

EMAIL: gbogaert@tuffshed.com

## PROJECT REVIEW REQUEST CHECKLIST

Please attach the following documentation to your request:

**\*PLEASE KEEP FILE SIZE OF ENTIRE SUBMISSION UNDER 30MB\***

**Completed Building Permit Application** (highlighted portions only)

**ePLANS Permit Number** (only applicable if you've already applied for permits through ePLANS)

**Photographs** of ALL sides of existing building or site

**Detailed photographs** of location of proposed work (photographs to show existing condition(s), design, color, & material)

**Description of existing conditions** (including materials and design)

**Description of project** (if replacing any existing material(s), include an explanation as to why replacement--rather than repair--of existing and/or construction of new is required)

**Detailed scope of work** (formatted as bulleted list)

**Brochure/cut sheets** for proposed replacement material(s) and/or product(s), as applicable

### NOTE:

Based on the scope of work, additional documentation may be required.

See [www.detroitmi.gov/hdc](http://www.detroitmi.gov/hdc) for scope-specific requirements.

Upon receipt of this documentation, staff will review and inform you of the next steps toward obtaining your building permit from the Buildings, Safety Engineering and Environmental Department (BSEED) to perform the work.

**SUBMIT COMPLETED REQUESTS TO [HDC@DETROITMI.GOV](mailto:HDC@DETROITMI.GOV)**

**This COA has been issued with the following conditions:**

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- The window is to be wood, aluminum-clad wood, or aluminum rather than vinyl and the operation of the window is to be 1/1 double-hung rather than a slider.
- Paint color selections are to complement the existing house.
- The applicant shall revise the submission to reflect the updated siding, window, and paint selections and submit to HDC staff for review and approval prior to pulling the building permit for the project.

867 Edison St

Detroit, MI 48202

16x20 Garage Proposal

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Proposal

- Construct new 16'x20'x11' detached garage on already approved concrete pad (Reference App# 20-6713)
- Material to be 2x4 construction with 3/8 Smart Side Exterior Vertical Groove Siding (See Specs Attached)
- Install 8x7 white raised panel garage door
- Install 3/0 x 6/8 Steel Entry Door

## EXISTING CONDITIONS

The building located at 867 Edison Street is a 2½-story single-family residence constructed ca. 1910. The structure is clad in stucco on the first floor and wood clapboard siding on the second floor. The house features painted wood details as well as half-timbering in the gable ends of the dormer and porch. The front façade includes a centrally located main entrance off a partially covered front porch and a large centrally located dormer at the roof. The simple rectangular massing bumps out slightly at the rear elevation. The original wood windows are still intact and are highly detailed with multiple lite divisions. The multi-gabled roof is covered in dark gray dimensional asphalt shingles. A garage was once located at the rear corner of the lot and would have been accessed via the alley behind the house.



*Google Street View Image – June, 201*

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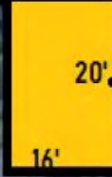
867 Edison **REPORT**

North



5' from alley

3' off side



Proposed New concrete slab 16'X20'  
with Ratwall for future garage  
3' off eastside lot  
5' off open alley

**\*\*Not To Scale\*\***

867 Edison St

Google Earth

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Sterling Heights, MI 48312



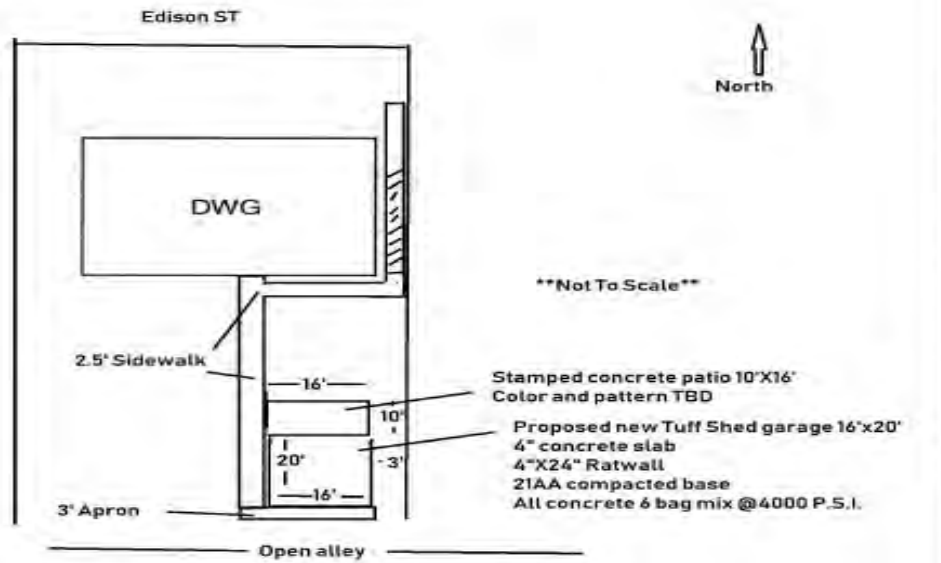
Phone: (586) 604-1398  
Email: Imprine2000@yahoo.com

