

R P N M L K J H G F E D C B A



2 PROPOSED ELEVATION - WEST (ENLARGED) - BASE
SCALE: 1/8" = 1'-0"



REV	DATE	ISSUE

FAÇADE NOTES

1. ALL EXPOSED CONCRETE TO BE SEALED.
2. ALL METALS TO BE PROTECTED FROM CORROSION CAUSED BY THE ENVIRONMENT.
3. ALL RELIEVING ANGLES TO BE HOT DIP GALVANIZED AFTER ITS CUT TO LENGTH AND DRILLED FOR ANCHORS.
4. ALL WATERPROOFING AT PLANTERS TO BE NON TOXIC TO PLANTS. SEE STRUCTURAL DRWG.
5. AT FOUNDATION W.P. ALL SEALANT AND ALL W.P. LAPS PER W.P. MANUFACTURERS INSTALLATION DETAILS.
6. CONCRETE FLOOR SLABS SHALL BE MIN 2HR RATED. SEE STRUCTURAL DRWG.
7. MOCK UPS REQUIRED FOR ALL EXTERIOR MATERIALS. SEE ELEVATIONS FOR MOCK UP LOCATIONS.
8. NEW FAÇADE TO MATCH EXISTING ADJACENT FAÇADE.
9. REFER TO A-400 SHEETS FOR FAÇADE TYPE & FINISHES.
10. REFER TO A-400 SHEETS FOR OPERABLE DOOR & LOUVER TYPES.

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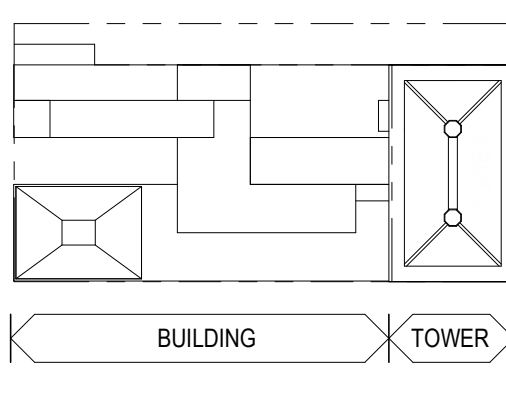
R P N M L K J H G F E D C B A



1 EXISTING ELEVATION - WEST (ENLARGED) - BASE
SCALE: 1/8" = 1'-0"

LOCATION PLAN

1249 Washington Blvd
Dorset, MA 01928
BLOCK: 02000298-9
LOT: 07, 08, 09 & 10
ZONING MAP: 1



Book Development

REHABILITATION CONSTRUCTION
DOB NUMBER: -

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PROJECT NO. 1711.00 SCALE: 1/8" = 1'-0"
ENLARGED ELEVATIONS

A-219

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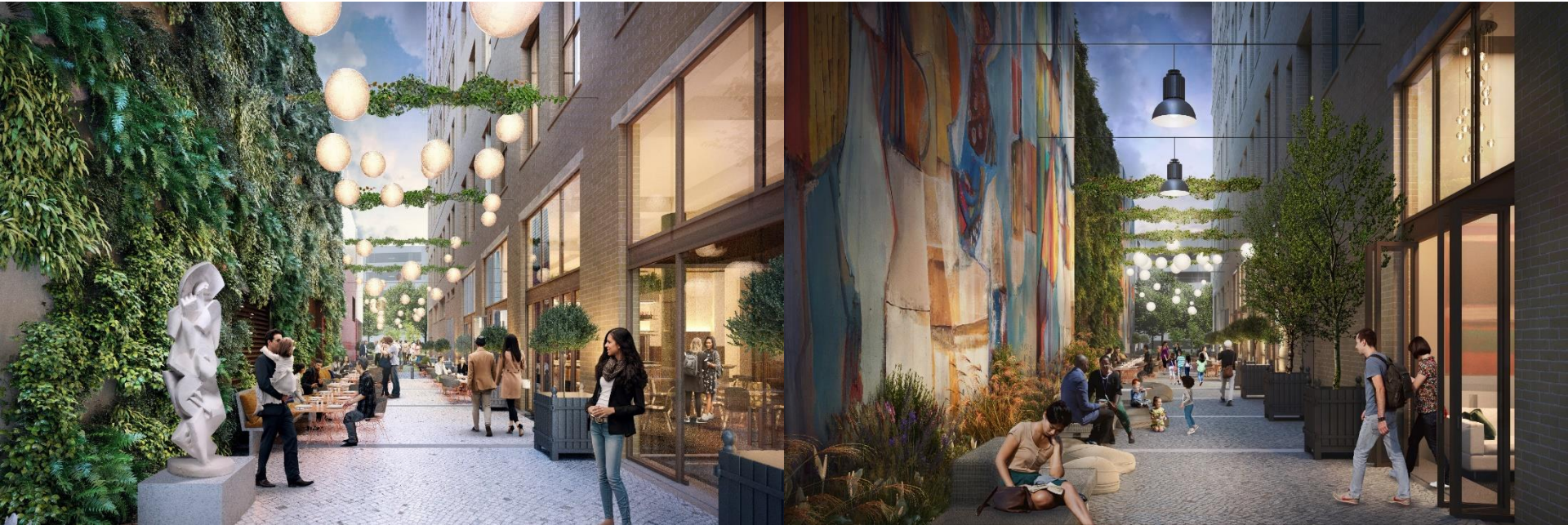
BOOK DEVELOPMENT
ALLEY LIGHTING

B U R O H A P P O L D

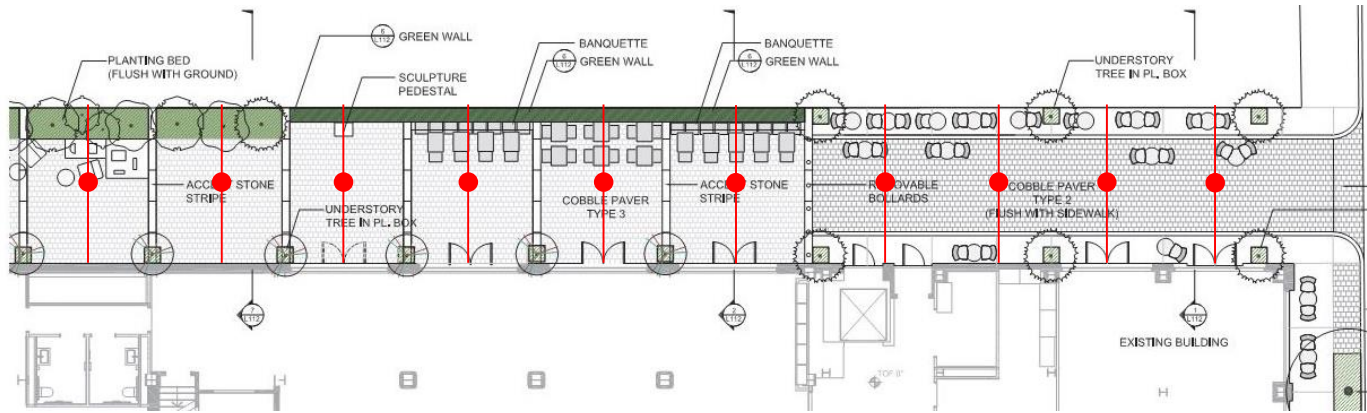
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March 26, 2020

