

**STAFF REPORT 04-15-2020 REGULAR MEETING**

**PREPARED BY: A. PHILLIPS**

**APPLICATION NUMBER: 20-6698**

**ADDRESS: 69 SEWARD AVENUE (THE BONITA APARTMENTS)**

**HISTORIC DISTRICT: NEW CENTER AREA**

**APPLICANT: BRIAN HURTTIENNE, CHRISTIAN HURTTIENNE ARCHITECTS**

**PROPERTY OWNER: KEVIN LEWAND, 69 SEWARD LLC**

**DATE OF COMPLETE APPLICATION: 03-20-2020**

**STAFF SITE VISIT: N/A**

**SCOPE: ERECT NEW ROOFTOP ADDITION; REHABILITATE BUILDING**

**EXISTING CONDITIONS**

The building located at 69 Seward Avenue (the Bonita Apartments) was originally constructed in 1924 as a 5-story multi-family residential structure. The building is clad in variegated light brown brick and features limestone and cast stone details. An ornate parapet and cornice adorns the top of the symmetrical façade which includes projecting multi-story bays flanking the central main entrance off of Seward Avenue. The entrance is surrounded by cast-stone ornament and features a leaded glass fan light above the door. The structure is bordered on both sides (east and west) with open lots. The lot to the east has been recently improved. The long east and west facades feature a rhythmic pattern of window openings, however, the majority of the original wood windows are either missing or in need of substantial repair. The south (rear) of the building is situated off of an alley and includes a rear entrance. A flat roof and parapet tops the building.



**PROPOSAL**

With the current proposal, the applicant is seeking the Commission's approval **to perform a general rehabilitation of the entire building including a rooftop addition per the attached drawings and application**. Included in the proposal are the following scope items. **Grayed-out items have already been approved by the Commission at the June 8, 2016 meeting and are therefore not subject to review by the Commission.** A Certificate of

Appropriateness (COA) was issued on June 22, 2016. Scope items that are not grayed-out are scope items that are new and weren't included in the 2016 application or are modifications to what was previously approved in 2016.:

- **Site Modifications**

- The lot which is adjacent (west) to the existing building is proposed to be modified and paved for use as a parking lot for the building.
- A curb cut is proposed at the north end of the vacant lot to provide access to the parking lot. A second access point is proposed at the alley side of the lot behind the building.
- A sidewalk is proposed along the length of the west side of the building. The walkway will be sloped near the front of the building to provide barrier free access to the building at a new door in the west elevation.
- A concrete pad with 6' high dumpster enclosure is proposed at the southwest corner (rear) of the building. The drawings indicate that the enclosure is to be constructed of 7/8" corrugated galvanized siding panels between 4" x 4" steel posts (color not provided).
- A 6' wide sidewalk is proposed from the rear entrance to the building out to the public alley.
- A concrete mechanical pad is proposed at the southeast corner (rear) of the building. A 13' fence with gate is proposed at the perimeter of the concrete pad, however, the material, design, and color of the fence/gate is not included in the application.
- Construction of an ADA-compliant landing at the new door opening with (2) ADA-compliant ramps and railings. One ramp going north toward the front of the building and one ramp going south to the proposed parking area.
- The drawings indicate a fence around the perimeter of the parking lot with vehicle gates at the north and south ends, however, the height, material, design, and color of the fence/gates is not provided in the application.
- (2) Transformers currently exist at the southern end of the east elevation and are to remain.

- **Roof**

- Replace asphalt roof with a membrane roof.
- Stone and tile coping on the brick parapet walls will be removed, inspected, cleaned and reinstalled.
- Any deteriorated pieces will be replaced with matching pieces.
- Demolish existing brick chimney adjacent to existing rear stair tower down to roof line and cover over.
- Demolish existing brick elevator penthouse and construct a new one-story tall elevator penthouse which is to be clad in metal siding (color to be determined).
- Gutters and downspouts to be replaced with new aluminum gutters and downspouts.
- Existing brick chimney located toward the south end of the building, adjacent to existing brick stair tower, is to be repaired.
- Existing stair overrun located at southern edge of building is to remain.
- Existing membrane roof to receive new membrane roof.
- A portion of the brick parapet wall is proposed to be removed to allow passage between the north and south portions of the roof.
- Roof-top Addition
  - Extend the stair located at the very front (north) edge of the building to provide access to the roof. Currently, the front stair stops at the fourth floor and does not extend to the roof.
  - New elevator shaft constructed in location of existing elevator shaft.
  - Stair enclosure (shorter volume) to be connected to elevator shaft (taller volume) with an enclosed corridor to match the height of the stair enclosure. A small storage area is located within the addition to the south of the elevator. The entire enclosed addition is to be clad in "Hardie board lap siding, of a dark color, with associated trim."
  - Both roofs of the addition are proposed to be flat roofs (heights and materials of roofs not included in application).
  - All windows and doors in the addition are proposed to be black aluminum
  - Proposed enclosed addition will open onto a new rooftop deck which is proposed to be 22'-0" x 24'-8" in size and the deck surface constructed of Trex (color unknown). A steel and wire railing is proposed at the perimeter of the deck with an egress gate located at the

center of the southernmost length of railing. This egress gate corresponds with the proposed opening in the existing brick knee wall.

- Square pavers are proposed in a path across the roof from the egress gate of the deck to the existing stair enclosure located at the south end of the building/roof.
- Multiple pieces of HVAC equipment are proposed at the roof surface (see mechanical plan for locations).

- **Exterior walls/masonry**

- Existing brick and stone to be repaired to match the existing.
- The brick and cast stone bays on the front façade to be reconstructed to match the existing.
- New lintels and sills to be replaced where required at window openings and the surrounding brick will be repaired to match the existing.
- Tuckpointing with mortar that matches the existing in color, texture, profile and hardness to be completed as needed.
- Building to be cleaned using a non-ionic detergent and low pressure wash – less than 100 p.s.i.
- New barrier free door with canvas awning above at the west elevation.
- Two basement window openings and one door on the west elevation to be infilled with brick which is to be recessed ¾”
- Limestone to be cleaned and repointed as needed. Where limestone pieces are missing (front bays), the applicant proposes to “re-create” the limestone elements that are missing to restore the bays to the original appearance.
- Painted steel canopy (color unknown) over new accessible entrance at west facade

- **Windows**

- Replace all existing windows with new aluminum clad wood windows that match the size, profile, and configuration of the existing windows.
- The first floor façade windows to have the divided lites replicated in wood instead of metal.
- Exterior trim and brick mold to be replicated.
- Metal grills to be installed over the basement window openings for security.
- All existing double-hung windows are to be replaced with aluminum clad wood double hung windows (color to match associated Color Chart – System D). Overall dimensions of the existing window versus the proposed replacement windows are as follows (see drawing for additional detail):
  - Top Rail
    - Existing: 4”
    - Replacement: 3”
  - Meeting Rail
    - Existing: 3”
    - Replacement: 4”
  - Bottom Rail
    - Existing: 4”
    - Replacement: 4.75”
  - Jambs
    - Existing: 4”
    - Replacement: 4.5”
  - Unit Thickness
    - Existing: 6.75”
    - Replacement: 6.75”
- At the front (north) façade, all windows that are not double-hung are to be “restored or recreated to match the original in its original configurations and details.”

- **Doors**
  - Install a new wood and glass door with wood framed sidelights as the front door.
  - Existing transom to be repaired to match the existing
  - Door at rear of building to be a flush metal door and frame
  - Aluminum clad multi-light windows with transom that replicate the original door and transom configuration to be installed at the upper openings of the rear stair.
  - New aluminum and glass door with aluminum frame sidelights and transom to be located at the west elevation for the new barrier free entry.
  - “Custom wood window” to replace the existing leaded-glass fan window above front door

### **STAFF OBSERVATIONS & RESEARCH**

- New Center Area Historic District was designated in 1982.
- A Certificate of Appropriateness was issued on June 22, 2016 for the general rehabilitation of the building and construction of a parking lot at the adjacent lot to the west of the building. A substantial amount of work items included in the current proposal were approved in 2016. The grayed-out portions of the “Proposal” section of this report are the work items that were approved in 2016. Scope items that are not grayed-out are scope items that are new and weren’t included in the 2016 application or are modifications to what was previously approved in 2016. **See attached COA and approved drawings from 2016 for additional details.**

### **ISSUES**

- The application includes the proposal to “re-create” limestone elements. Staff is not clear as to the specifics of this proposal. Will the limestone be replaced in-kind or manufactured of a material that replicates limestone? It is Staff’s opinion that replacement in-kind is the solution that best meets the Secretary of the Interior’s Standards for Rehabilitation.
- The existing fan window above the main entrance appears to contain a leaded glass panel. The application proposes a “custom wood window.” Will the leaded panel be repaired and reinstalled in a new wood frame or is a new wood window with divided lights proposed to replicate the leaded panel?
- The application material did not include a sight-line study to show the level of visibility from the right-of-way nor were the various heights of the addition provided. Staff is concerned that the addition as proposed will be highly visible from the right-of-way, specifically the stair enclosure at the front of the building.
- It is Staff’s opinion that the enclosed stair portion of the addition greatly alters the ornate detail and profile of the parapet located at the top of the front elevation of the existing building and that the enclosed stair portion of the addition is not compatible with the massing, size, scale, and architectural features of the existing building.
- Top Rail, Meeting Rail, Bottom Rail, and Jamb detail dimensions vary 1/2”– 1” between existing windows and proposed windows. This is a noticeable difference and will result in a substantial change to sight-lines and the appearance of the windows within the façade(s). While the majority of the existing windows appear to be beyond repair, or missing all together, the dimensions of the proposed replacement windows will impact and alter the overall character of the building, in Staff’s opinion.
- For double-hung windows at front façade that are proposed to be replaced – will they match the existing light configuration (6/9)? If they are proposed to match the divided-lite configuration, what are the details/dimensions of the muntins?
- Details regarding the fence/gates around the perimeter of the parking lot are necessary to understand the intention of the proposal and therefore make a determination of their appropriateness within the New Center Area Historic District.

### **RECOMMENDATION**

1. It is staff’s opinion that all work items proposed ***other than the rooftop addition***, does not destroy historic materials that characterize the property. Staff therefore recommends that the Commission issue a Certificate of Appropriateness as the proposed work meets the Secretary of the Interior’s Standards for Rehabilitation, especially:

*#2) The historic character of a property shall be retained and preserved. The removal of historic materials*

*or alteration of features and spaces that characterize a property shall be avoided.*

*#5) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.*

*#6) Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.*

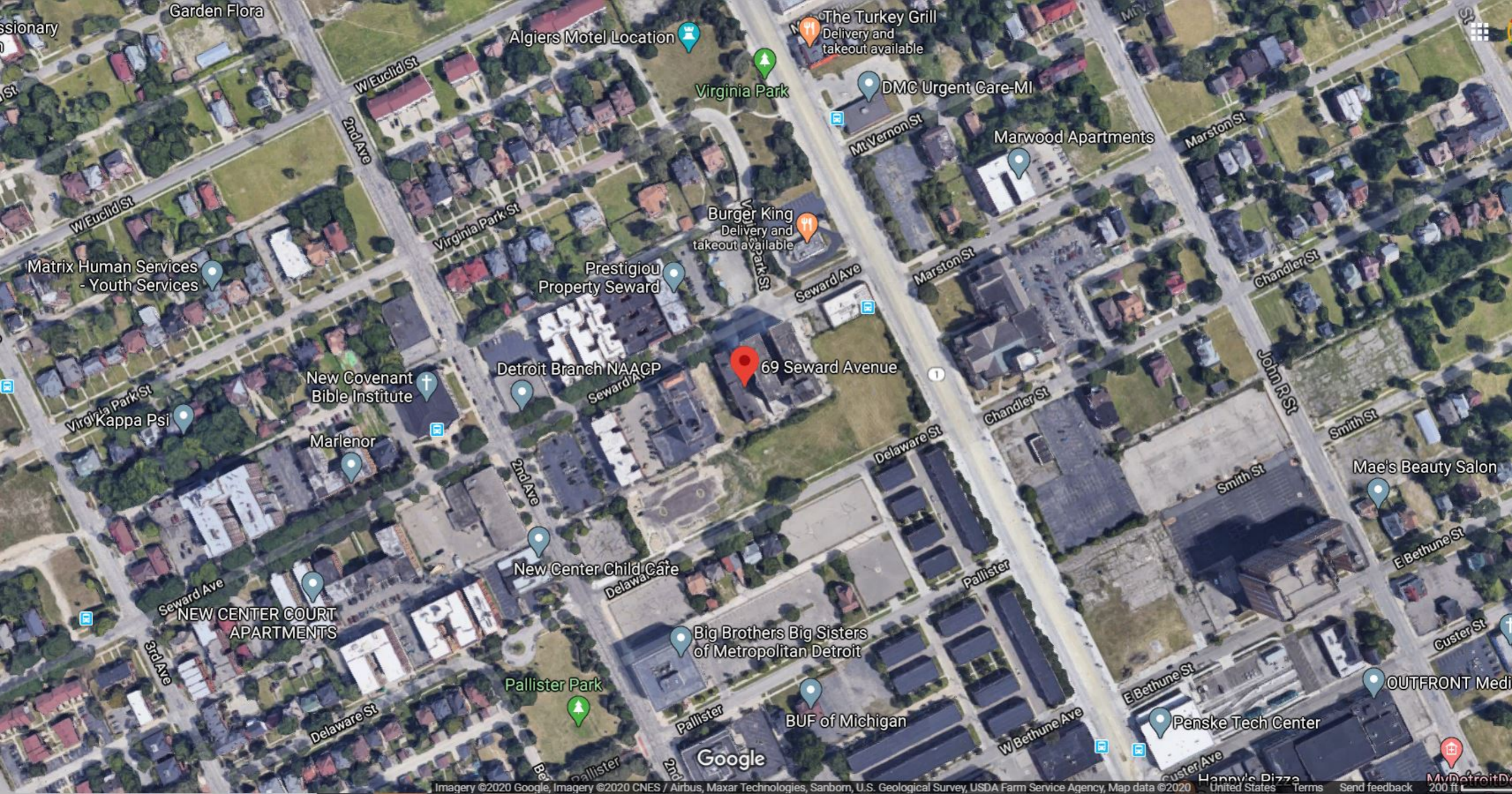
*#9) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*

However, staff recommends that the Commission issue this Certificate of Appropriateness with the following conditions:

- In cases where limestone is missing, it should be replaced in kind to match the material, color, size, profile, and finish as existing.
  - Replacement aluminum clad wood double hung windows to match existing windows in operation, light configuration, placement of the window within the exterior wall, and dimension (including top rail, meeting rail, bottom rail and jambs).
  - The existing leaded glass fan window above the main entrance shall be retained and repaired if possible. If deteriorated beyond repair, the new window must exactly replicate the existing in dimension, detailing, operation, and material.
  - Staff shall be afforded the opportunity to review and approve the details regarding the fence/gates at the perimeter of the parking lot prior to the issuance of the permit.
2. It is staff's opinion that the rooftop addition, as proposed, does not retain nor preserve the historic character of the building, its site. Staff therefore recommends that the Commission deny a Certificate of Appropriateness as the proposed work does not meet the Secretary of the Interior's Standards for Rehabilitation, especially:

*#2) The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*

*#9) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*



Garden Flora

Algiers Motel Location

The Turkey Grill  
Delivery and  
takeout available

Virginia Park

DMC Urgent Care-MI

Marwood Apartments

Matrix Human Services  
- Youth Services

Burger King  
Delivery and  
takeout available

Prestigious  
Property Seward

69 Seward Avenue

Detroit Branch NAACP

New Covenant  
Bible Institute

Kappa Psi

Marlenor

New Center Child Care

NEW CENTER COURT  
APARTMENTS

Big Brothers Big Sisters  
of Metropolitan Detroit

Pallister Park

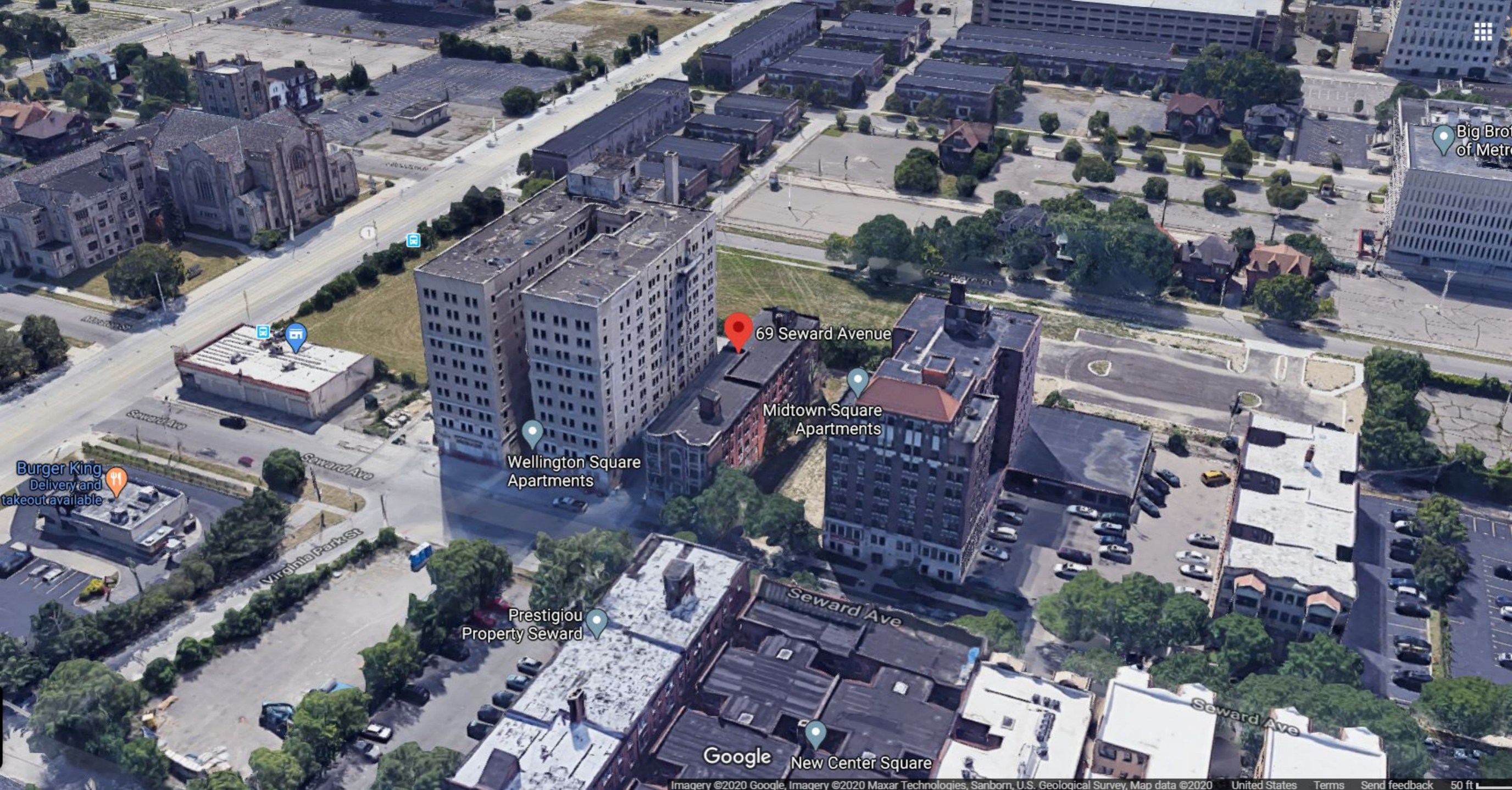
BUF of Michigan

Penske Tech Center

Mae's Beauty Salon

OUTFRONT Medi

Google



Big Bro  
of Metr

69 Seward Avenue

Midtown Square  
Apartments

Wellington Square  
Apartments

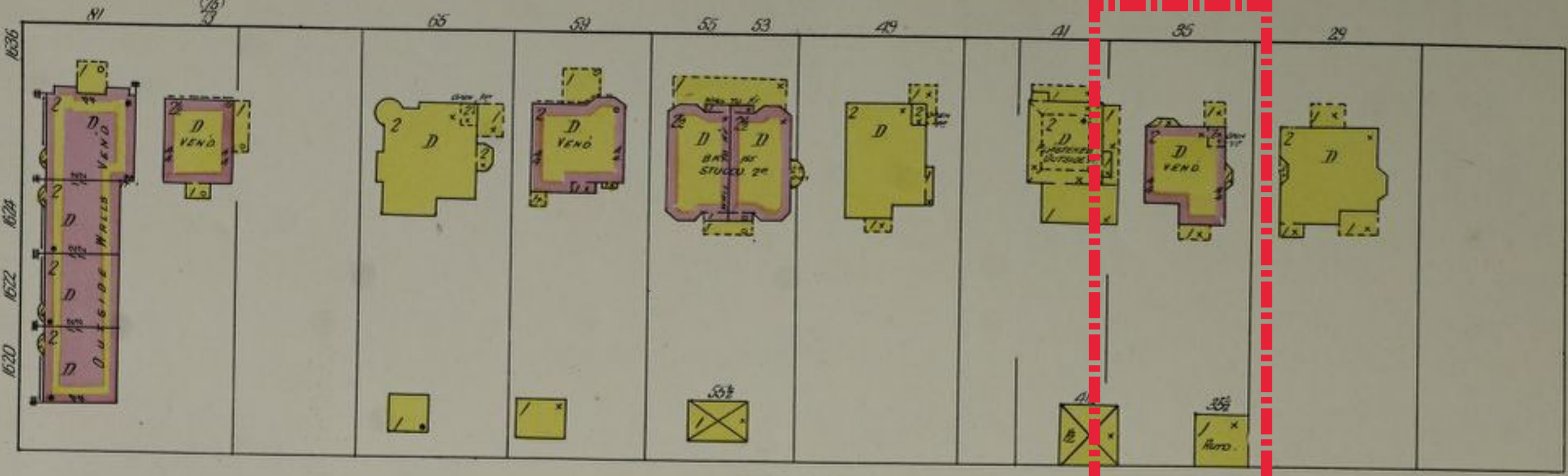
Prestigious  
Property Seward

Google  
New Center Square

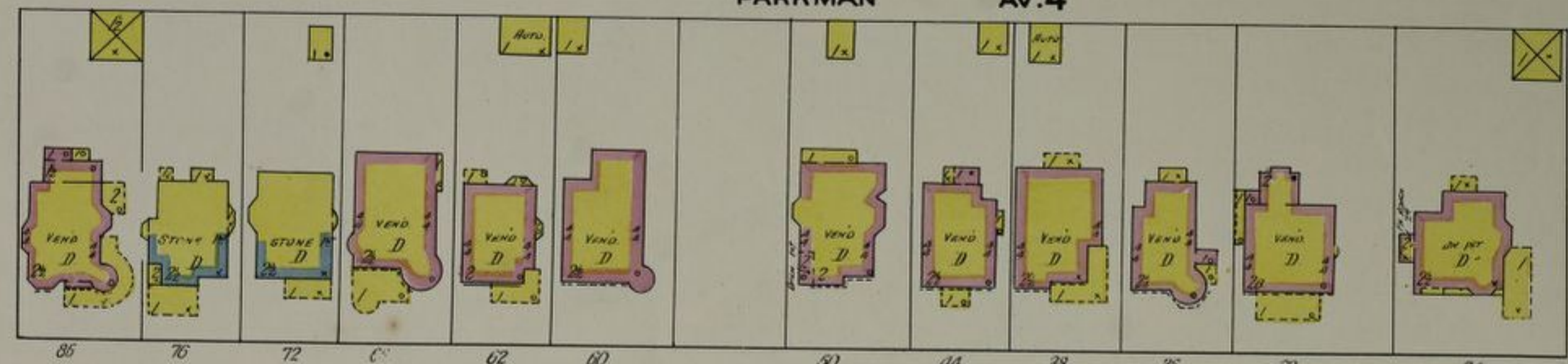
Burger King  
Delivery and  
takeout available

SEWARD AV.

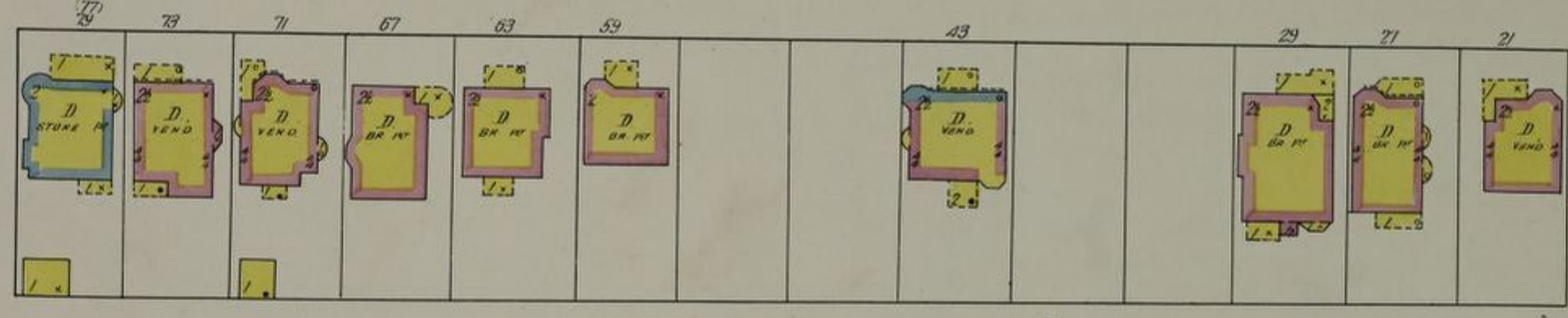
69 SEWARD



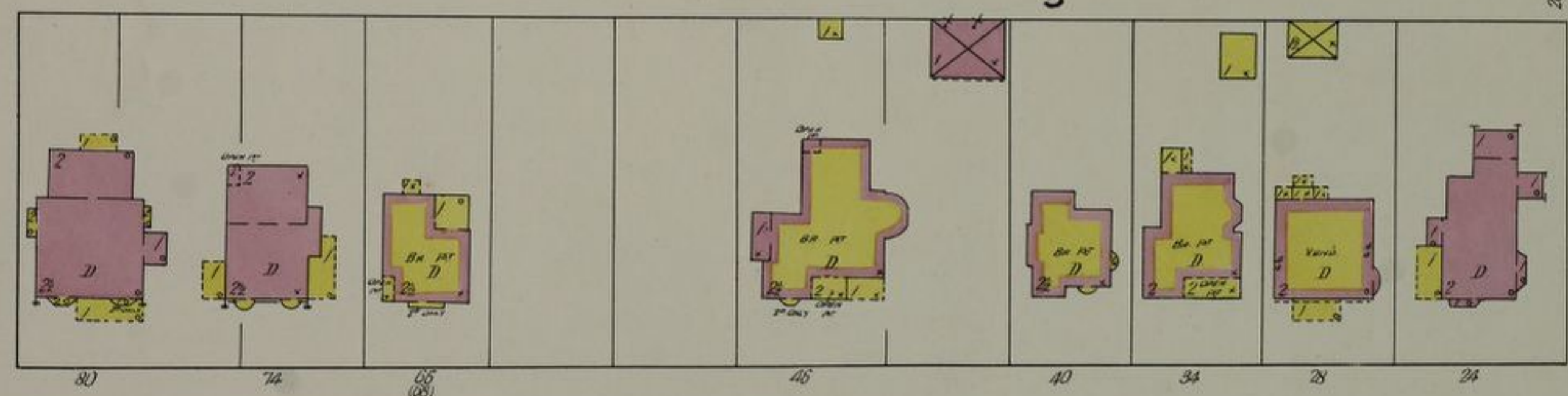
PARKMAN AV. 4



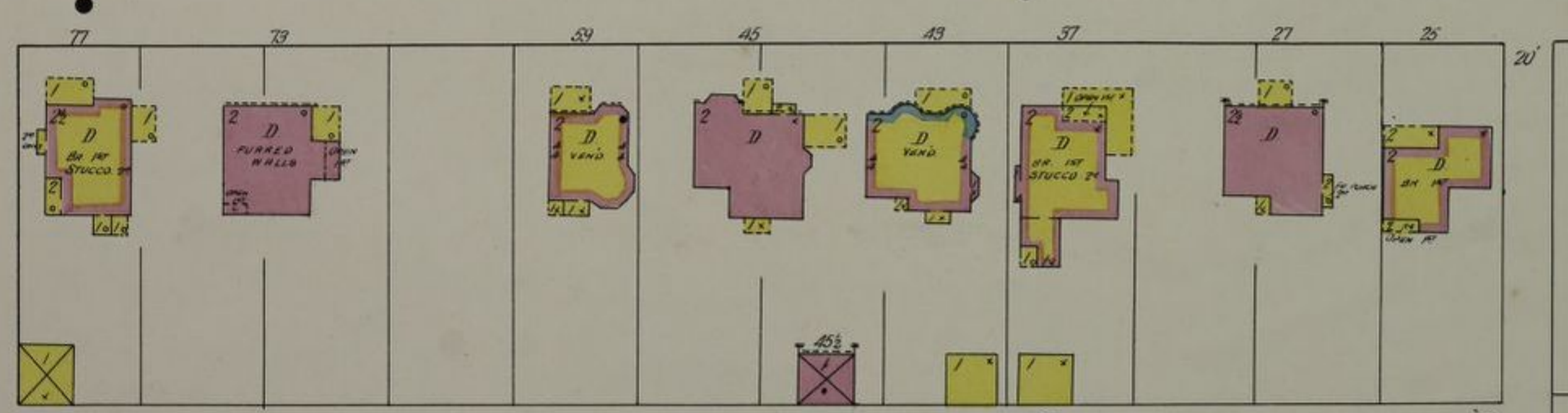
DELAWARE AV.