313 448 456

Address 867 Edison City Detroit  
Directions \_\_\_\_\_

Item	YES	NO
Fill	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Ratwall	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Footings	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Haul Dirt	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Break & Haul	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Conduit	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Job No. \_\_\_\_\_  
Permit No. \_\_\_\_\_  
Lot Size \_\_\_\_\_  
Lot No. \_\_\_\_\_  
Subd. \_\_\_\_\_

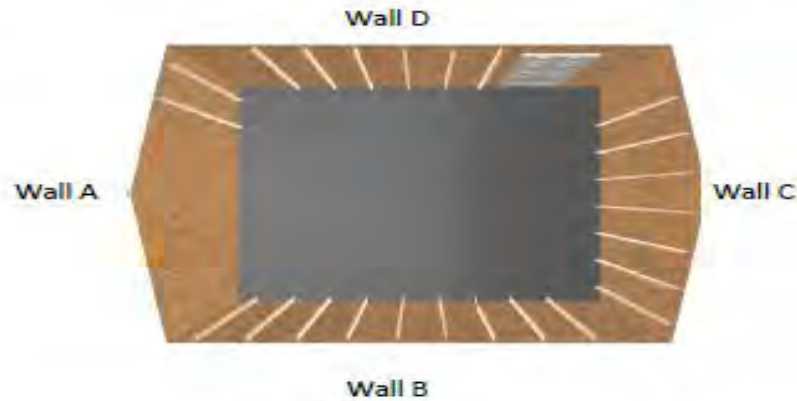


Authorized Agent

Purchaser

Rep.

Joint Purchaser



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**Base Details**

**Building Size & Style**  
Sundance Ranch Garage - 16' wide by 20' long

**Door**  
Overhead Garage Door (8' x 7').

**Door**  
6-Panel Residential Door (Left Hand Inswing).

**Paint Selection**  
Base: Tundra Frost, Trim: Delicate White  
Customer to apply 2nd coat

**Roof Selection**  
Charcoal 3 Tab

**Drip Edge**  
White

**Options Details**

**Special Instructions**  
This is a Historic District

**Windows**  
3'x2' Horizontal Sliding Window

**Vents**  
2 Ea 12"x12"Gable End Vent, White

**Jobsite/Installer Details**

**Do you plan to insulate this building after Tuff Shed installs it?**  
No

**Is there a power outlet within 100 feet of installation location?**  
Yes

**The building location must be level to properly install the building. How level is the install location?**  
Slab provided by customer will be within 1/8" tolerance on square, level, exterior dimensions to match the building size (per customer agreement).

**Will there be 18" of unobstructed workspace around the perimeter of all four walls?**  
Yes

**Can the installers park their pickup truck & trailer within approximately 200' of your installation site?**  
Yes

**Substrate Shed will be installed on?**  
Concrete without Shed Floor

## Specifications: LP® SmartSide® Panel Siding

# CEDAR TEXTURE PANEL

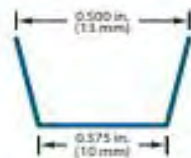
### RATED FOR STRUCTURAL USE BY APA®

- Shiplap edges with advanced bead system for easier alignment
- Pre-primed for exceptional paint adhesion
- Significantly lighter than comparable fiber cement panel
- Strong enough to be nailed directly to stud, making additional sheathing unnecessary in many applications
- Eliminates need for additional bracing on load-bearing walls
- Ideal exterior for homes in areas of high winds or seismic activity
- Treated engineered wood strand substrate