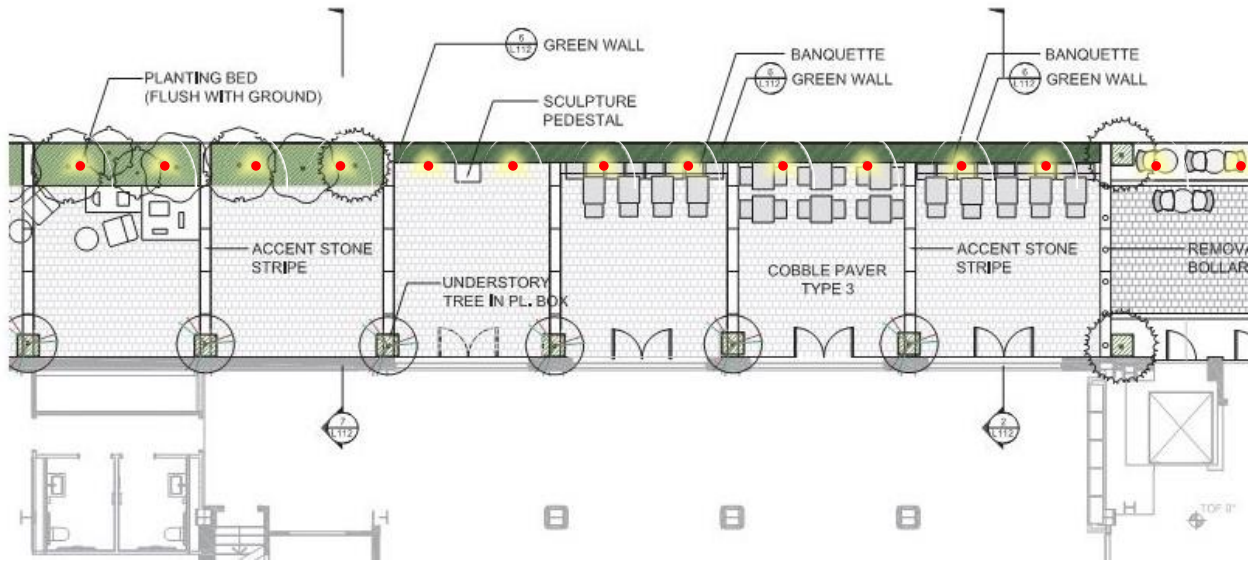
ALLEY LIGHTING



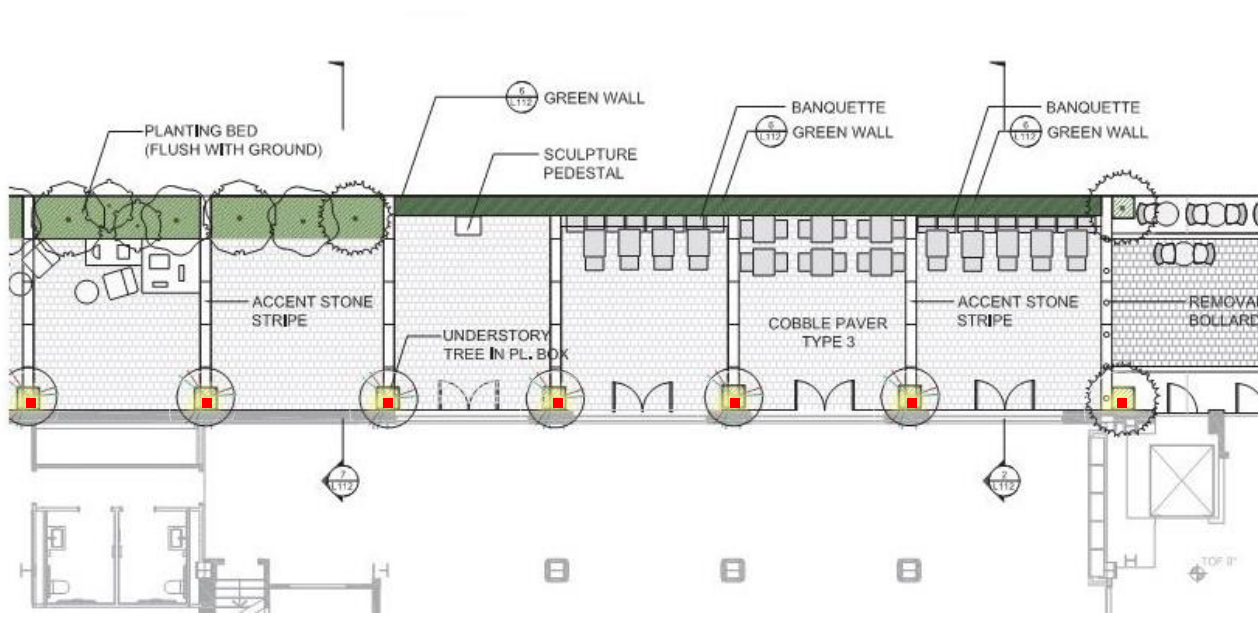
ALLEY – AMBIENT LIGHTING



ALLEY – PERIMETER WALL WASH LIGHTING



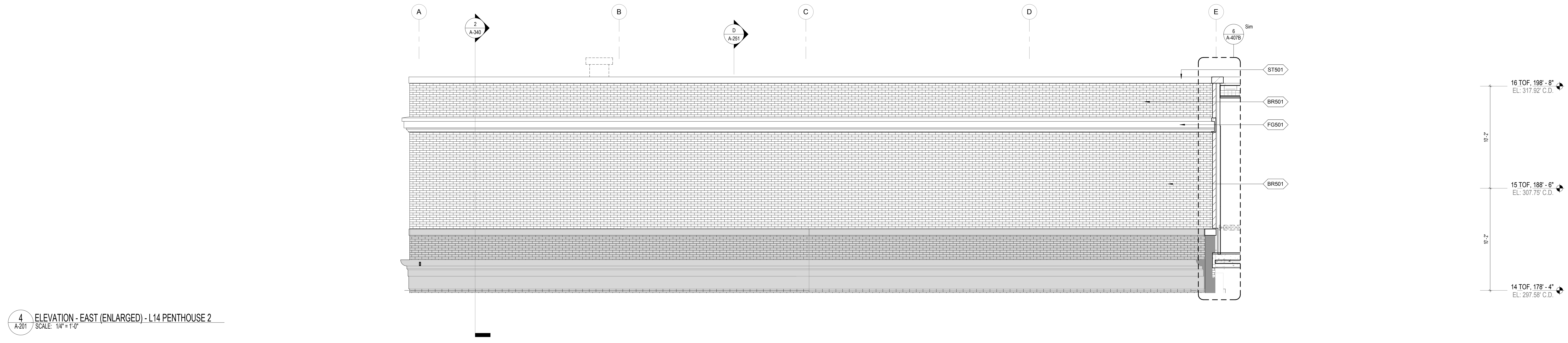
ALLEY – BUILDING MOUNTED ACCENT LIGHTING



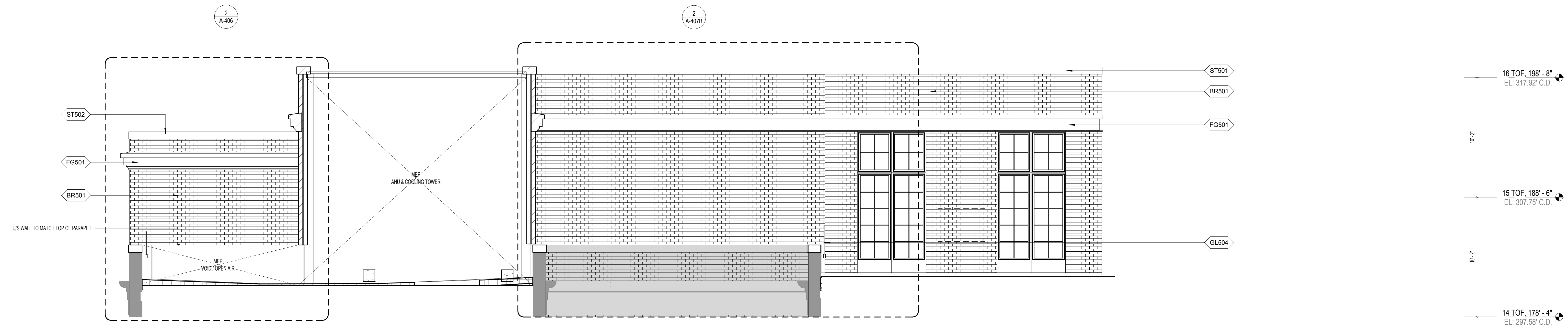