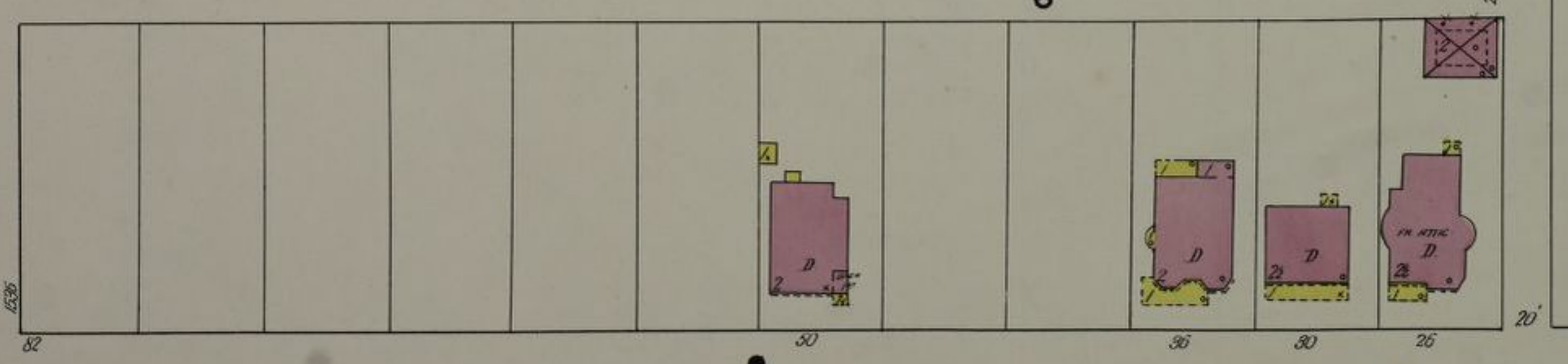
AV. 2ND



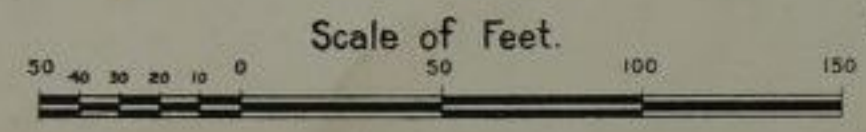
PALLISTER AV.



BETHUNE AV. W.

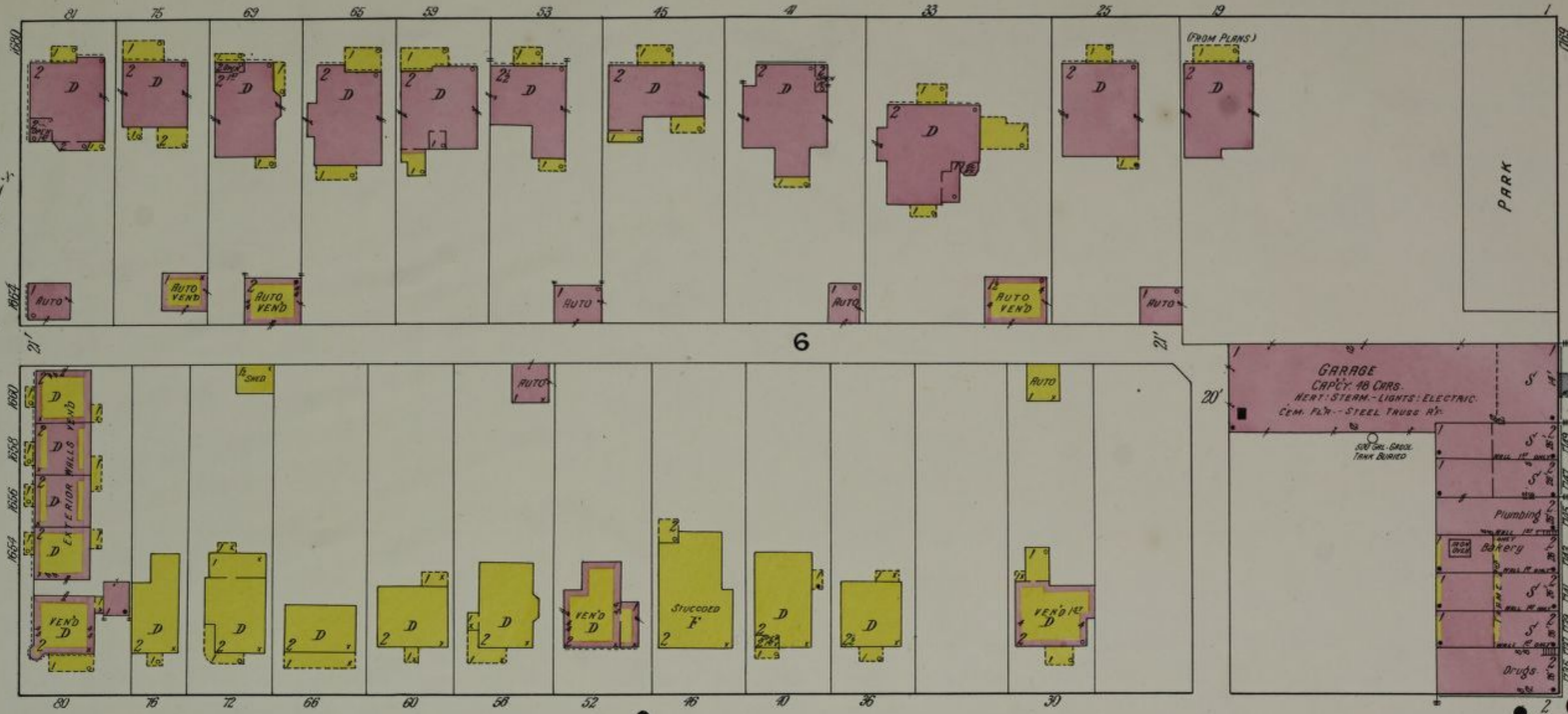


WOODWARD AV.





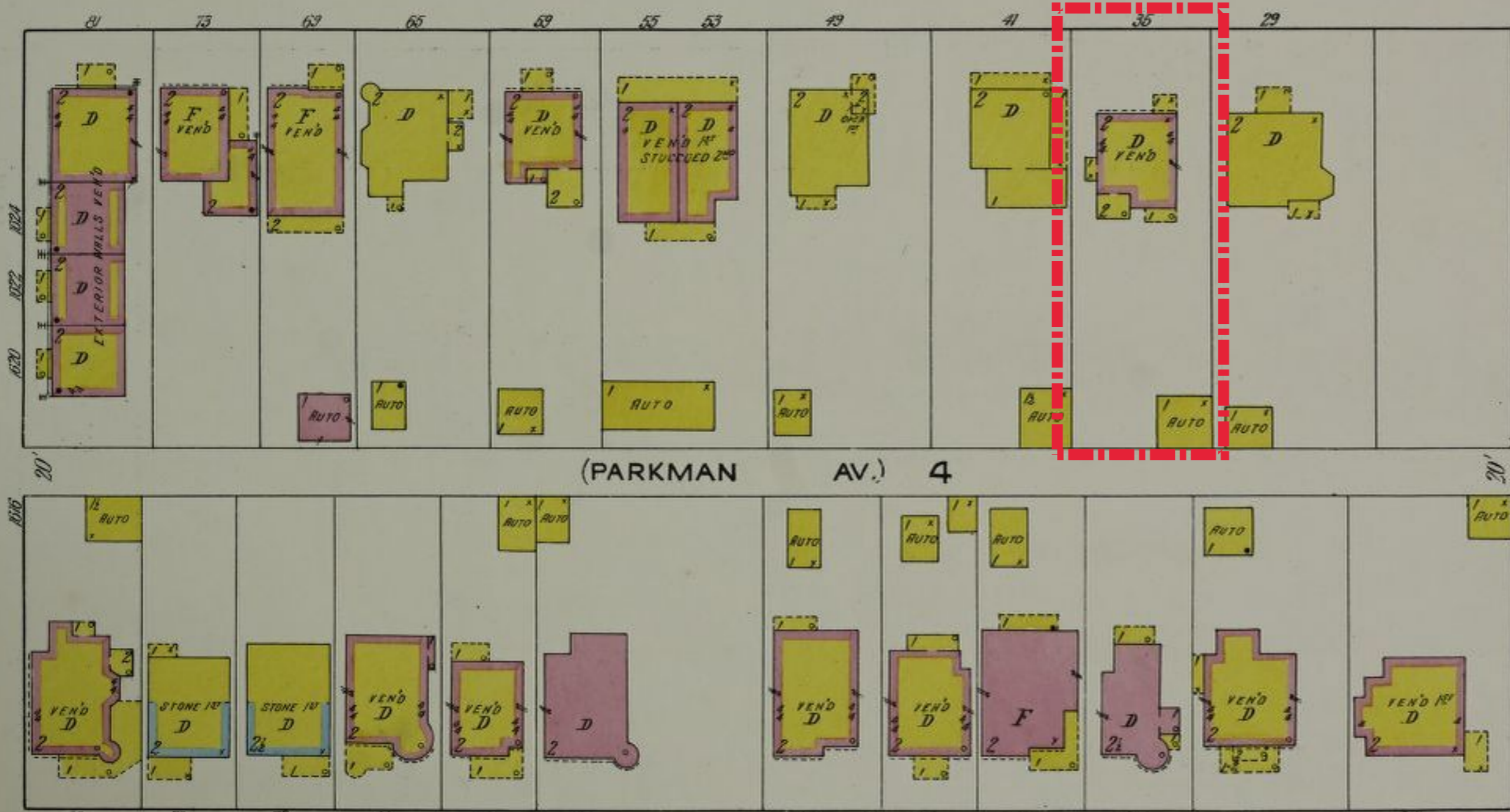
VIRGINIA 40 PARK



SEWARD AV.

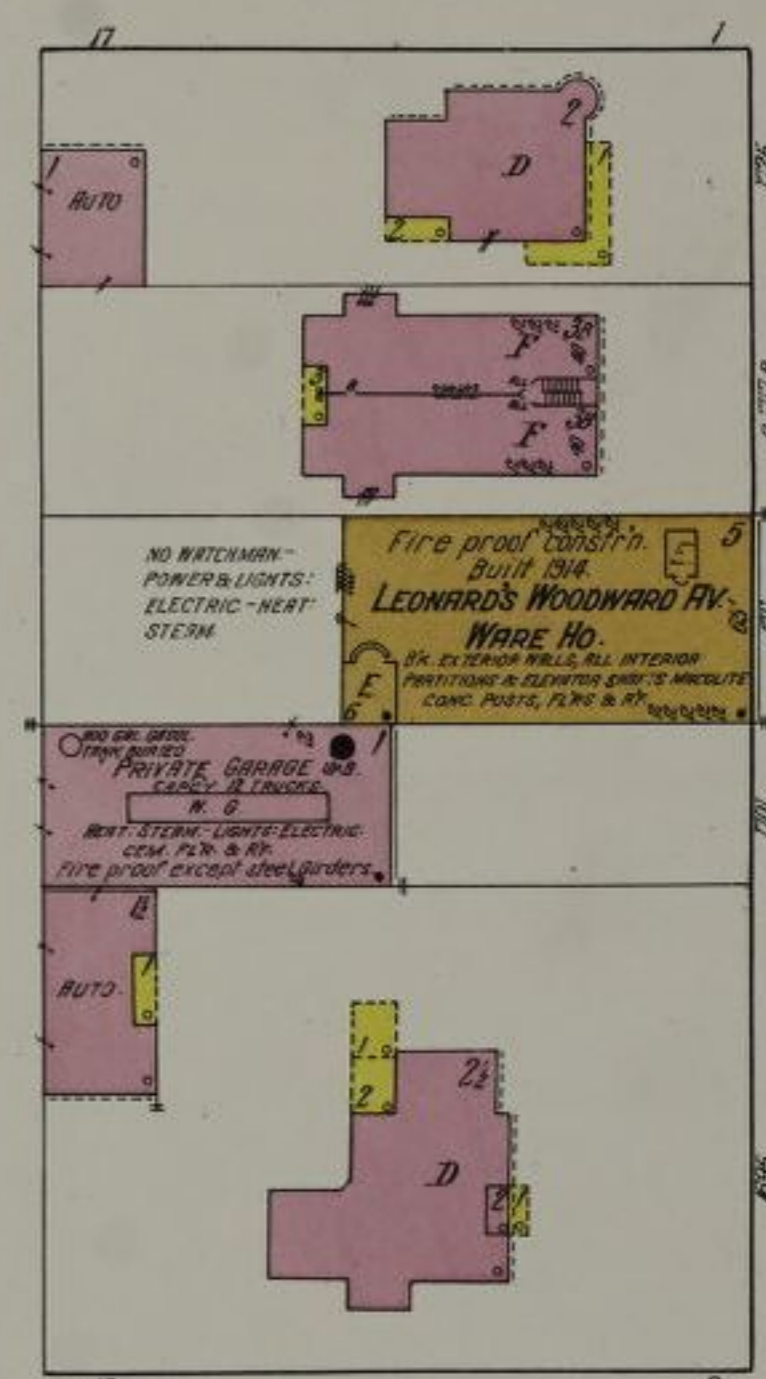
69 SEWARD

AV. 2ND



(PARKMAN AV.) 4

DELAWARE AV.

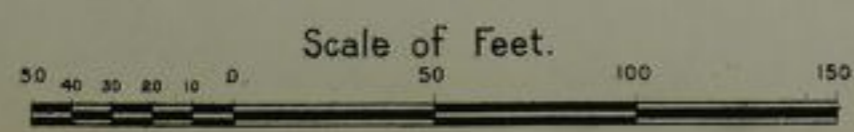


WOODWARD AV.



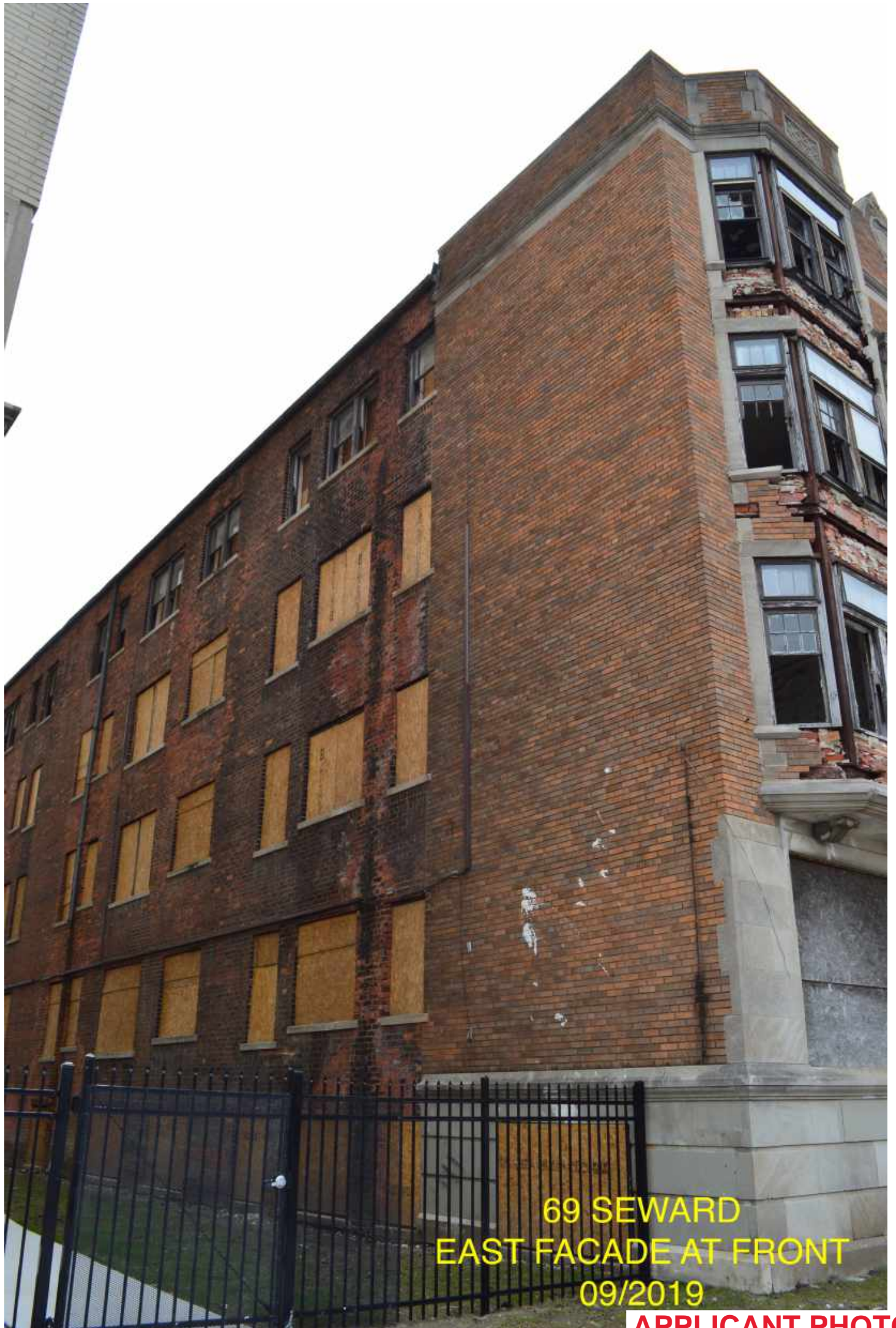
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PALLISTER AV.