Cedar Texture

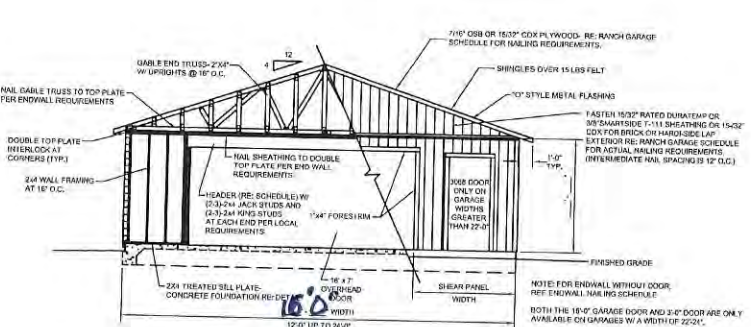
### GROOVE DETAIL



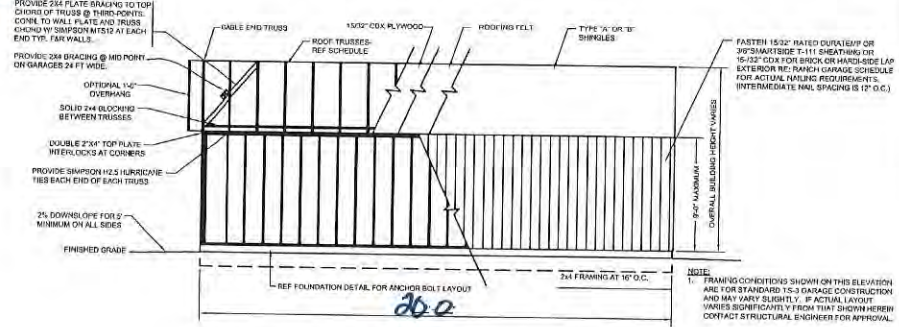
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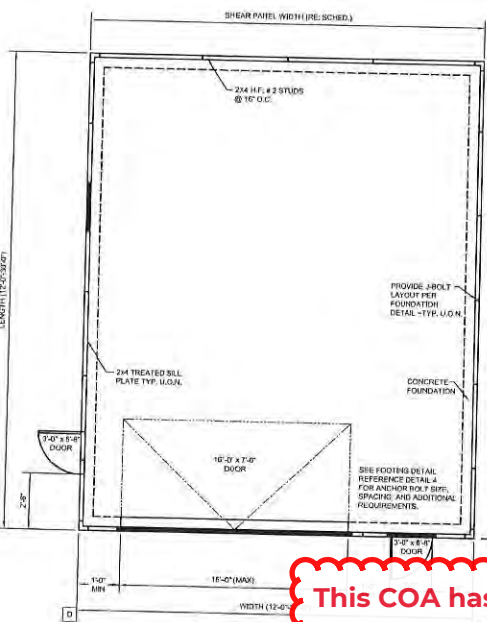
RANCH GARAGE 12'-24' x 12'-30'  
16' x 20' = 320 SQ FT



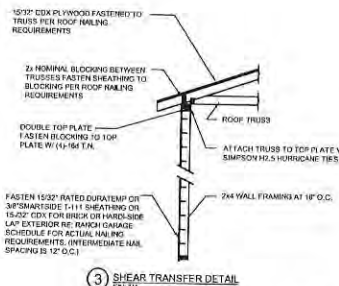
2 END WALL ELEVATION WITH OPENING



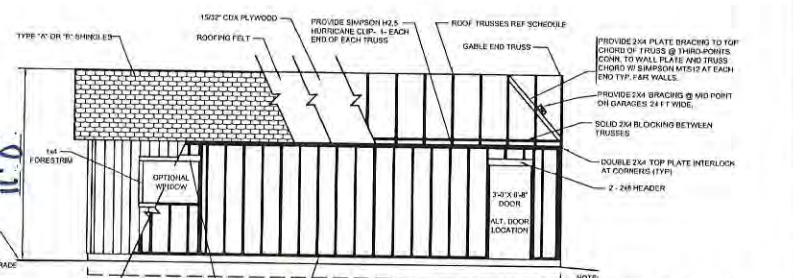
5 SIDE WALL ELEVATION DETAIL



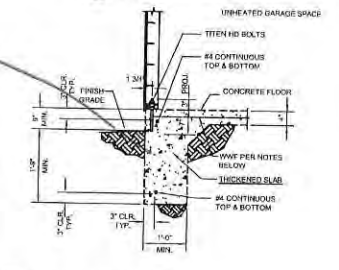
1 FOUNDATION



3 SHEAR TRANSFER DETAIL



6 ALTERNATE SIDE WALL ELEVATION DETAIL WITH OPENINGS



4 MONOLITHIC FOUNDATION

**CONTINUOUS FOOTING NOTES**  
 1. TOP OF SLAB TO BE 6" MIN. ABOVE GRADE. SLAB REINFORCEMENT SHALL BE W/6 @ 16" WIDESPACING PER ASTM A185. LOCATE AT MID-DEPTH OF SLAB.  
 2. ALL FOOTING FORMS SHALL BE INSPECTED FOR SIZE AND REINFORCING BEFORE POURING CONCRETE.  
 3. FOOTINGS SHALL BEAR ON UNDISTURBED NATURAL COMPACTED SOIL.