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E N G I N E E R I N G

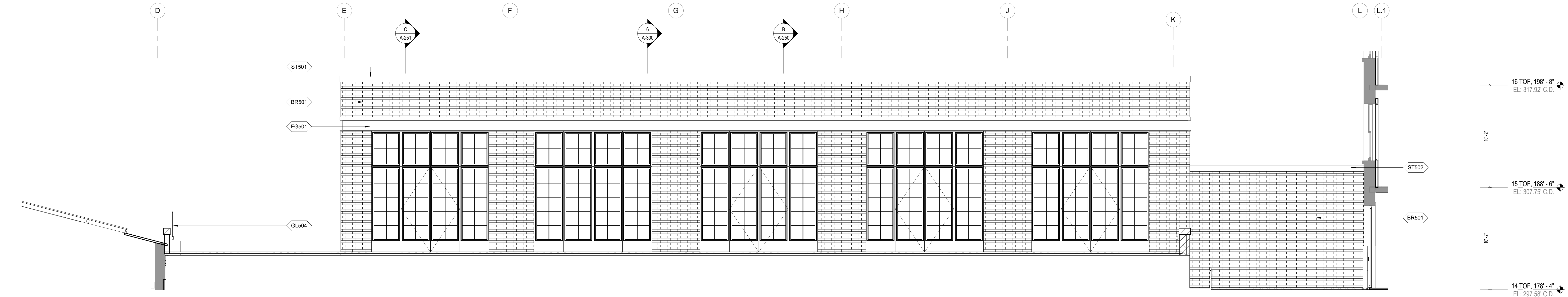
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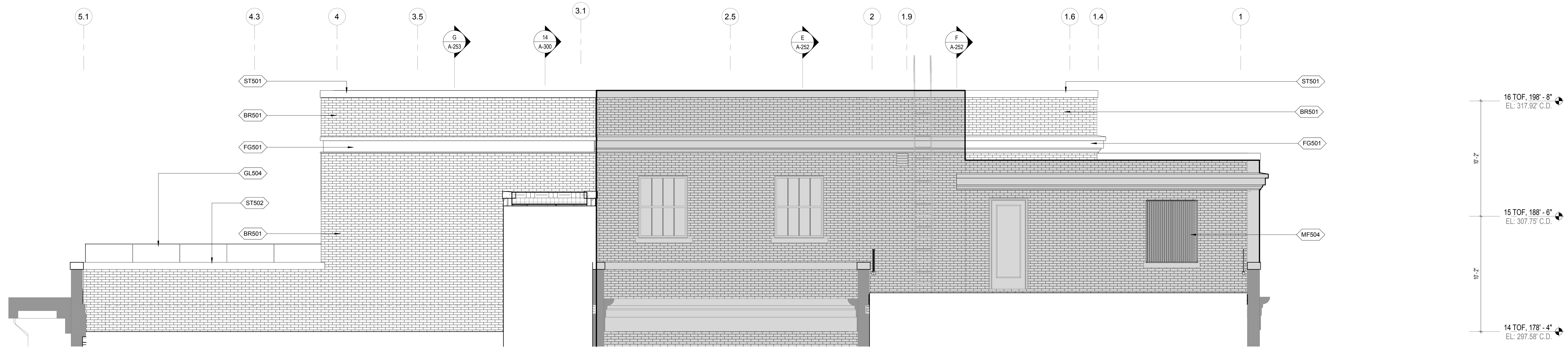
4 ELEVATION - EAST (ENLARGED) - L14 PENTHOUSE 2
A-201 / SCALE: 1/4" = 1'-0"