Fire Insurance Map Collection  
Geography and Map Division  
Library of Congress





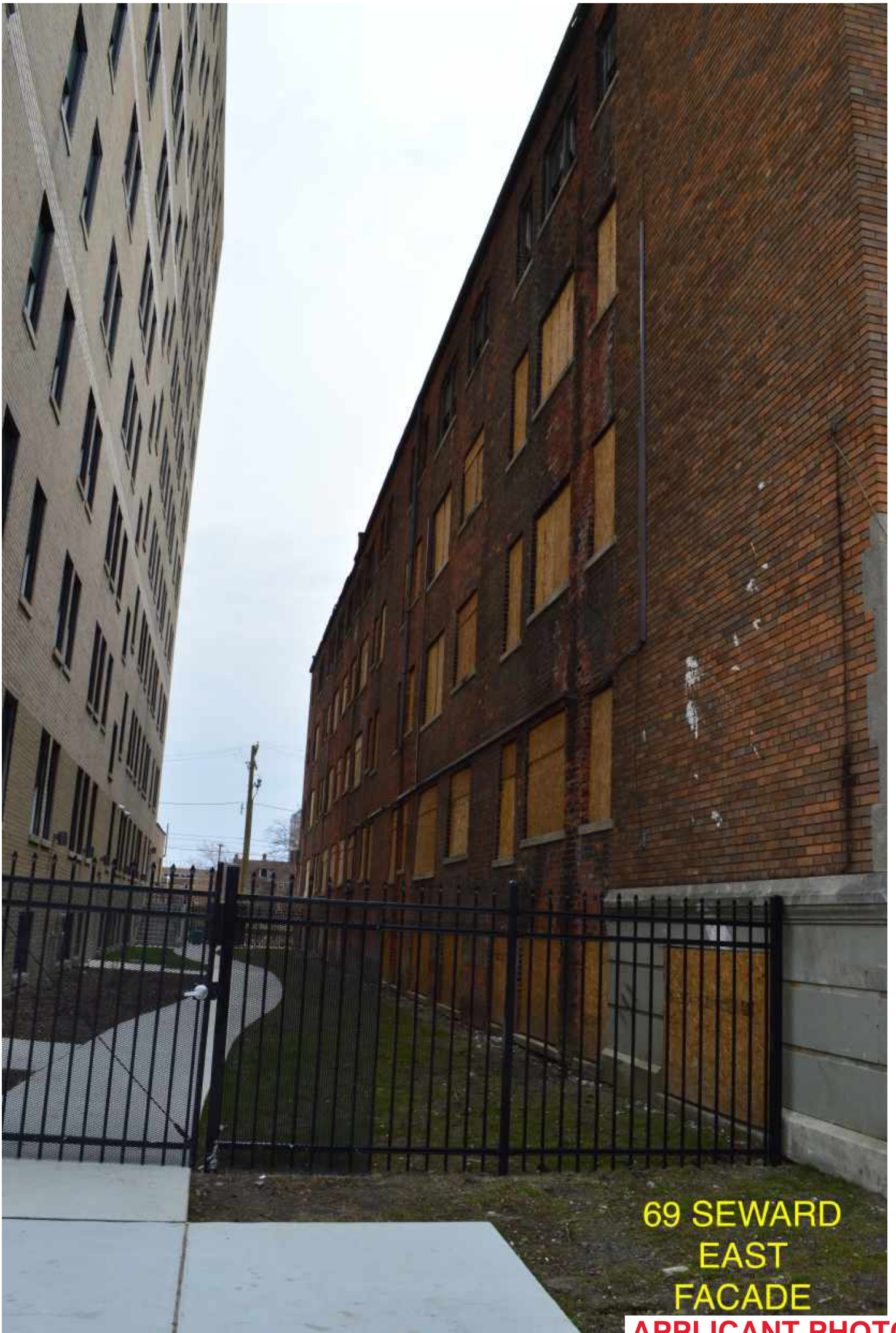
69 SEWARD  
EAST FACADE AT FRONT  
09/2019

APPLICANT PHOTO



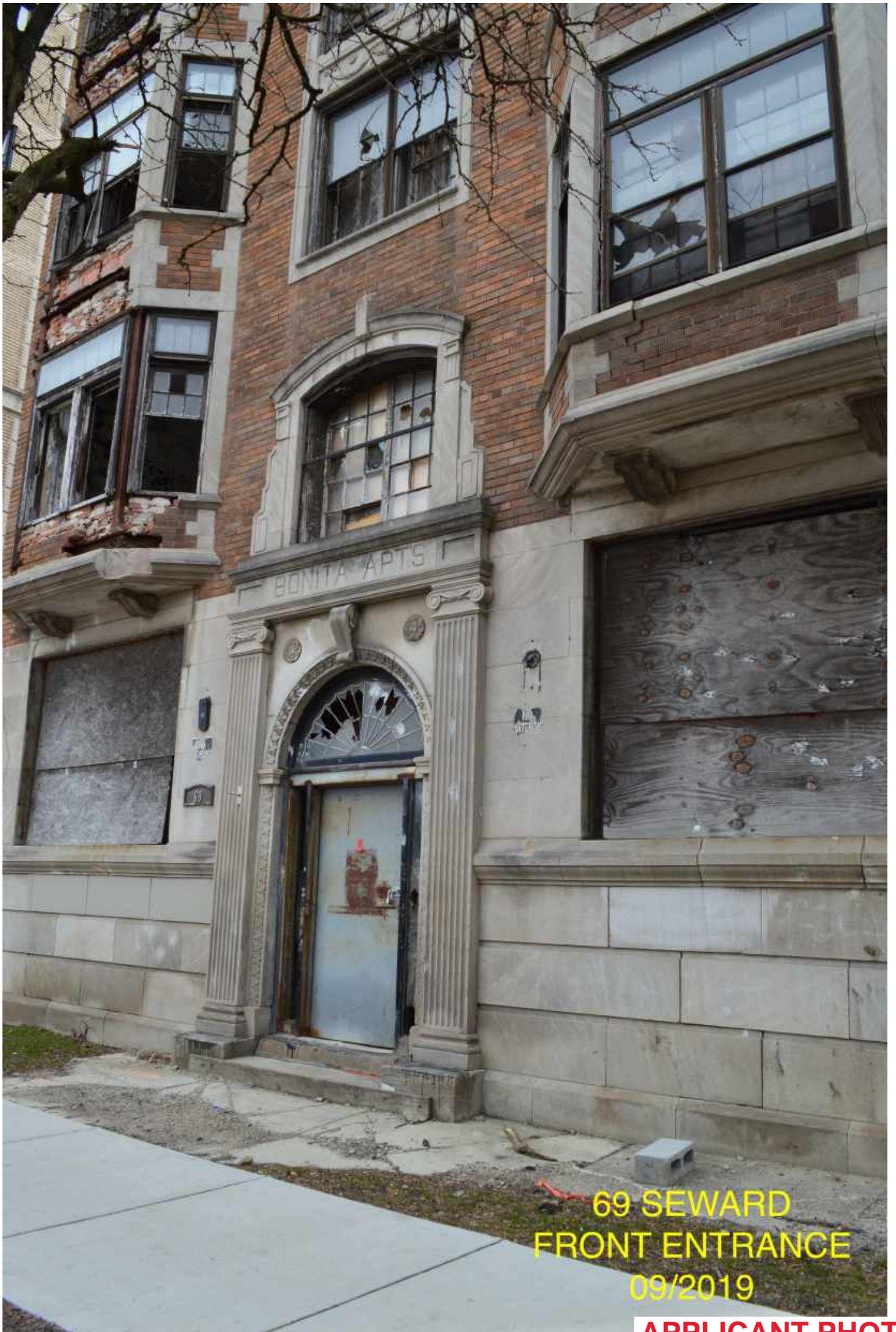
69 SEWARD  
EAST FACADE FROM REAR  
09/2019