**STRUCTURAL NOTES:**  
 1. REFERENCE: 2009 IRC WITH AMENDMENTS PER LOCAL BUILDING DEPARTMENT (HAVE JURISDICTION OVER THIS PROJECT).  
 2. DESIGN LOADINGS:  
 WIND SPEED & EXPOSURE: 90C  
 ROOF LIVE LOAD: 20 PSF  
 ROOF DEAD LOAD: 10 PSF  
**GENERAL:**  
 1. ALL LUMBER SHALL BE 84% FIBER GRADE NO. 2 OR BETTER, WITH A BASE MINIMUM ALLOWABLE EXTREME FIBER FLEXING STRESS FOR MEMBERS 4" BY 6" OR GREATER INCLUDING ADJUSTMENT FACTORS FOR USE, SIZE, LOAD DURATION, ENVIRONMENT, ETC., UNLESS OTHERWISE SPECIFIED.  
 2. REFER TO THE TRUSS DESIGN FOR DESIGN INFORMATION.  
**ROOFING:**  
 1. 20 YEAR FIBERGLASS SHINGLES (TYPE 'A' OR TYPE 'B')  
 2. 15 LB ROOFING FELT  
 3. TYPE 'D' METAL FLASHING AND DRIP EDGES REQUIRED ALL SIDES.

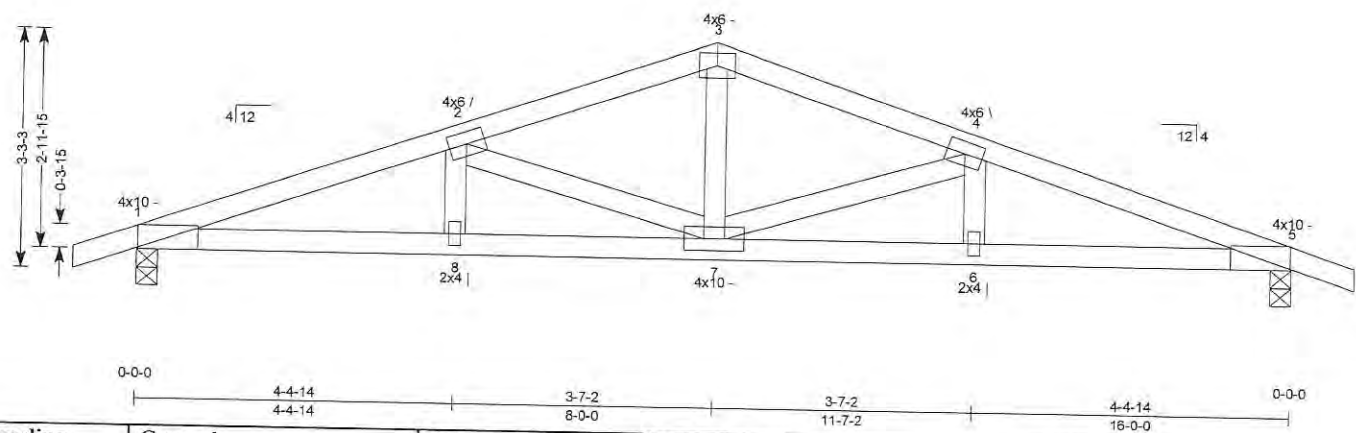
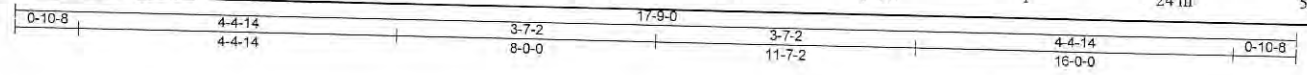
**RANCH GARAGE SCHEDULE**