3 ELEVATION - SOUTH (ENLARGED) - L14 PENTHOUSE
A-1148 / SCALE: 1/4" = 1'-0"



2 ELEVATION - EAST (ENLARGED) - L14 PENTHOUSE
A-1148 / SCALE: 1/4" = 1'-0"



1 ELEVATION - NORTH (ENLARGED) - L14 PENTHOUSE 2
A-202 / SCALE: 1/4" = 1'-0"

GENERAL NOTES

1. LEVELS ON ELEVATION & SECTION ARE TOP OF ARCHITECTURAL FINISH FLOOR ELEVATIONS UNLESS NOTED.
2. FOR STRUCTURAL SLAB ELEVATIONS, REFER STRUCTURAL DRAWINGS.
3. ALL BUILDING ELEVATIONS (IN FEET) ARE REFERENCED TO THE BASE PLANE, EL. 118.20' C.D.
4. FOR GENERAL NOTES, ABBREVIATIONS & SYMBOLS, SEE SHEET G-002.
5. APPLICABLE CODES & MOUNTING HEIGHTS, SEE SHEET G-003 TO G-008.
6. ALL BUILDING EXTENT & ELEVATIONS INDICATED ARE TO BE CONFIRMED WITH NEW SURVEY, YET TO BE COMPLETED.

FAÇADE NOTES

1. ALL EXPOSED CONCRETE TO BE SEALED.
2. ALL METALS TO BE PROTECTED FROM CORROSION CAUSED BY THE ENVIRONMENT.
3. ALL RELIEVING ANGLES TO BE HOT DIP GALVANIZED AFTER ITS CUT TO LENGTH AND DRILLED FOR ANCHORS.
4. ALL WATERPROOFING AT PLANTERS TO BE NON TOXIC TO PLANTS. MANUFACTURERS INSTALLATION DETAILS.
5. AT FOUNDATION W.P., ALL SEALANT AND ALL W.P. LAPS PER W.P. MANUFACTURERS INSTALLATION DETAILS.
6. WATERPROOFING TO EXISTING WALLS/FOUNDATIONS OUTSIDE OF SCOPE.
7. CONCRETE FLOOR SLABS SHALL BE MIN 2 HR RATED. SEE STRUCTURAL DWGS.
8. MOCK UPS REQUIRED FOR ALL EXTERIOR MATERIALS. SEE ELEVATIONS FOR MOCK UP LOCATIONS.
9. NEW FAÇADE TO MATCH EXISTING ADJACENT FAÇADE.

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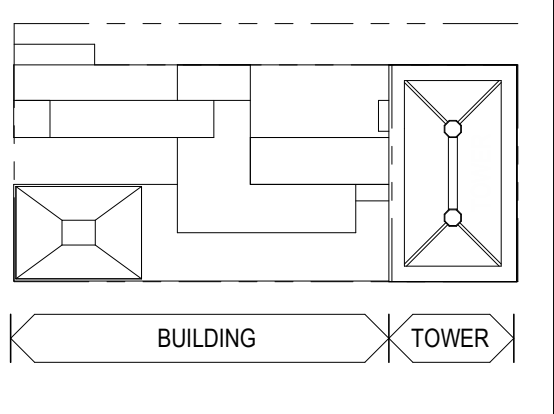
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LOCATION PLAN

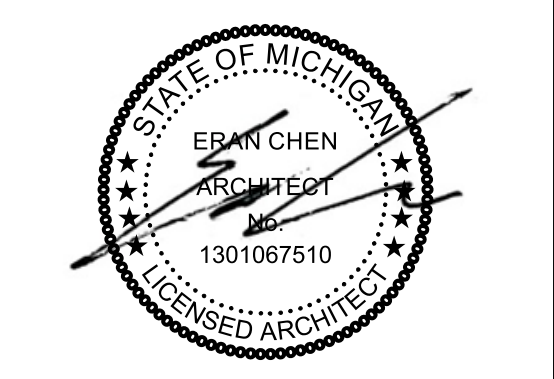
1248 Washington Blvd
Dorset, MA 01928
BLOCK: 0200098-9
LOT: 07, 08, 09 & 10
ZONING MAP: 1



CODE	MATERIAL FINISH
BR501	EXTERIOR BRICK SIZE & FINISH TO MATCH EXISTING MORTAR COLOURS/FINISH TO MATCH EXISTING
FG501	EXTERIOR TERRAZZO FINISH TO MATCH EXISTING COLOURS/FINISH TO MATCH EXISTING
GL504	EXTERIOR GLAZED OPERABLE DOORS MONOLITHIC GLASS UNIT
MF504	EXTERIOR FINISHED ALUMINUM VERTICAL LOUVER 1/2" x 10" MIN. W/SP. FROM EXISTING FIBRE GLASS VERTICAL LOUVER MODEL: RSV-570R, OR EQUIV. PAINT COLOUR MATCH EXISTING
ST501	EXTERIOR STONE CAPPING COLOURS/FINISH TO MATCH EXISTING
ST502	EXTERIOR STONE CORNICE COLOURS/FINISH TO MATCH EXISTING

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REHABILITATION CONSTRUCTION
DOB NUMBER: -



PROJECT NO. 1711.00 SCALE: 1/4" = 1'-0"
ENLARGED ELEVATIONS

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GENERAL NOTES

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5. APPLICABLE CODES & MOUNTING HEIGHTS, SEE SHEET G-003 TO G-006.
6. ALL BUILDING EXTENT & ELEVATIONS INDICATED ARE TO BE CONFIRMED WITH NEW SURVEY, YET TO BE COMPLETED.
7. FOR TYPICAL STEEL COLUMN CONDITION, SEE SHEET A-011 FOR PARTITION TYPE & 3HR FIRE RATING COVERAGE.
8. FOR TYPICAL CORRIDOR CONDITION, SEE SHEET A-010 FOR PARTITION TYPE & 1HR FIRE RATING COVERAGE FOR BOTH CORRIDOR CONDITIONS WITH EXISTING.
9. FOR LANDSCAPE INFORMATION & DETAILS, REFER LANDSCAPE DRAWINGS.