APPLICANT PHOTO



69 SEWARD  
EAST  
FACADE

APPLICANT PHOTO



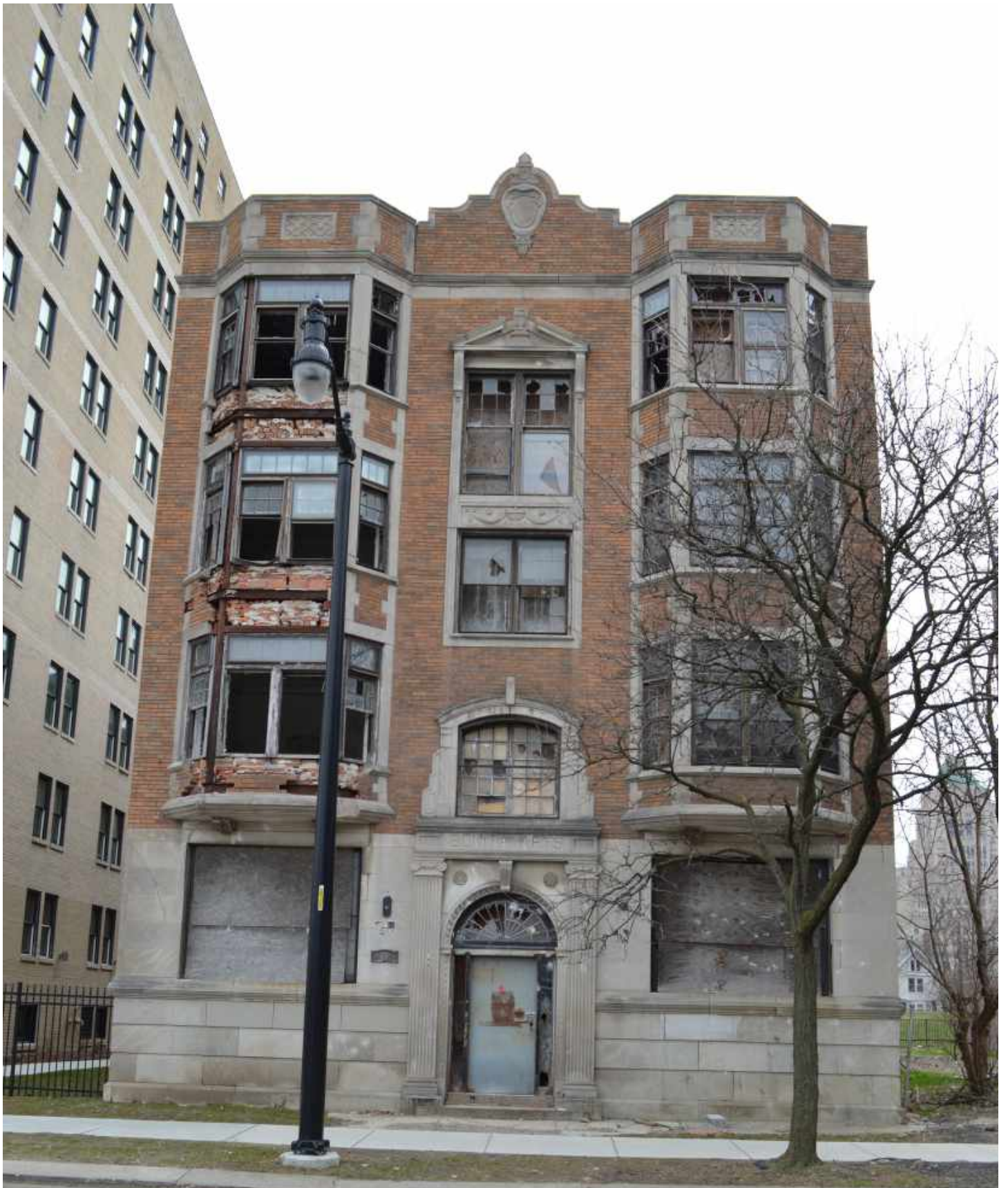
69 SEWARD  
FRONT ENTRANCE  
09/2019

APPLICANT PHOTO



69 SEWARD  
FRONT FACADE  
09/2019

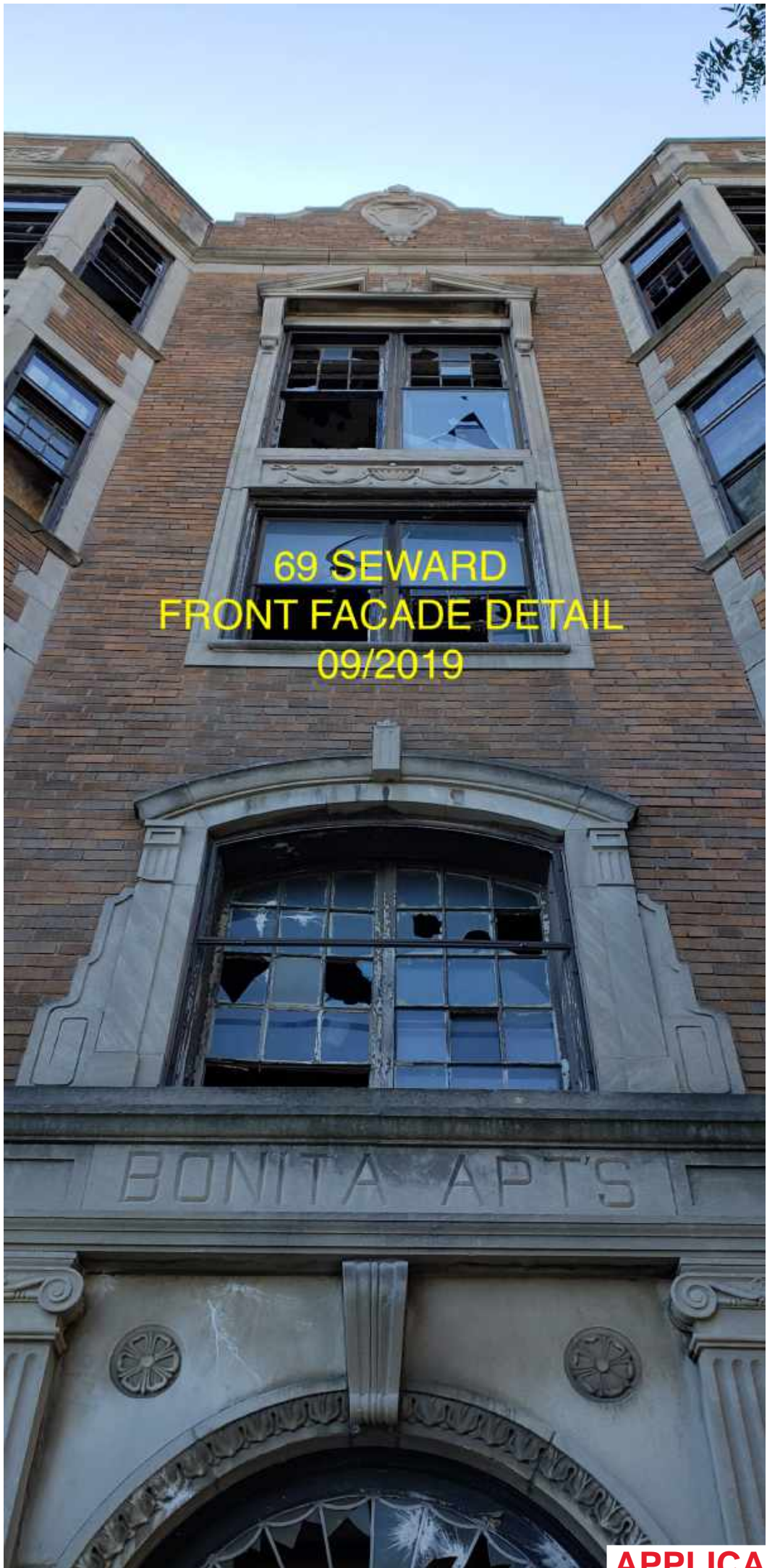
APPLICANT PHOTO



69 SEWARD  
FRONT FACADE  
09/2019

**APPLICANT PHOTO**



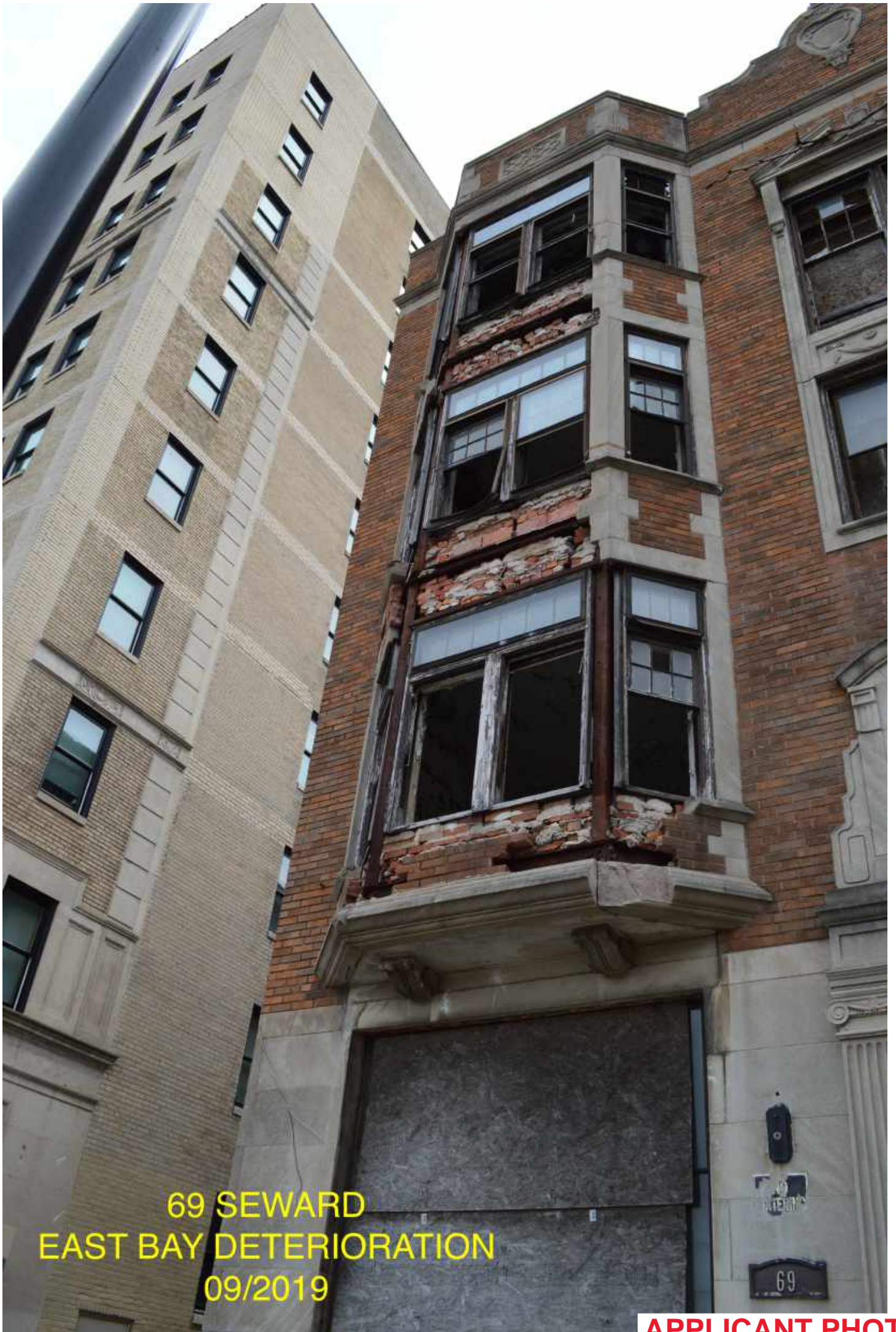


69 SEWARD  
FRONT FACADE DETAIL  
09/2019



69 SEWARD  
FRONT ENTRANCE DETAIL  
09/2019

APPLICANT PHOTO



69 SEWARD  
EAST BAY DETERIORATION  
09/2019

APPLICANT PHOTO



69 SEWARD  
OVERALL VIEW FROM  
SOUTH WEST  
09/2019

**APPLICANT PHOTO**



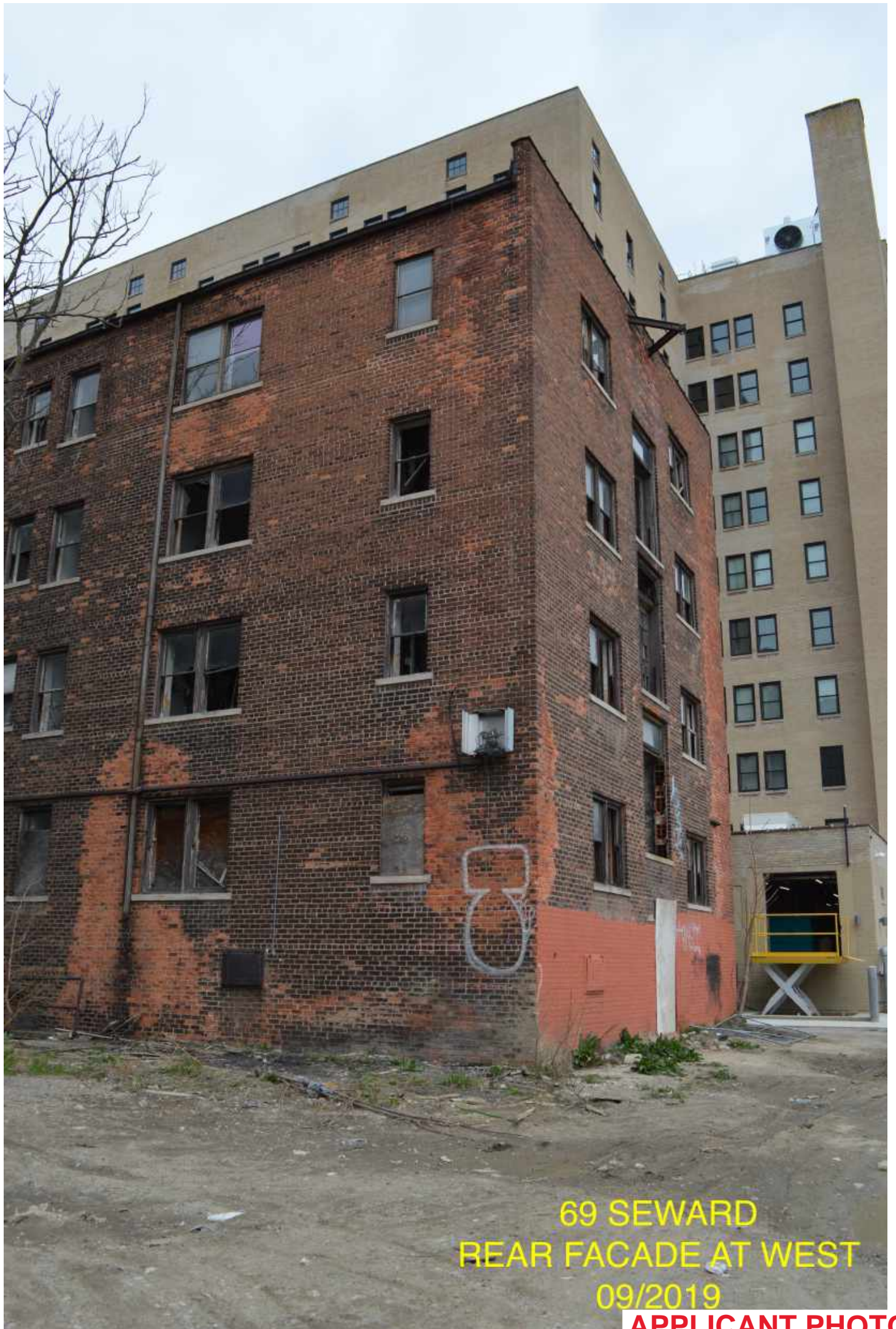
69 SEWARD  
OVERALL FRONT FACADE  
09/2019

**APPLICANT PHOTO**



69 SEWARD  
09/2019

**APPLICANT PHOTO**



69 SEWARD  
REAR FACADE AT WEST  
09/2019

**APPLICANT PHOTO**



69 SEWARD  
REAR FACADE  
09/2019

**APPLICANT PHOTO**





69 SEWARD  
FRONT HALF OF WEST  
WALL  
09/2019

**APPLICANT PHOTO**



69 SEWARD  
WEST FACADE  
09/2019

**APPLICANT PHOTO**



69 Seward  
Roof Looking North

APPLICANT PHOTO



69 Seward  
Roof Looking South

APPLICANT PHOTO



69 Seward  
Roof - North Portion



69 Seward  
Roof South Portion

APPLICANT PHOTO



March 13, 2020, Revised March 24, 2020

Detroit Historic District Commission  
2 Woodward Avenue  
Detroit, Michigan 48226

Re: 69 Seward Rehabilitation

HDC Staff,

The following is a description of the rehabilitation effort for 69 Seward, located in the Virginia Park Historic District.

The existing apartment building, the Bonita, was constructed in the earlier 20<sup>th</sup> century as a 5-story apartment building with small one-bedroom units. We are also combining the project with the adjacent lot of 81 Seward to construct a parking lot and to facilitate handicapped accessibility to the historic building. We will be rehabilitating the structure to have the same number of apartment units, and to construct a roof-top deck as an amenity for the building residents.

#### Existing Condition

The existing building a brick masonry load bearing structure with wood framing of interior walls, floors and roof structure. It is in poor condition having been vacant and open to the elements for many years. Most of the windows are missing, the masonry is in good condition, the front projecting bays have fallen and have already been dismantled with the intent of restoration. The roof and gutters / downspouts are in fair condition yet need replacement with the rehabilitation.

The interior is in poor condition with some of the front lobby marble damaged and / or missing. The structure of the existing bathrooms has caused floor sagging and open holes, and the plaster walls have lead-based paint which is peeling and is damaged throughout.

#### Proposed Rehabilitation - Exterior

The exterior brick masonry (two kinds) is in good condition. The front glazed brick masonry is intact, except for the bays, and will be tuck pointed and cleaned. The sides and rear common brick masonry is in good condition with some areas requiring attention for repair and replacement due to water damage over the years, and other minor spalled brick throughout the facades. The front bays are the most visible deteriorated areas of the façade. Due to neglect by previous owners, the bays have had falling masonry and limestone, with the windows now missing. We have performed a structural analysis with an inventory of removed limestone pieces, for re-installation and re-creation of elements to restore the projecting bays. The brick masonry and limestone elements will be re-installed per original condition.

The windows for the rehabilitation fall into two categories; custom wood windows, and double hung windows. The front façade is where the custom wood windows will be restored or recreated to match the original in its original configurations and details. The double hung windows are proposed to be replaced



with aluminum clad wood windows, of a color to match the Detroit Historic District Color Guide. The front door and half-round window above, as well as the other custom windows of the front façade will be restored. The sides and rear façade windows are either deteriorated or missing and are proposed to be replaced with the same aluminum clad wood windows proposed for the front double hung windows.

#### Alterations

We are proposing to expand the interior front lobby to accept handicapped people into the building. This alteration covers lower level windows and removes a window to install a new door with sidelights off of the handicapped ramp adjacent to the parking lot. The door and sidelights will be full glass. The canopy above the door will be steel, painted.

The rooftop is proposed to have an addition of the existing front stair extended, a corridor and roof deck. Since the existing elevator is no longer functional and cannot be replaced as-is, a new elevator will be constructed and installed. The form of the rooftop addition is to minimize the site lines of the building front façade. The addition will be clad in Hardie board lap siding, of a dark color, with associated trim. The deck will have a steel and wire railing. The deck material will be Trex.

*The following is a bulleted list of proposed alterations and addition:*

- *Brick masonry replacement and tuckpointing*
- *Limestone cleaning and tuckpointing*
- *Front bay reconstruction / restorations*
- *Entrance door and unique front windows reconstruction in wood to match originals*
- *Double-hung window replacement throughout*
- *New handicapped entrance and site ramp on the west side of the building*
- *New front stair extension to roof top deck*
- *New Elevator and Corridor construction on roof*
- *New roof top deck construction*

Please see the enclosed existing photos, the report by Blackberry Windows about the existing window conditions, and the set of construction drawings.

Please feel free to reach out to us about any questions or concerns.

Thank you, Brian

Brian V. Hurttienne | AIA | Principal  
**Christian Hurttienne Architects**  
2111 Woodward Avenue, Suite 201  
Detroit, MI 48201  
www.cha-c.com



11/15/19

Lewand Building Companies, LLC.  
 Attn: Armen Derderian  
 231 S. Old Woodward Ave, Suite 220  
 Birmingham, MI 48009  
 Phone: 248-258-6602  
 Email: armen.d@lewandbuilding.com

Job Name: 69 Seward Ave.  
 Job Location: Detroit, MI

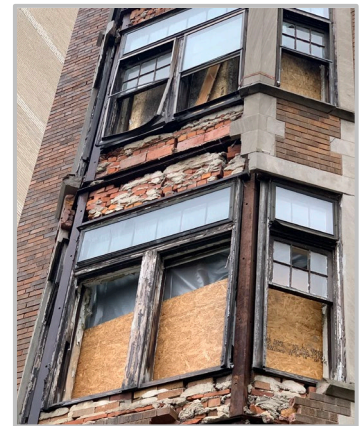
## HISTORIC WINDOW SITE REVIEW: BUDGET PRICING



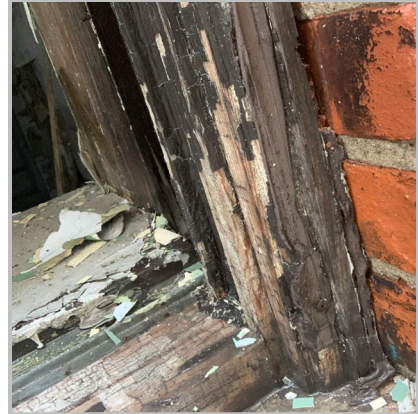
The following is the written Historic Window Site Review for the existing wood windows at 69 Seward Ave, Detroit, MI. This information is based on a physical site visit, and inspection of the existing windows. Our review considers the National Park Service guidelines for restoration and replication as provided in the NPS Wood Window Preservation Brief #9. Likewise, in providing our recommendations for the restoration or replacement, we are adhering to the guidelines that meet NPS and SHPO standards. Please note this review is our opinion based on over 30 years of historic window restoration and replication experience; however, you must have written approval from NPS, SHPO, or the Detroit Historic District Commission to be assured of the projects' tax credit approval (if applicable) or historic district compliance.