OVERALL DIMENSIONS	SHEAR PANEL NAILING		ROOF SHEATHING	END HEADER	SIDE HEADER	CHORD SPLICE NAILING
	WIDTH	MAX. LENGTH				
12'-0"	24'-0"	12'-0"	8 @ 8" O.C.	8 @ 8" O.C.	8 @ 8" O.C.	10 - 16# NAILS EACH SIDE OF SPLICE
12'-0"	30'-0"	24'-0"	8 @ 8" O.C.	8 @ 8" O.C.	8 @ 8" O.C.	10 - 16# NAILS EACH SIDE OF SPLICE
14'-0"	30'-0"	14'-0"	8 @ 8" O.C.	8 @ 8" O.C.	8 @ 8" O.C.	10 - 16# NAILS EACH SIDE OF SPLICE
16'-0"	30'-0"	19'-0"	8 @ 8" O.C.	8 @ 8" O.C.	8 @ 8" O.C.	10 - 16# NAILS EACH SIDE OF SPLICE
18'-0"	24'-0"	18'-0"	8 @ 8" O.C.	8 @ 8" O.C.	8 @ 8" O.C.	10 - 16# NAILS EACH SIDE OF SPLICE
20'-0"	30'-0"	24'-0"	8 @ 8" O.C.	8 @ 8" O.C.	8 @ 8" O.C.	10 - 16# NAILS EACH SIDE OF SPLICE
22'-0"	30'-0"	22'-0"	8 @ 8" O.C.	8 @ 8" O.C.	8 @ 8" O.C.	10 - 16# NAILS EACH SIDE OF SPLICE

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SPAN 16-0-0	PITCH 4/12	QTY 10	OHL 0-10-8	OHR 0-10-8	CANT L 0-0-0	CANT R 0-0-0	PLYS 1	SPACING 24 in	WGT/PLY 56 lbs
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Loading	General	CSI Summary	Deflection	L/	(loc)	Allowed
Load (psf) TCLL : 105 TCDL : 10 BCLL : 0 BCDL : 10	Bldg Code : IRC 2006/ TPI 1-2002 RepMbr Increase : Yes D.O.L. : 115%	TC : 0.94 (1-2) BC : 0.93 (8-1) Web : 0.42 (2-7)	Vert TL : 0.35 in Vert LL : 0.29 in Horz TL : 0.12 in	L / 524 L / 629 5	(6-7) (6-7) 5	L / 180 L / 240

**Reaction Summary**

JT	Type	Brg Combo	Brg Width	Rqd Brg Width	Max React	Max Grav Uplift	Max MWFRS Uplift	Max C&C Uplift	Max Uplift	Max Horiz
1	Pin (Wall)	1	3.5 in	3.62 in	2,201 lbs					
5	HRoll (Wall)	1	3.5 in	3.62 in	2,201 lbs		-59 lbs	-51.5 lbs	-51.5 lbs	6 lbs

Bearing enhancers may be required at the following bearings:

Brg #	Brg Area	Rqd Brg Area	Rqd Truss Width
1	5.25 in <sup>2</sup>	5.44 in <sup>2</sup>	1.55 in
5	5.25 in <sup>2</sup>	5.44 in <sup>2</sup>	1.55 in

Material Summary		Bracing Summary	
TC	HF #2 2 x 4	TC Bracing	Sheathed
BC	HF #2 2 x 4	BC Bracing	Sheathed or purlins at 72" OC, Purlin design by Others.
Webs	HF #2 2 x 4		

**Loads Summary**

1) This truss has been designed for the effects of wind loads in accordance with ASCE 7-05 with the following user defined input: 105 mph, Exposure C, Enclosed, Cable/Hip, Building Category II (I = 1.00), Overall Bldg Dims 25 ft x 60 ft, h = 15 ft, End Zone Truss, Both end webs considered, DOL = 1.60

2) Unbalanced roof live loads have not been considered.

3) Minimum storage attic loading has been applied in accordance with IRC 301.5

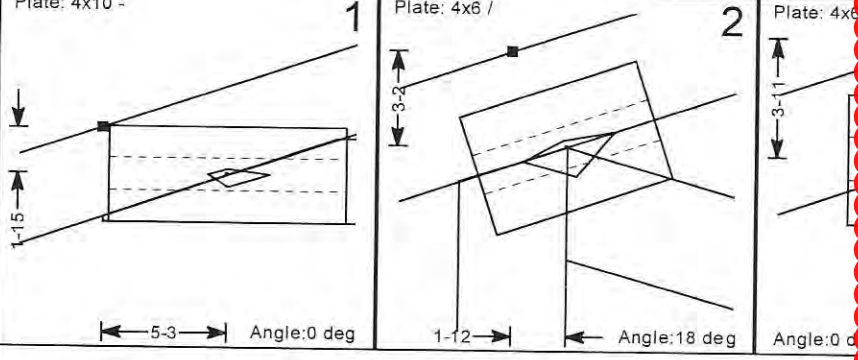
**Member Forces Summary**

Table indicates Member ID, max CSI max axial force, (max compr. force if different from max axial force)