REV	DATE	ISSUE
1	04.17.2019	100% SCHEMATIC DESIGN ISSUE
2	08.02.2019	50% DESIGN DEVELOPMENT ISSUE
3	10.25.2019	100% DESIGN DEVELOPMENT ISSUE
4	03.02.2020	COORDINATION ISSUE

OWNER

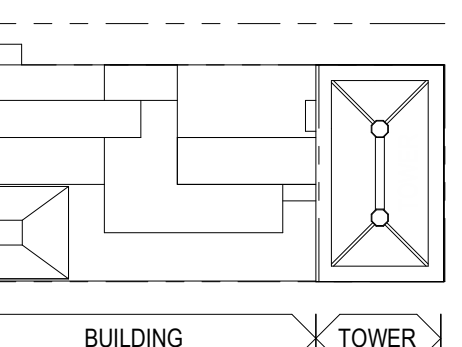
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LOCATION PLAN

1249 Washington Blvd
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 BLOCK: 02000298-9
 LOT: 07, 08, 09 & 10
 ZONING MAP: 1



Book Development

REHABILITATION CONSTRUCTION
 DOB NUMBER: -

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PROJECT NO. 1711.00 SCALE: 1/8" = 1'-0"

1ST FLOOR PLAN

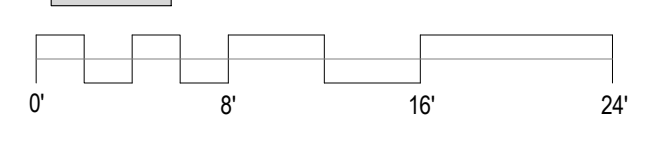
A-101

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PROPOSED AWNINGS

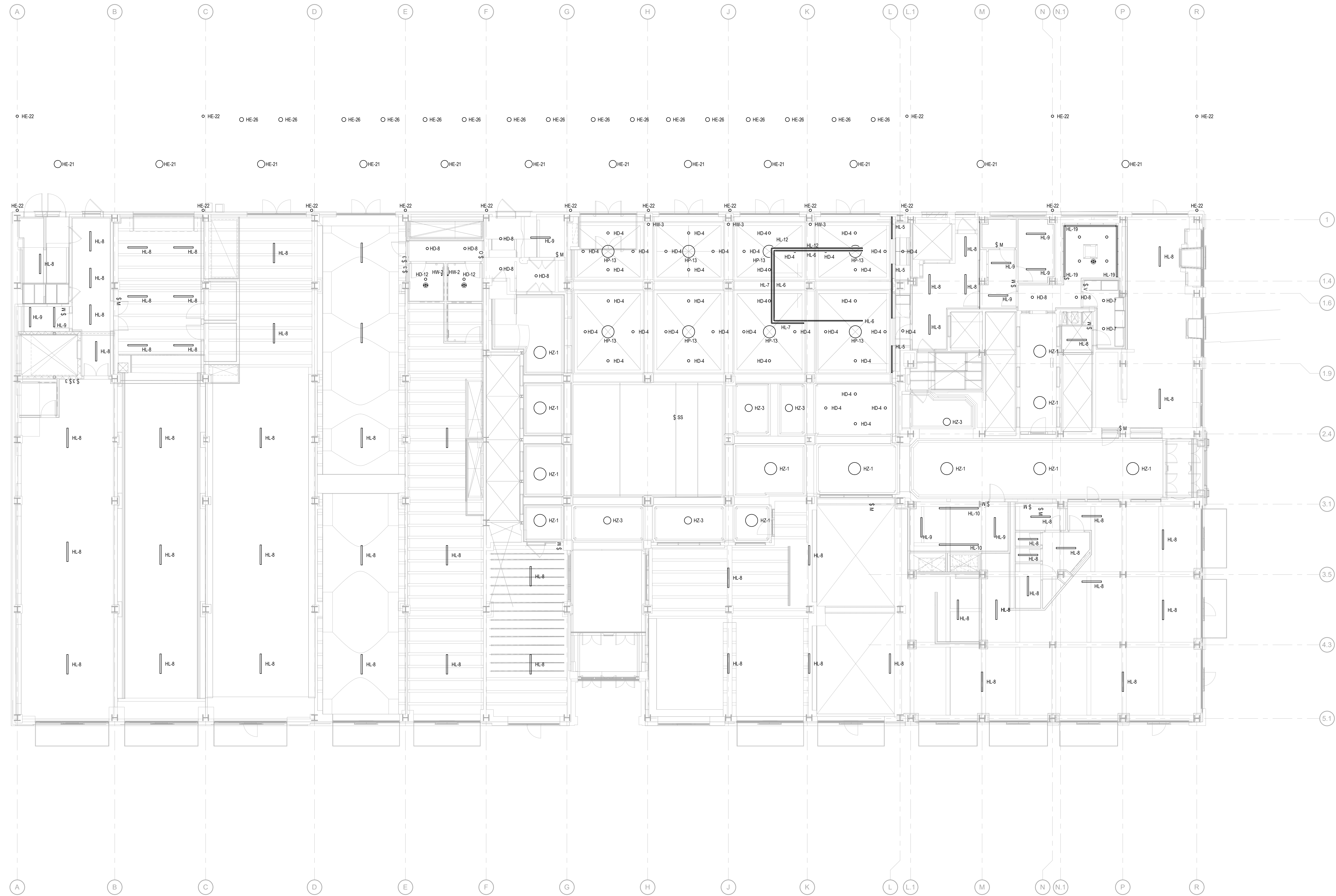
F&B HOTEL
 SHELL & CORE ONLY; FITOUT NOT IN SCOPE.



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- NOTES:
- PLEASE REFER TO THE LIGHTING CONTROL NARRATIVE ON SHEET E-002 FOR LIGHTING CONTROL INTENT.
 - LIGHTING CONTROL DEVICES ARE BASED ON ACUTY BRAND NIGHT LIGHTING CONTROL SYSTEM AND DEVICES.
 - REFER TO THE LIGHTING BOQ REPORT FOR FURTHER PRICE SCOPE INTENT.
 - LIGHT FIXTURES IN CORRIDORS SHALL HAVE INTEGRAL OCCUPANCY SENSORS FOR AUTOMATIC ON/OFF CONTROL.