**I. Existing Conditions: (258) Wood Double Hung Windows and (30) Double Hung Windows with an upper Transom @ (4,343 Sq. ft.)**

The existing windows appear to be original to the Building. Some windows have had an exterior storm window installed. The windows are in very poor condition. All the existing windows appear to be a first growth white pine and have gone years without repair or maintenance. The existing sashes are in poor condition with many of the sashes failing at the corner joinery locations. Many of the windows are missing critical components such as the brickmould, the sill, and sashes.



The frames have gone years without proper caulking and painting, allowing the joinery to open up and swell. Exposure to the elements has taken a major toll on the sashes and frames. Many of the sills are fissured, cracked and open. Over 30% of the windows are missing glazing; all glass is ¼" clear annealed. The exterior caulk has failed on all window openings. The overall condition is very poor.



There are several variations of wood hung windows: Single Double-Hung Units, (2) Mullied Double-Hung Units and both styles with an upper Transom on the Front and Rear Elevations.

The typical window components include 6 ½" wide vertical mullion (for mullied units), 1 ¾" thick sash, ½" x ½" parting bead, and ¼" clear annealed glass. The site lines include 1 ¾" side rails, 3" bottom rail, 1 ⅔" meeting rail, 3" top rail, and 7 ¾" frame depth. The exterior sill face is 1 ¾", and a 2" x 1" brickmould. Most of the windows are missing critical elements, at least what we could access, therefore we do not have a complete set of window component dimensions.

As with most windows of this era and condition we assume the perimeter exterior caulk and glazing compound will test positive for asbestos, the Haz-Mat testing and report should include the windows when testing for asbestos and lead paint.

**Recommendation: Complete Removal and Replication of all window types**

BlackBerry recommends the full replacement of the existing wood and steel windows based on the overall poor condition of the components and the fact that 95% of the windows have failed extensively. The extensive damage to the components will not allow for the restoration of these window frames and sashes. There are Replica Thermally Broken Aluminum Products available that have been in the past approved by NPS and SHPO for similar historic tax credit projects. The brickmould shape on this window is historic but nothing unique and can be easily replicated with a Custom Aluminum Double-Hung Replica Window.

The Custom Aluminum Double Hung Replica option would be based on the use of a window equal to the Quaker H503 Historical Single Hung Series which has been used on many similar NPS approved projects. This would include custom exterior panning and sill system, custom mullion covers, interior snap trim, insulated glass with low-e/argon, and AAMA 2605 painted finish. Budget pricing for this option includes removal/abatement, disposal and install.

**Budget Pricing \$477,750.00**



Photo 1: View of Windows on the West Elevation



Photo 2: Mulled Double-Hung Windows on the Front Facade



Photo 3: Interior view of the Meeting Rail, Jamb, and Side Rail

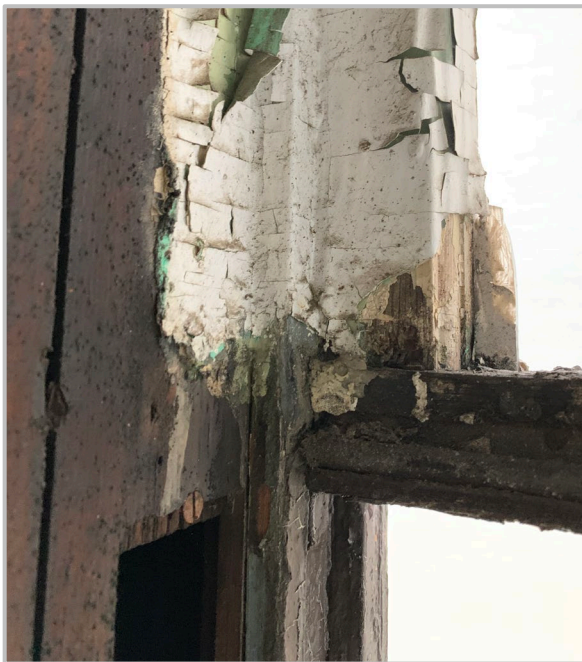


Photo 4: Interior view of the Top Rail, Side Rail and Interior Casing



Photo 5: Exterior View of Sill, Jamb, and Frame with Missing Brickmould (a common condition)



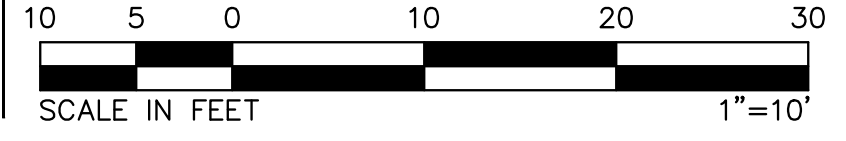
Photo 6: Interior View of the Window - Jamb, Sill, and the Missing Sash





# BONITA APARTMENTS

PART OF SCHMIDT'S SUB'N OF PART OF SECTION 56 OF T.T.A.T.  
DETROIT, WAYNE COUNTY, MICHIGAN



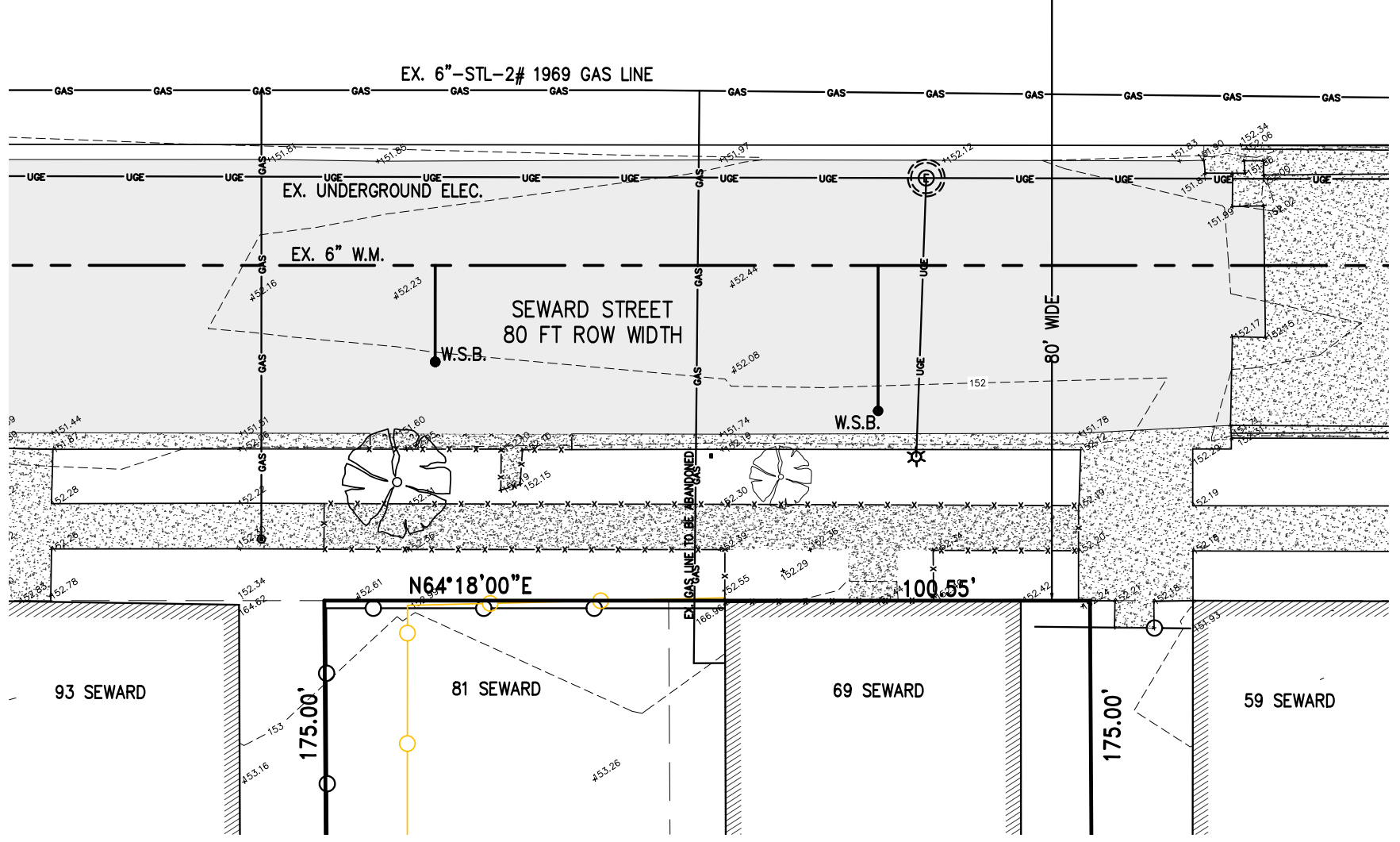
**LEGAL DESCRIPTION:**  
69 SEWARD AVENUE - TAX ID#: 02001187  
LOT 14, EXCEPT THE WEST 3 FEET, SCHMIDT'S SUBDIVISION ACCORDING TO THE PLAT THEREOF, RECORDED IN LIBER 19 OF PLATS, PAGE 66, WAYNE COUNTY RECORDS.

81 SEWARD AVENUE - TAX ID#: 02001188  
THE WEST 3 FEET OF LOT 14 AND THE EAST 42.22 FEET OF LOT 13, SCHMIDT'S SUBDIVISION ACCORDING TO THE PLAT THEREOF, RECORDED IN LIBER 19 OF PLATS, PAGE 66, WAYNE COUNTY RECORDS.

**PROPERTY DESCRIPTION - AS SURVEYED:**  
COMMENCING AT THE NORTHWEST CORNER OF "GRAMONT MANOR CONDOINIUM" PLAN NO. 547, LIBER 31295, PAGE 136, WAYNE COUNTY RECORDS. THENCE N64°18'00"E 397.79 FEET TO THE POINT OF BEGINNING; THENCE N64°18'00"E 100.55 FEET; THENCE S26°02'25"E 175.00 FEET; THENCE S64°18'00"W 100.55 FEET; THENCE N26°02'25"W TO THE POINT OF BEGINNING.

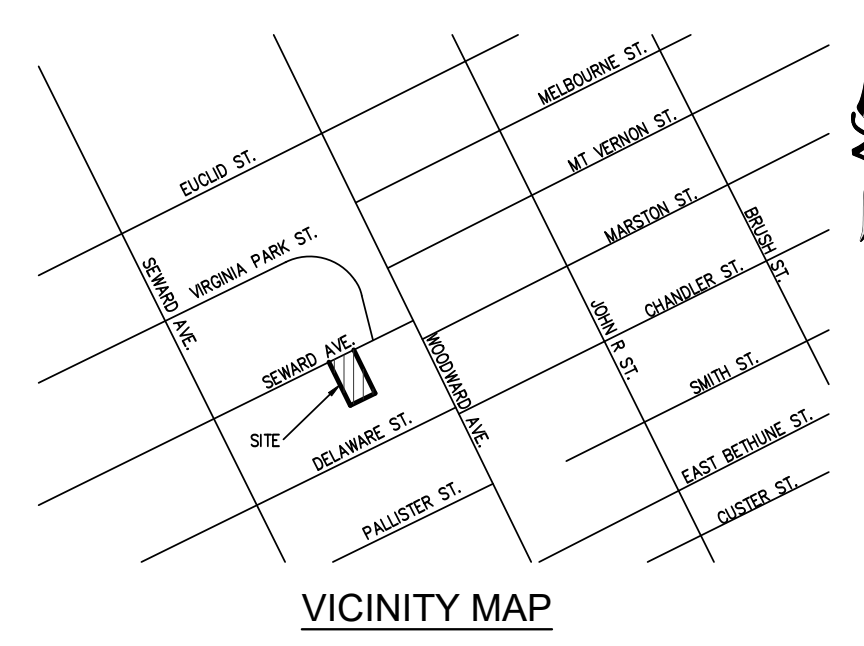
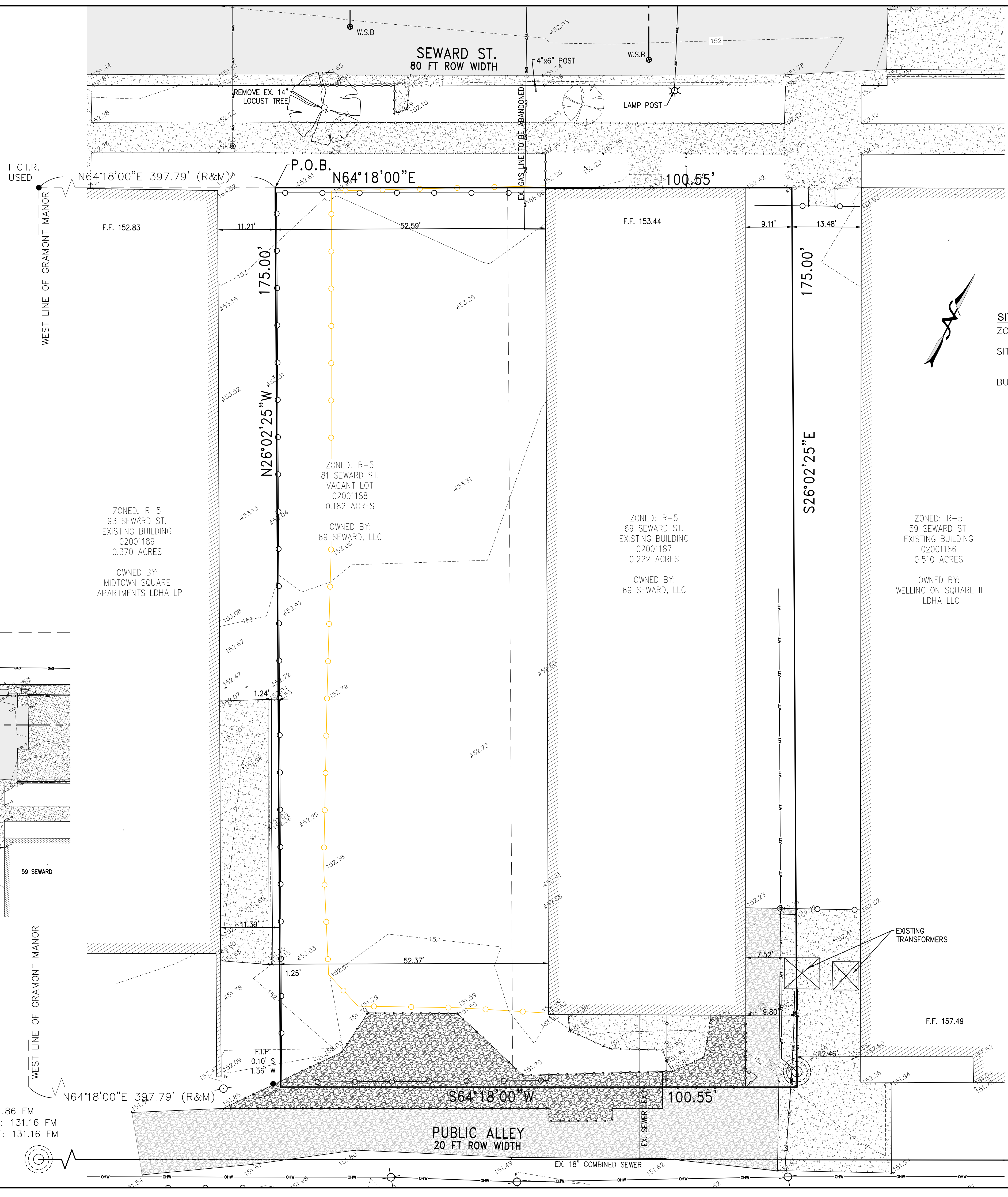
**BASIS OF BEARINGS:**  
SOUTH LINE OF SEWARD AVENUE PER "GRAMONT MANOR CONDOINIUM" PLAN NO. 547, LIBER 31295, PAGE 136, WAYNE COUNTY RECORDS.