TC	BC	Webs	2-3	3-4	4-5	5-6	6-7	7-8	8-9	9-10
9-1	5-6	2-8	0.170	0.933	0.030	64 lbs	4,387 lbs	154 lbs	0.755	-3,265 lbs
1-2	6-7	3-7	0.935	4.391 lbs	0.268	-1,555 lbs	(-818 lbs)	0.418	0.931	-4,391 lbs
2-3	7-8	4-7	0.170	64 lbs	0.030	154 lbs	(-816 lbs)	0.030	0.933	4,387 lbs
3-4	8-9	5-7	0.755	-3,265 lbs	0.268	-1,555 lbs	(-816 lbs)	0.418	0.931	-4,391 lbs

**Notes:**

4) When this truss has been chosen for quality assurance inspection, the Plate Placement Method per TPI 1-2002/A3.2 shall be used.



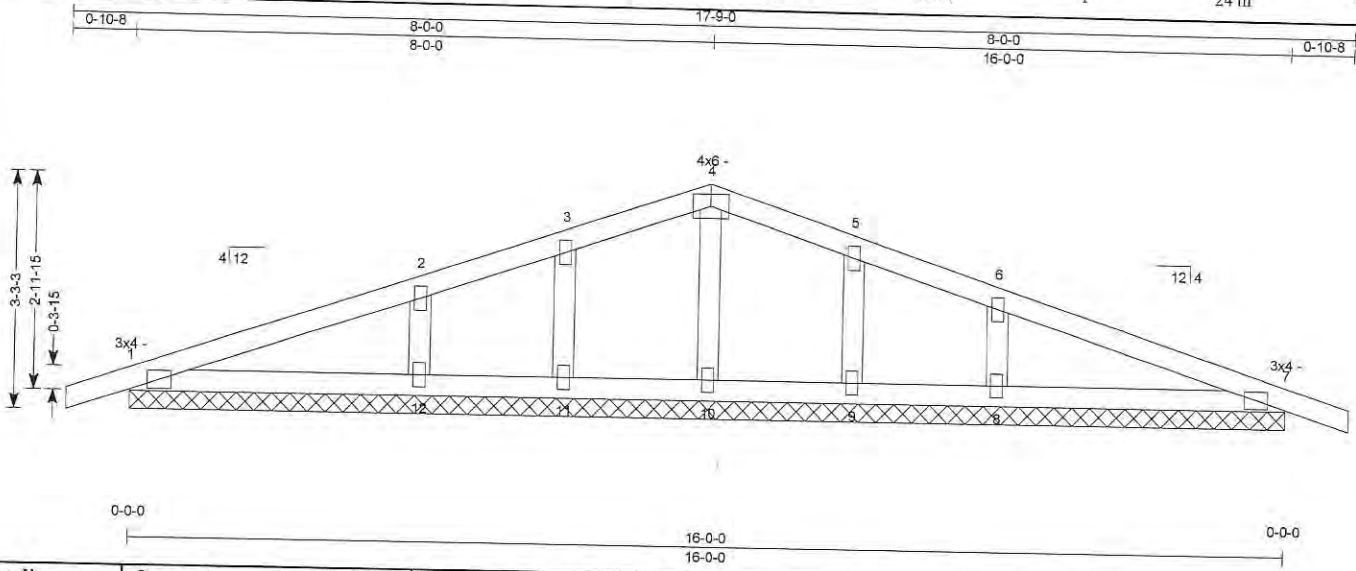
A copy of this design shall be furnished to the erection contractor. This design is for an individual building component (a truss). It is based on specifications provided by the Truss Designer design standard. No responsibility is assumed for the accuracy of information provided by the Truss Designer. Dimensions shall be verified by building designer. Creep deflection is not reviewed, unless otherwise noted. Bracing shown is for lateral support of individual truss components only to reduce buckling length. It is not wind or lateral load bracing or overall building truss handling and erection. Do not apply loads beyond weight of erecors until all permanent bracing is in place. Concentration of construction loads greater than the design loads shall be avoided prior to erection to avoid damage. Lumber moisture content shall be 19% or less at the time of fabrication, unless noted otherwise (U.N.O.). Connector plates shall be manufactured by Eagle Metal Truss Company. Plate dimensions are listed within length. Slots (holes) in plate shall run parallel to the plate length. The plate shall be centered on joint and/or placed in accordance with the manufacturer's instructions. The seal on this drawing indicates acceptance of professional engineering responsibility solely for the truss component design shown. The seal is the responsibility of the building designer, per ANSI/TPI 1-2002 Chapter 2.