REV	DATE	ISSUE
	08.02.2019	50% DESIGN DEVELOPMENT ISSUE
	10.25.2019	100% DESIGN DEVELOPMENT ISSUE
	02.14.2020	PERMIT ISSUANCE



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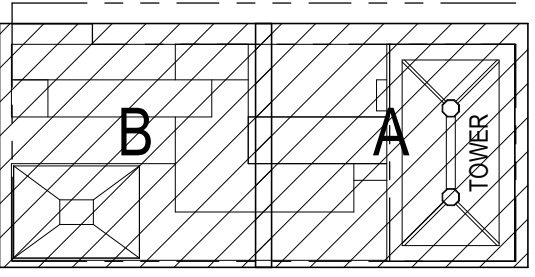
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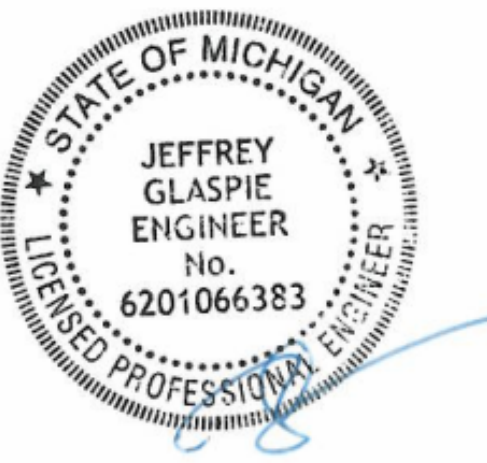
LOCATION PLAN

1240 Washington Blvd
Detroit, MI 48226
BLOCK: 00298 & 00299
LOT: 07, 08, 09 & 10
ZONING MAP: 1



BOOK DEVELOPMENT

REHABILITATION CONSTRUCTION



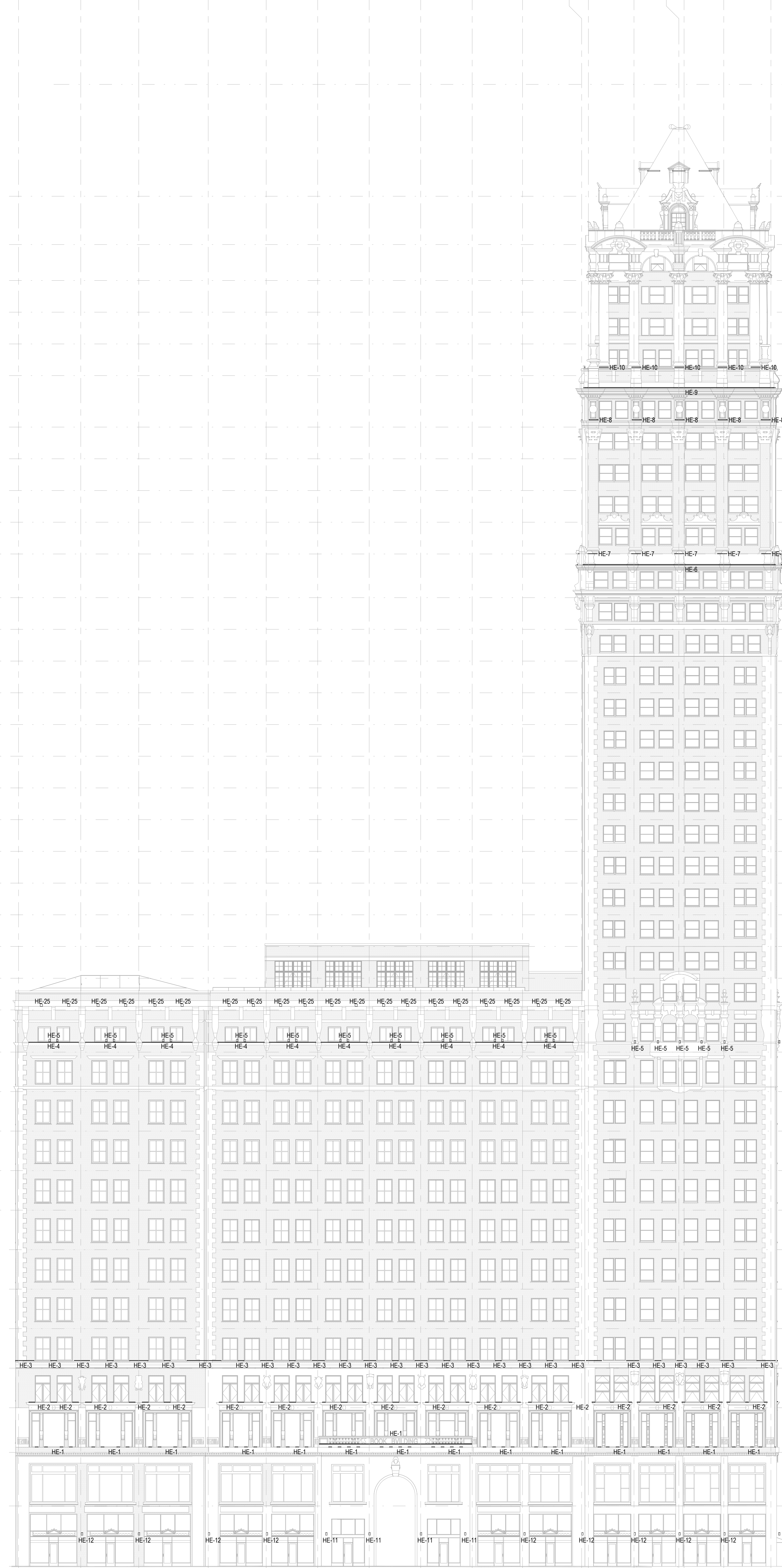
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1ST FLOOR RCP - LIGHTING

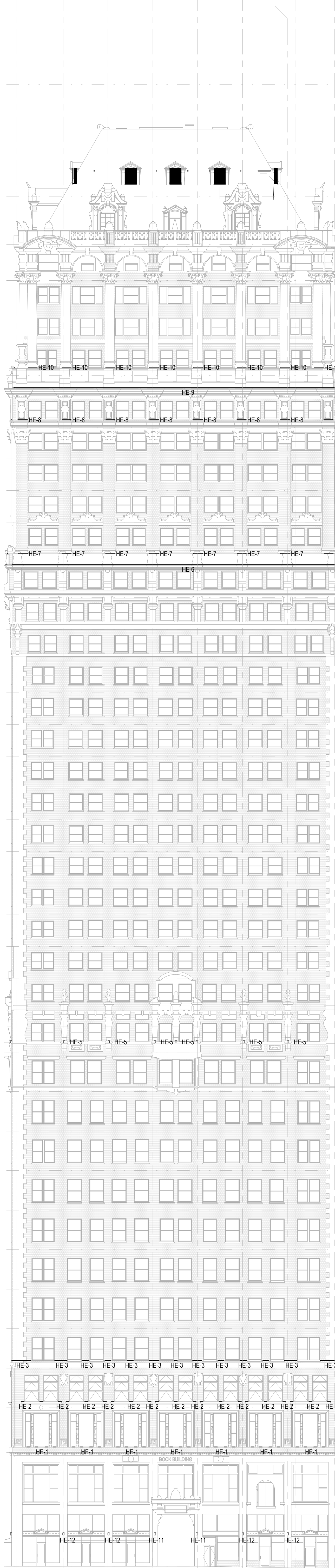
E-201

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A B C D E F G H J K L L-1 M N N-1 P R



5.1 4.3 3.5 3.1 2.4 1.9 1.6 1.4 1



- NOTES:**
1. ALLOW FOR TWO (2) 20AMP SINGLE-POLE 277V LIGHTING BRANCH CIRCUITS FOR FACADE LIGHTING FOR FLOORS 3, 4, 5, 13, 28, 32 & 33
 2. FACADE LIGHTING TO BE CONTROLLED VIA TIMECLOCK (MANUFACTURER ACUTY BRANDS, MODEL: NUGHT ECLYPS) AND EXTERIOR MOUNTED PHOTO CELL.