NORTH SIDE OF SEWARD STREET  
SCALE: 1"=20'



**NOTE REGARDING EXISTING UTILITIES:**  
THE FOLLOWING UTILITY COMPANIES WERE CONTACTED VIA THE MISS DIGG DESIGN TICKET SYSTEM TO REQUEST RECORD MAPS OF THEIR UTILITIES IN THE AREA. THE STATUS OF THEIR RESPONSES ARE NOTED. NO GUARANTEE CAN BE MADE TO THE COMPLETENESS OF EXACTNESS OF THEIR LOCATION.

AT&T	RECEIVED/SEE PLANS (DRAWN PER AT&T MAP)
COMCAST	PENDING
DETROIT EDISON ELECTRIC	RECEIVED/SEE PLANS
DETROIT PUBLIC LIGHTING	RECEIVED/SEE PLANS
DETROIT THERMAL, LLC	PENDING
DETROIT WATER & SEWER	RECEIVED/SEE PLANS
GREAT LAKES WATER AUTHORITY	RECEIVED/SEE PLANS
LIGHTOWER FIBER NETWORKS	RECEIVED/NO FACILITIES ON SITE
DTE GAS DISTRIBUTION	RECEIVED/SEE PLANS
MCI/VERIZON BUSINESS	PENDING
ROCKET FIBER LLC	PENDING
DTE ENERGY	RECEIVED/SEE PLANS



**SITE DATA**  
ZONING: R-5 MEDIUM DENSITY RESIDENTIAL  
SITE AREA: 17,596 FT<sup>2</sup>  
0.4039 ACRES  
BUILDING 69 AREA: 6,216 FT<sup>2</sup>

**BENCHMARKS**  
CITY REFERENCE BENCHMARK  
CITY OF DETROIT BM #32-354  
N.E. CORNER OF EUCLID & WOODWARD  
ELEVATION: 151.26

**BENCHMARK #1**  
HYDRANT ARROW  
LOCATED ~ 3.4' NORTH OF TOP OF CURB ON NORTH SIDE OF SEWARD ST AND 50' EAST OF THE NORTHEAST CORNER OF BUILDING 69 SEWARD.  
ELEVATION: 154.65

ZONED: R-5  
59 SEWARD ST.  
EXISTING BUILDING  
02001186  
0.510 ACRES  
OWNED BY:  
WELLINGTON SQUARE II  
LDHA LLC

ZONED: R-5  
69 SEWARD ST.  
EXISTING BUILDING  
02001187  
0.222 ACRES  
OWNED BY:  
69 SEWARD, LLC

ZONED: R-5  
81 SEWARD ST.  
VACANT LOT  
02001188  
0.182 ACRES  
OWNED BY:  
69 SEWARD, LLC

ZONED: R-5  
93 SEWARD ST.  
EXISTING BUILDING  
02001189  
0.370 ACRES  
OWNED BY:  
MIDTOWN SQUARE  
APARTMENTS LDHA LP

- LEGEND:**
- PROPERTY BOUNDARY
  - EXISTING SANITARY SEWER
  - EXISTING WATER MAIN
  - EXISTING STORM SEWER
  - EXISTING OVERHEAD WIRES
  - EXISTING U.G. ELECTRIC
  - EXISTING GAS
  - EXISTING FENCE
  - TO BE REMOVED

- EXISTING CONCRETE
- EXISTING GRAVEL
- FOUND CAPPED IRON ROD (F.C.I.R.)
- FOUND IRON PIPE (F.I.P.)
- EXISTING GUY POLE
- EXISTING UTILITY POLE
- LAMP POST
- TREE
- GAS SHUT-OFF

- SHEET INDEX:**
- 01 EXISTING CONDITIONS & REMOVAL PLAN
  - 02 SITE PLAN
  - 03 GRADING DETAILS

RIM: 151.60 FM  
18" W IE: 128.30 FM  
18" N IE: 128.08 FM  
18" S IE: 128.28 FM



EXISTING CONDITIONS & REMOVAL PLAN

**BONITA APARTMENTS**  
69 & 81 SEWARD AVENUE  
PART OF SCHMIDT'S SUB'N  
OF PART OF SECTION 56 OF T.T.A.T.  
CITY OF DETROIT, WAYNE COUNTY, MICHIGAN

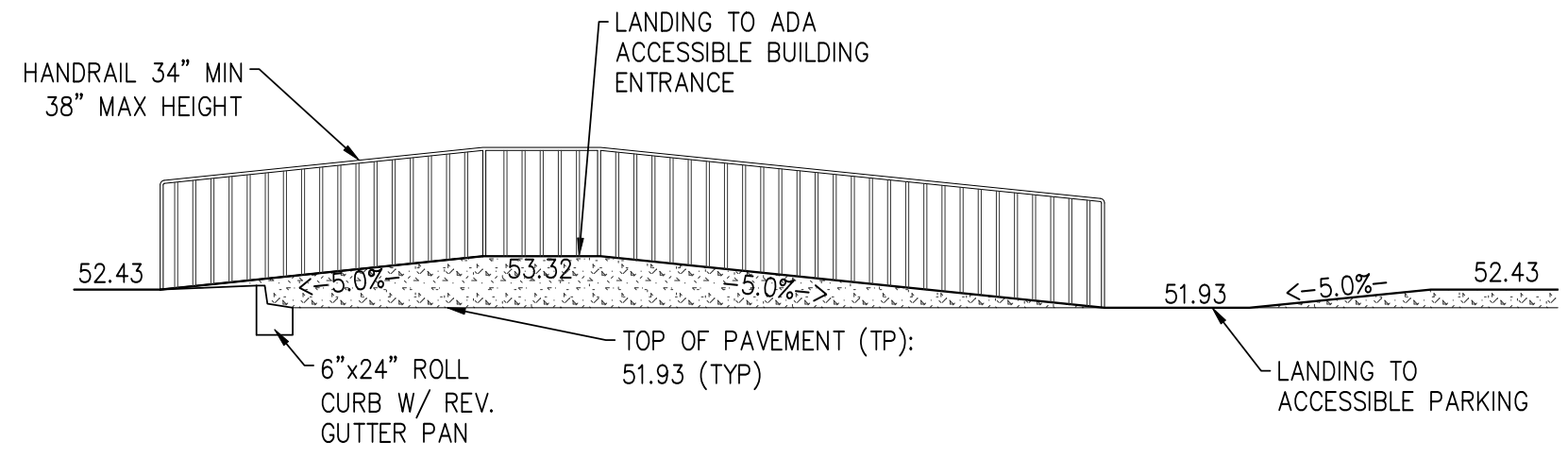
**PROPRIETOR**  
MR. BRIAN V. HURTIENNE  
CHRISTIAN HURTIENNE ARCHITECTS  
2111 WOODWARD AVE., #201  
DETROIT, MI 48201

**ENGINEERS - SURVEYORS**  
**MLP**  
AND ASSOCIATES, INC.

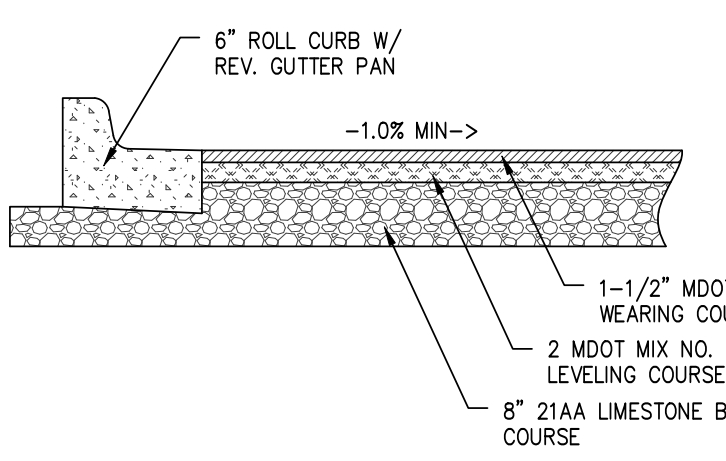
Michael L. Priest & Associates, Inc.  
40665 Koppernick Road, Canton, MI 48187  
phone: (734) 459-8560  
fax: (734) 459-2585

DATE: 02-28-2020  
JOB NO. 2019.31  
STATUS: REVISIONS

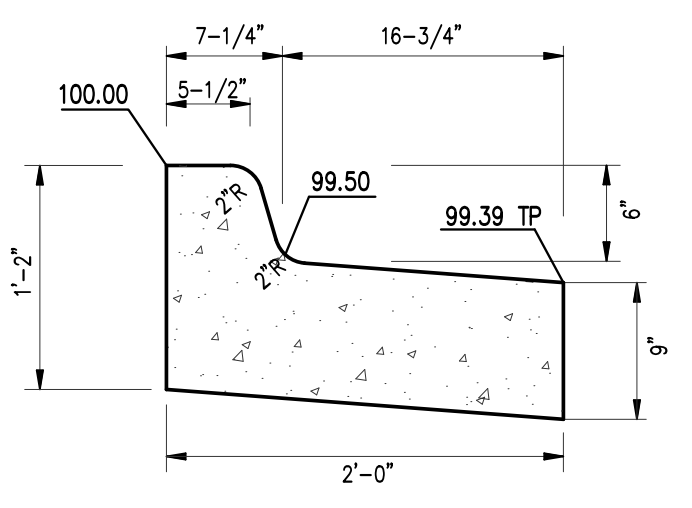
**ADA ACCESSIBLE WALK DETAIL**  
NOT TO SCALE



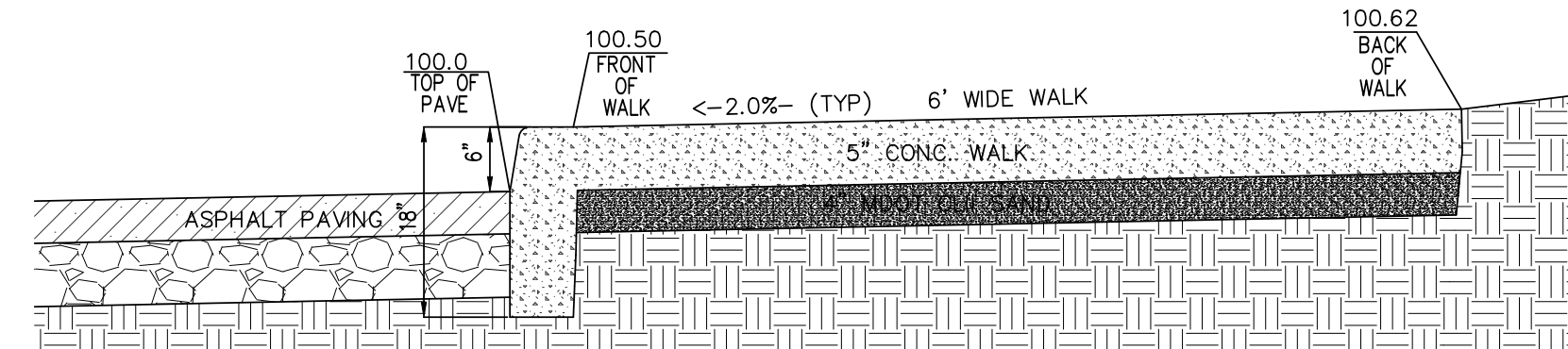
**ASPHALT PARKING LOT CROSS-SECTION**



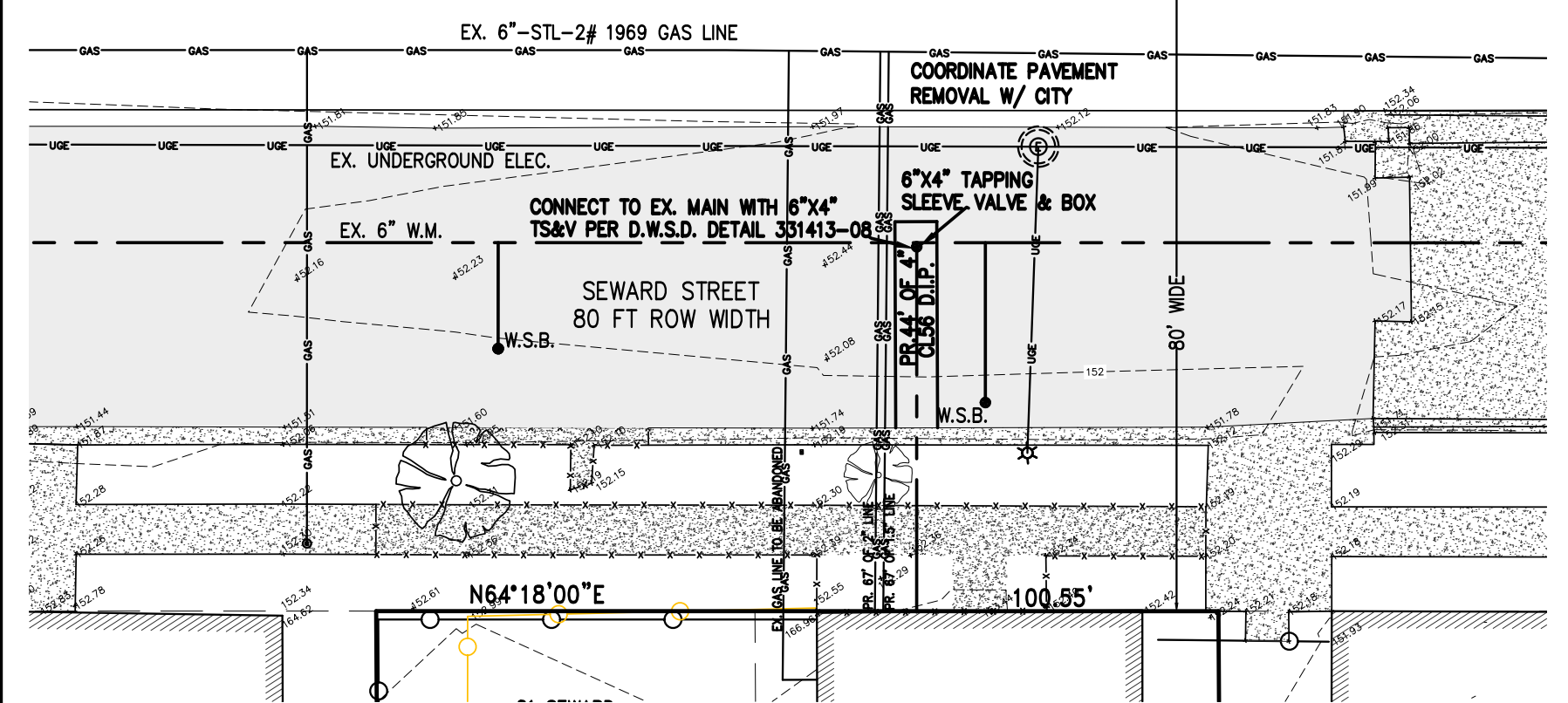
**6"x24" CONCRETE ROLL CURB & REVERSE GUTTER PAN**