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SPAN 16-0-0	PITCH 4/12	QTY 2	OHL 0-10-8	OHR 0-10-8	CANT L 0-0-0	CANT R 0-0-0	PLYS 1	SPACING 24 in	WGT/PLY 49 lbs
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Loading	General	CSI Summary	Deflection	L/	(loc)	Allowed
Load (psf) TCLL: 105 TCDL: 10 BCLL: 0 BCDL: 10	Bldg Code: IRC 2006/ TPI 1-2002 Rep Mbr Increase: No D.O.L.: 115%	TC: 0.66 (6-7) BC: 0.19 (7-8) Web: 0.13 (2-12)	Vert TL: 0 in Vert LL: 0 in Horz TL: 0 in	L / 999 L / 999 7	(12-1) (7-7)	L / 180 L / 240

**Reaction Summary**

JT	Type	Brg Combo	Brg Width	Max React	Ave React	Max Grav Uplift	Max MWFRS Uplift	Max C&C Uplift	Max Uplift	Max Horiz
1	Continuous	1		813 lbs	275 plf		-48 lbs	-239 lbs	-239 lbs	6 lbs

**Material Summary**

TC HF #2 2 x 4  
BC HF #2 2 x 4  
Webs HF Stud 2 x 4

**Bracing Summary**

TC Bracing: Sheathed or Purlins at 6-3-0, Purlin design by Others.  
BC Bracing: Sheathed or purlins at 72" OC, Purlin design by Others

**Loads Summary**

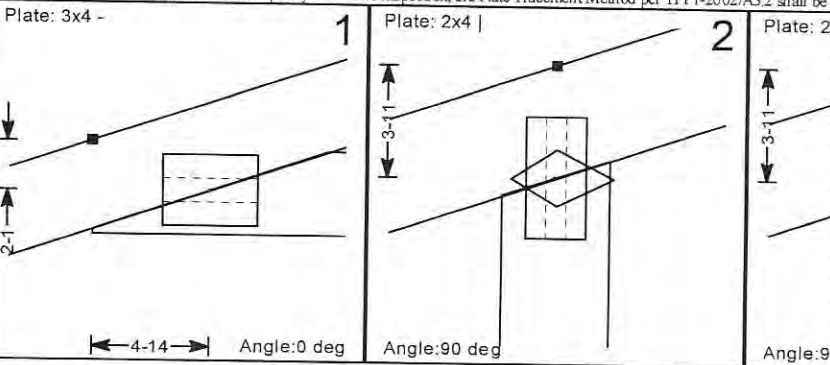
1) This truss has been designed for the effects of wind loads in accordance with ASCE7-05 with the following user defined input: 105 mph, Exposure C, Enclosed, Gable/Hip, Building Category II (I = 1.00), Overall Bldg Dims 25 ft x 60 ft, h = 15 ft, End Zone Truss, Both end webs considered. DOL = 1.60  
2) Unbalanced roof live loads have not been considered.

**Member Forces Summary**

		Table indicates Member ID, max CSI, max axial force, (max compr. force if different from max axial force)											
TC	13-1	0.249	64 lbs	2-3	0.422	-115 lbs	4-5	0.215	117 lbs	6-7	0.664	576 lbs	(-224 lbs)
	1-2	0.664	376 lbs	3-4	0.215	117 lbs	5-6	0.422	-115 lbs	7-14	0.249	64 lbs	
BC	7-8	0.189	-323 lbs	9-10	0.030	108 lbs	11-12	0.059	108 lbs				
	8-9	0.059	108 lbs	10-11	0.030	108 lbs	12-1	0.189	-525 lbs				
	12-1	0.189	-525 lbs										
Webs	2-12	0.128	-634 lbs	4-10	0.088	-366 lbs	6-8	0.128	-634 lbs				
	3-11	0.098	-457 lbs	5-9	0.098	-457 lbs							

**Notes:**

- 3) Gable requires continuous bottom chord bearing.
- 4) Gable webs placed at 24" OC, U.N.O.
- 5) Attach gable webs with 2x4 20ga plates, U.N.O.
- 6) For out-of-plane wind loading, refer to BCSI-B6 published by the WTCA.
- 7) When this truss has been chosen for quality assurance inspection, the Plate Placement Method per TPI 1-2002/A3.2 shall be used.