REV	DATE	ISSUE
	08.02.2019	50% DESIGN DEVELOPMENT ISSUE
	10.25.2019	100% DESIGN DEVELOPMENT ISSUE
	02.14.2020	PERMIT ISSUANCE

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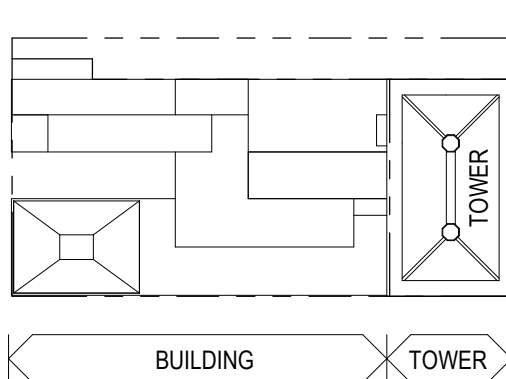
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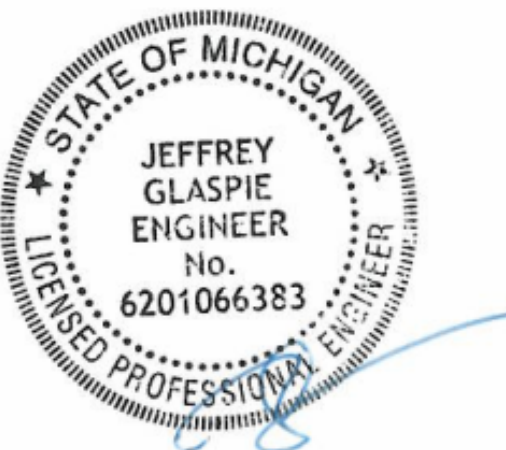
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LOCATION PLAN
 1240 Washington Blvd
 Detroit, MI 48226
 BLOCK: 00298 & 00299
 LOT: 07, 08, 09 & 10
 ZONING MAP: 1

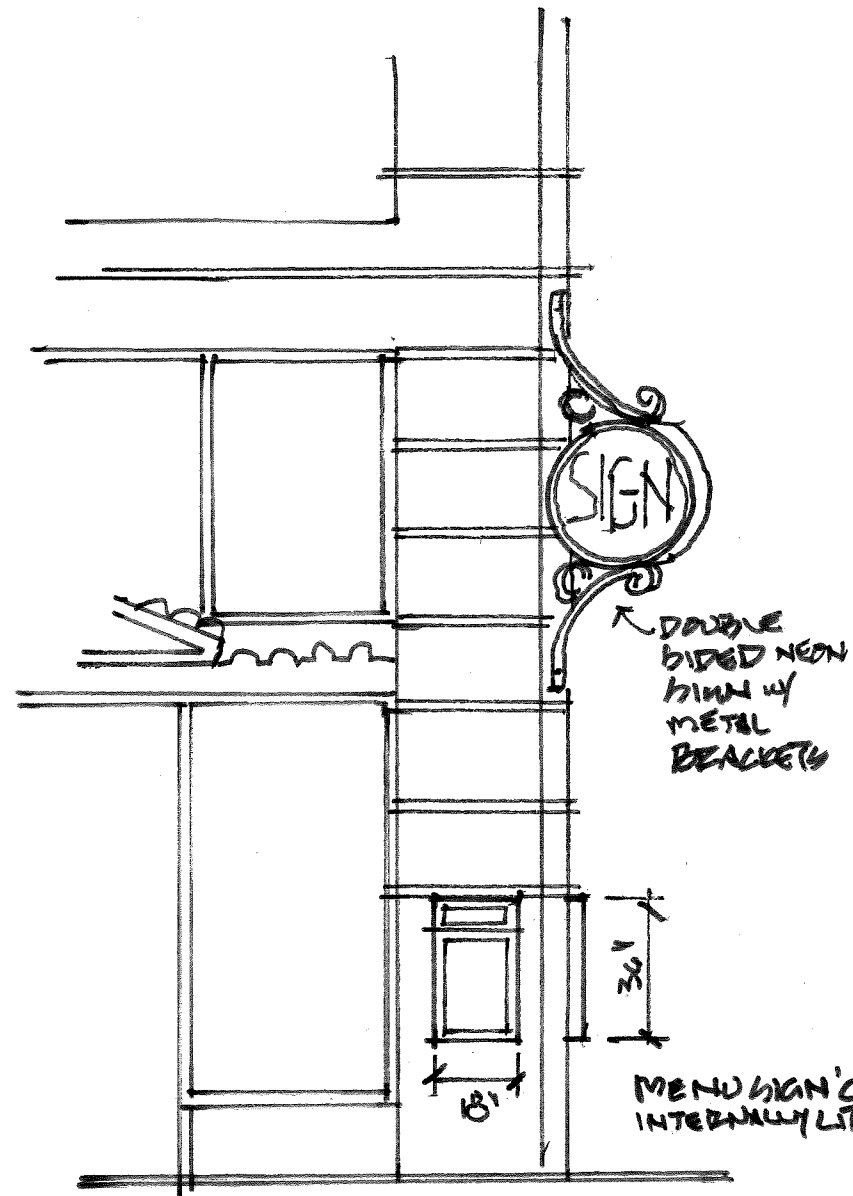


BOOK DEVELOPMENT
 REHABILITATION CONSTRUCTION

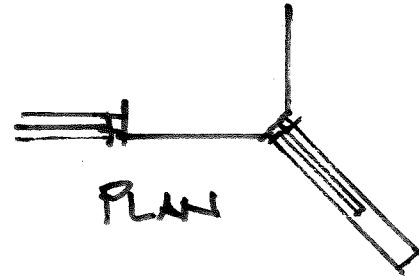


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FACADE LIGHTING ELEVATIONS

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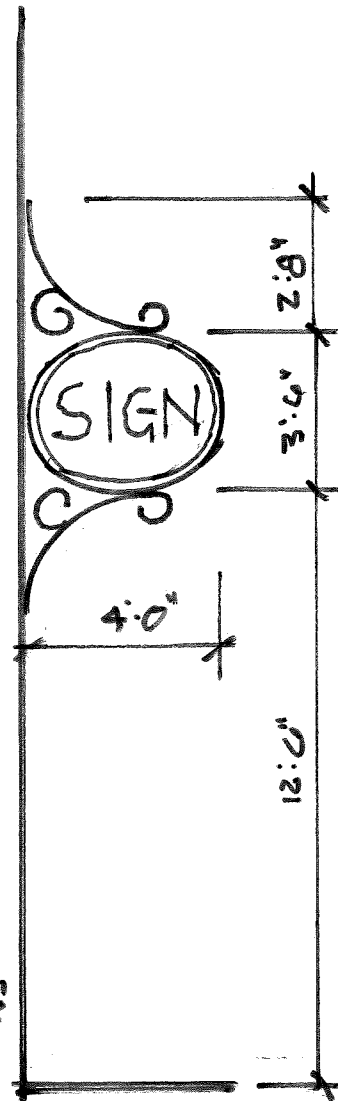


ELEVATION LOOKING WEST

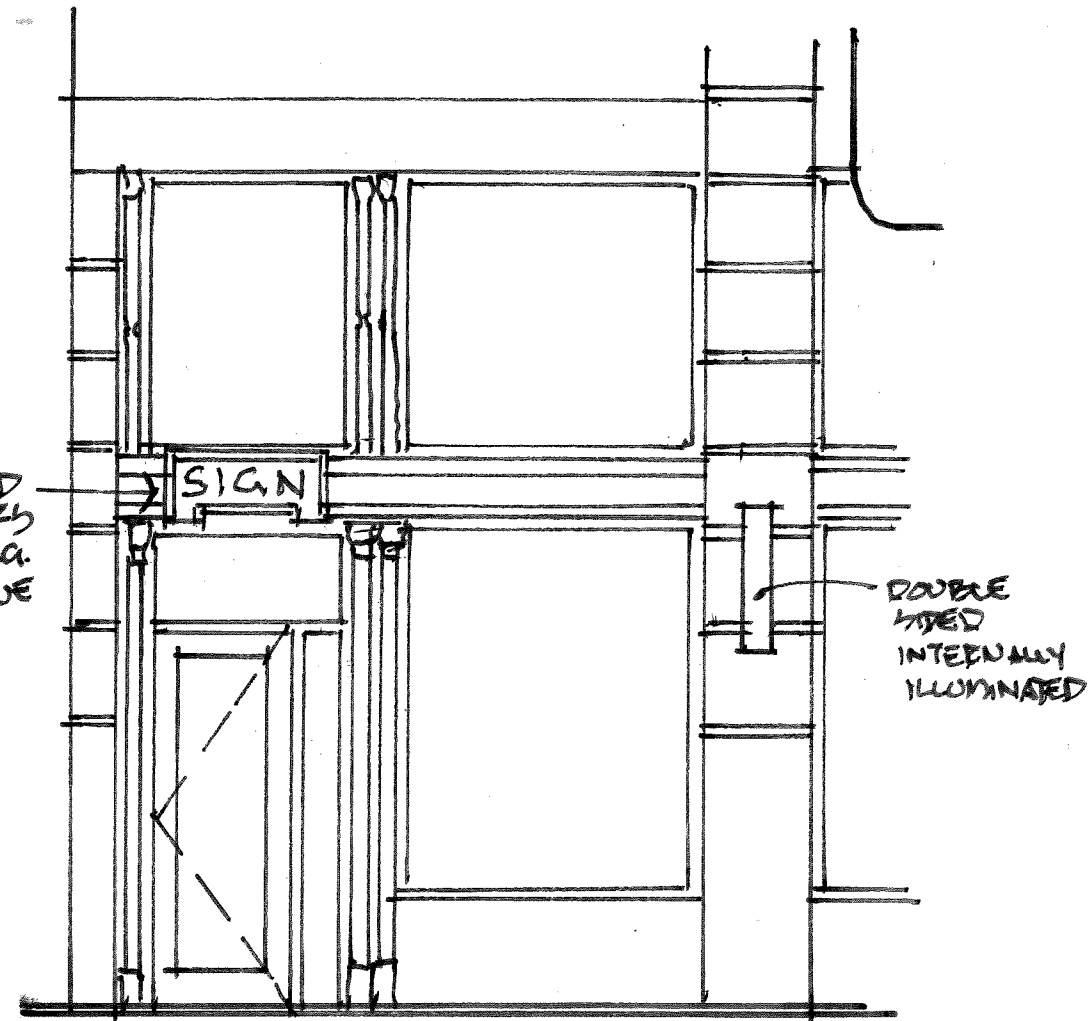


PLAN

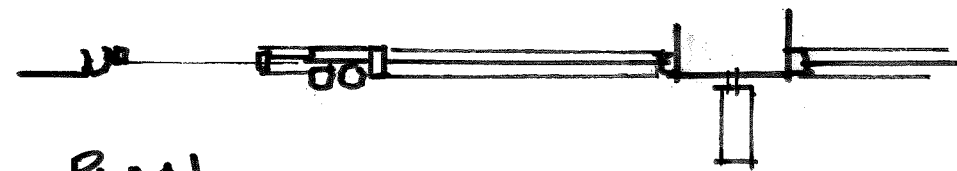
SIGN 'A'



ELEVATION @ 45°

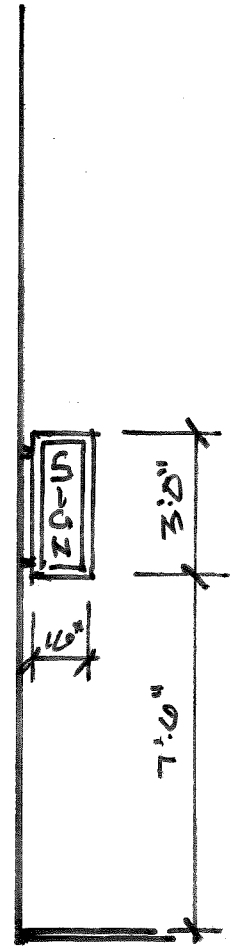


ELEVATION LOOKING SOUTH



PLAN

SIGN 'B'



ELEVATION LOOKING WEST

PROPOSED EXTERIOR SIGNAGE - BOOK TOWER

HTOKES ARCHITECTURE + DESIGN

1/4" = 1'-0"

2.22.20