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A copy of this design shall be furnished to the erection contractor. This design is for an individual building component (a truss). It is based on specifications provided by the Truss Design Standard. No responsibility is assumed for the accuracy of information provided by the Truss Designer. Dimensions shall be verified by building designer. Creep deflection is not shown. Bracing shown is for lateral support of individual truss components only to reduce buckling length. It is not wind or lateral load bracing or overall bracing prior to erection to avoid damage. Lumber moisture content shall be 19% or less at the time of fabrication, unless noted otherwise (U.N.O.). Connector plates shall be manufactured by a recognized manufacturer and shall be provided to resist uplift at supports. The seal on this drawing indicates acceptance of professional engineering responsibility solely for the truss component design shown. The suitability of the building designer, per ANSI/TPI 1-2002 Chapter 2.



# Engineered Wood

LP® SmartSide® 1/2" x 12" x 16' Prefinished Engineered Wood Bold Triple 4" Dutch Lap Siding

Engineered Wood

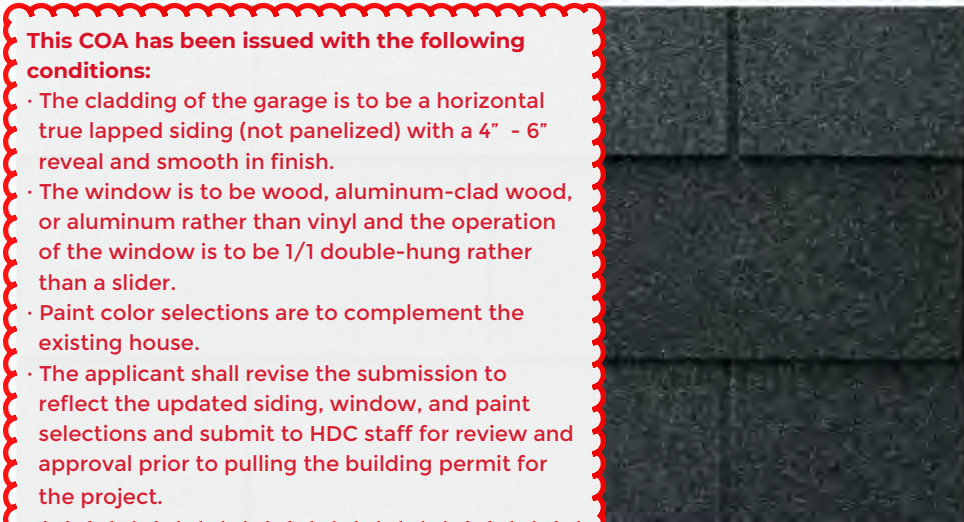
More information...



Saved by Me

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GAF

# Royal Sovereign Charcoal Algae Resistant 3-Tab Roofing Shingles (33.33 sq. ft. per. Bundle) (26-pieces)

★★★★★ (298) ✓

[Write a Review](#)

[Questions & Answers \(180\)](#)

- Durable 3-tab asphalt shingle covered by 25-year limited warranty
- Made with advanced color sequencing for a rich and vivid design
- Class A fire rating & 60 mph wind warranty provide peace of mind

# All Purpose Vinyl Slider Utility Windows

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**the IPS Vinyl Slider Utility Window is designed for garages, porches, barns, and steel buildings**

The IPS All Purpose Vinyl Slider Utility Window is manufactured with a heavy-duty extruded welded vinyl sash and main frame. The sash glides effortlessly, interlocking with the main frame ensuring a weather-tight seal. Available single glazed glass. Included is an easily removable full screen to keep insects out. The IPS All Purpose Vinyl Slider Utility Window is the perfect choice for your new construction or remodeling needs.

## features

- ▶ New construction or retro-fit window
- ▶ Dual wall built-in vinyl J-channel
- ▶ Perforated installation flange
- ▶ Single glazed with screen
- ▶ Lock system sweeps into main frame to ensure a secure opening
- ▶ Welded sash and main frame
- ▶ Interlocking weather-tight sash
- ▶ Internal weeping system
- ▶ Full screen
- ▶ Fabricated with a four-point assembly process that ensures consistent quality
- ▶ Maintenance-free vinyl construction
- ▶ Fully weather-stripped