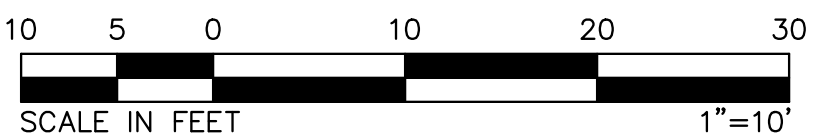
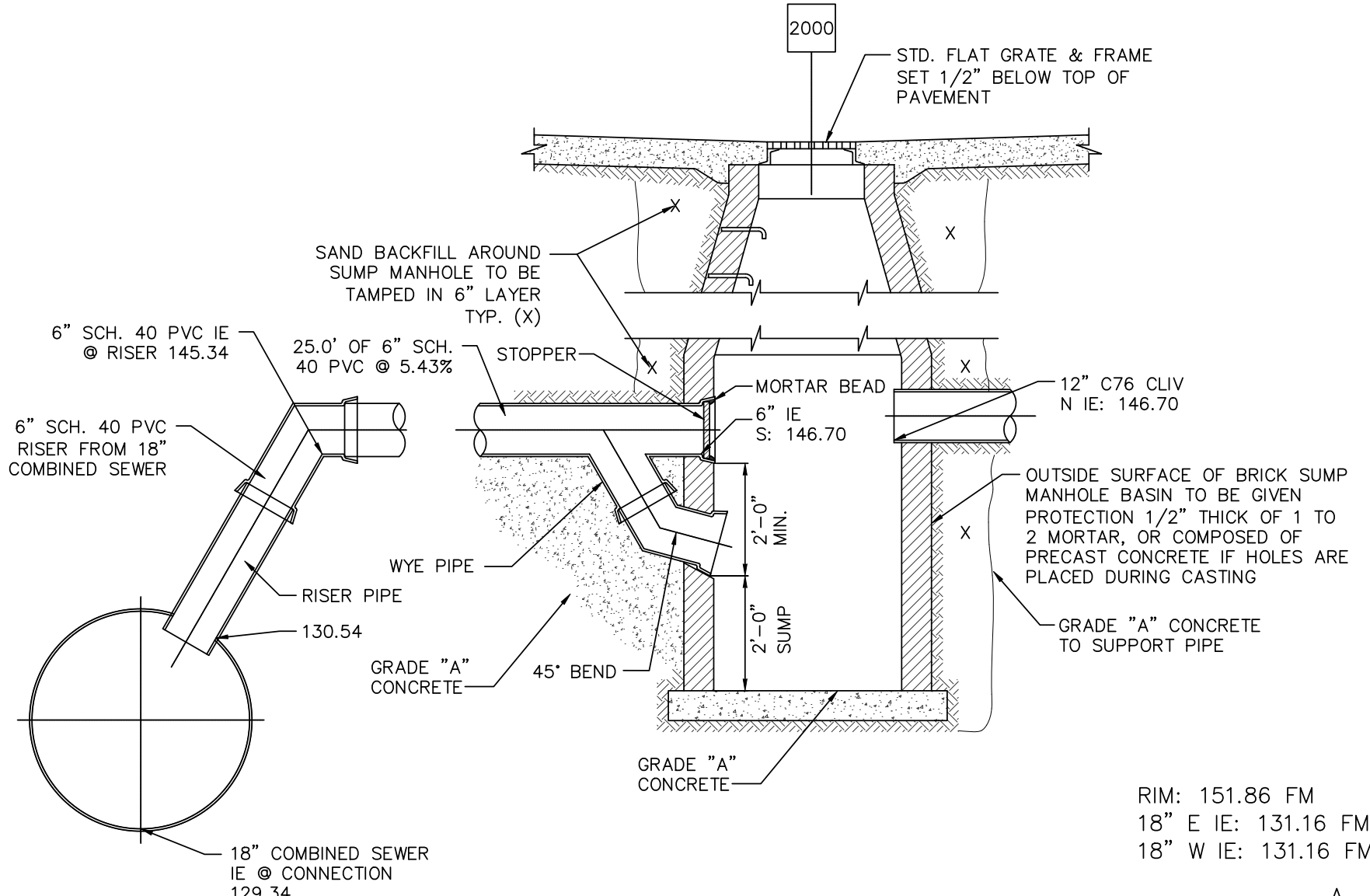
**SIDEWALK CROSS-SECTION**  
NOT TO SCALE



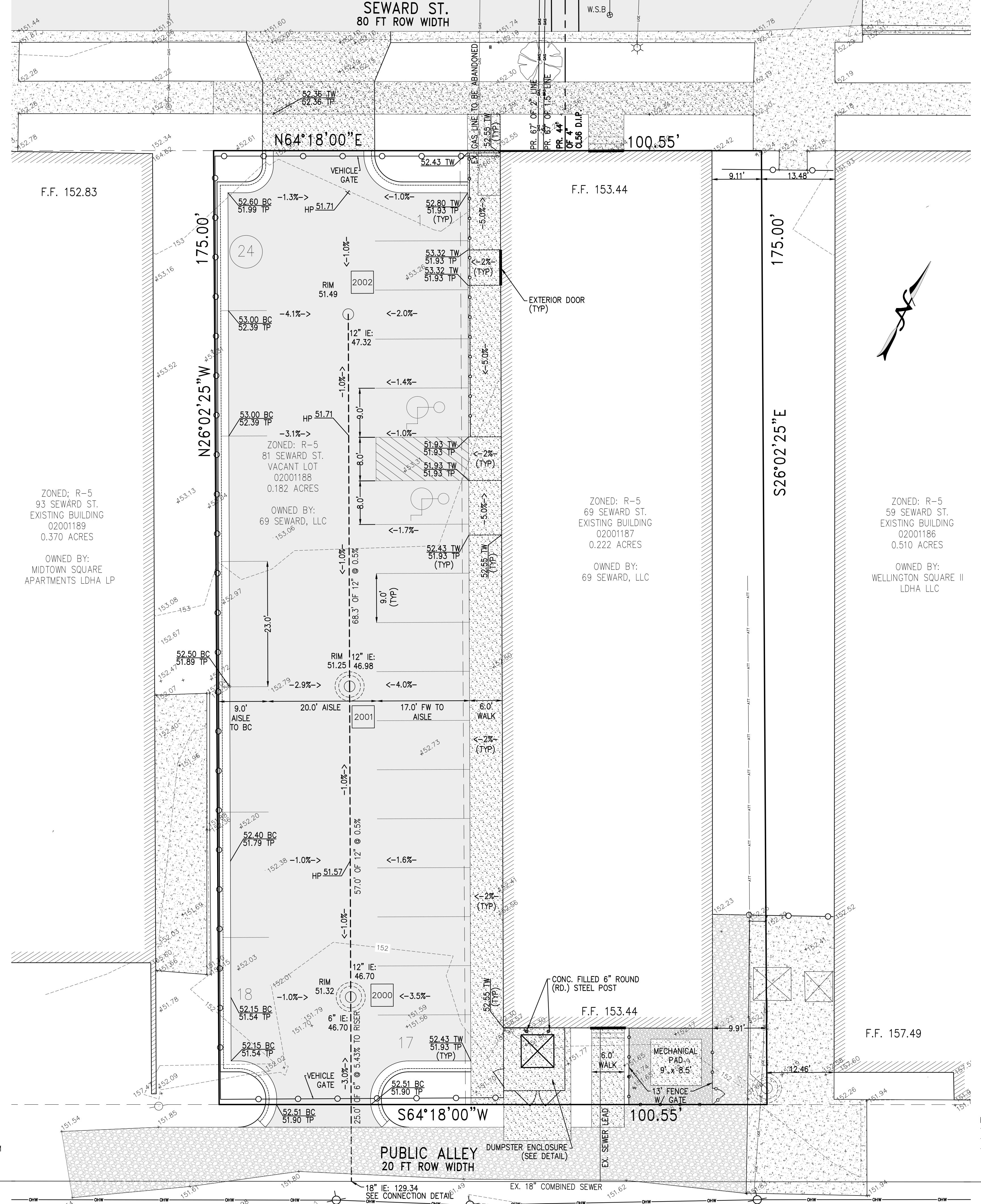
**NORTH SIDE OF SEWARD STREET**  
SCALE: 1"=20'



**COMBINED SEWER CONNECTION DETAIL**  
NOT TO SCALE



**SEE NORTH SIDE OF SEWARD STREET DETAIL**



**BENCHMARKS**

CITY REFERENCE BENCHMARK  
CITY OF DETROIT BM #32-354  
N.E. CORNER OF EUCLID & WOODWARD  
ELEVATION: 151.26  
BENCHMARK #1  
HYDRANT ARROW  
LOCATED ~ 3.4' NORTH OF TOP OF CURB ON NORTH SIDE OF SEWARD ST AND 50' EAST OF THE NORTHEAST CORNER OF BUILDING 69 SEWARD.  
ELEVATION: 154.65

**QUANTITY ESTIMATES**

WATER MAIN		
ITEM	QTY	UNIT
1" 4" CL56 DIP	44	L.F.
2" 6"x4" TAPPING SLEEVE VALVE & BOX	1	EA.

\*PAVEMENT REMOVAL QUANTITY PER CITY

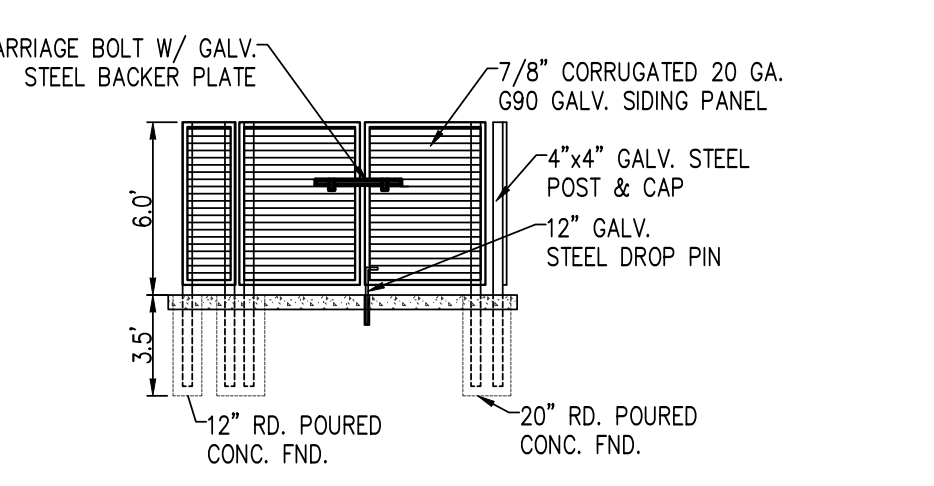
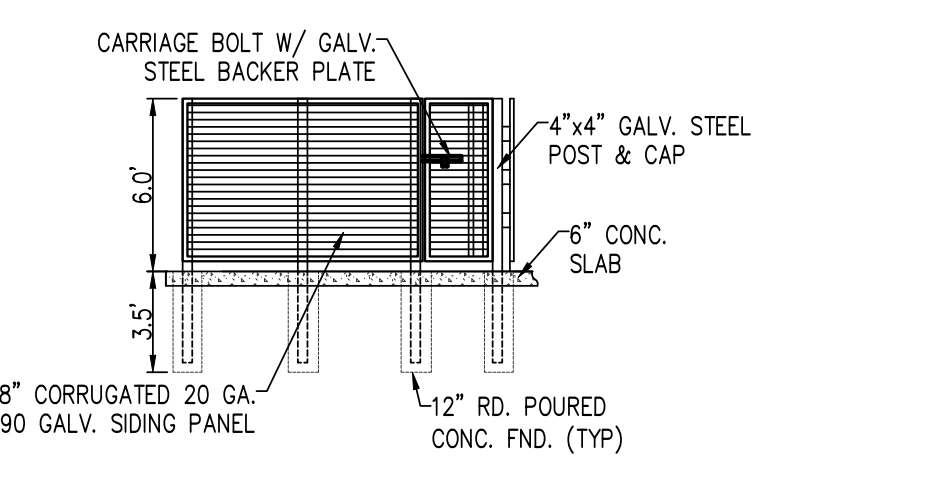
STORM SEWER		
ITEM	QTY	UNIT
12" C76 CLIV	126	L.F.
2" SCH. 40 PVC	17	L.F.
3" 4" MH EJIW 5080 W/M2 COVER	1	EA.
4" 2" INLET EJIW 5080 W/M2 COVER	1	EA.
5" 4" CONNECTION MH W/M2 COVER	1	EA.

PAVING		
ITEM	QTY	UNIT
1-1/2" MDOT MIX NO. 4C TOP COURSE	821	SYD.
2" MDOT MIX NO. 3C LEVELING COURSE	821	SYD.
3" 8" 21AA AGG. SUBBASE	901	SYD.
4" 6" X 24" ROLL CURB W/ REV. GUTTER PAN	243	L.F.
5" 8" NON-REINFORCED CONCRETE	544	SFT.
6" 6" NON-REINFORCED CONCRETE	334	SFT.
7" 5" NON-REINFORCED CONCRETE	1795	SFT.

**LEGEND:**

- PROPERTY BOUNDARY
- EXISTING SANITARY SEWER
- EXISTING WATER MAIN
- EXISTING STORM SEWER
- EXISTING OVERHEAD WIRES
- EXISTING U.G. ELECTRIC
- EXISTING U.G. AT&T
- EXISTING FENCE
- EXISTING CONCRETE
- EXISTING GRAVEL
- FOUND IRON PIPE F.I.P.
- EXISTING GUY POLE
- EXISTING UTILITY POLE
- LAMP POST
- TREE
- SIGN
- GAS SHUT-OFF

**DUMPSTER ENCLOSURE DETAIL:**



**PROPRIETOR**  
MR. BRIAN V. HURTIENNE  
CHRISTIAN HURTIENNE ARCHITECTS  
2111 WOODWARD AVE. #201  
DETROIT, MI 48201

**DATE:** 02-28-2020  
**SCALE:** 1"=10'

**STATUS:** REVISIONS

**ENGINEERS, SURVEYORS**  
**MLP**  
AND ASSOCIATES, INC.

**Michael L. Priest & Associates, Inc.**  
40855 Koppemick Road, Canton, MI 48187  
phone: (734) 459-8560  
fax: (734) 459-2585

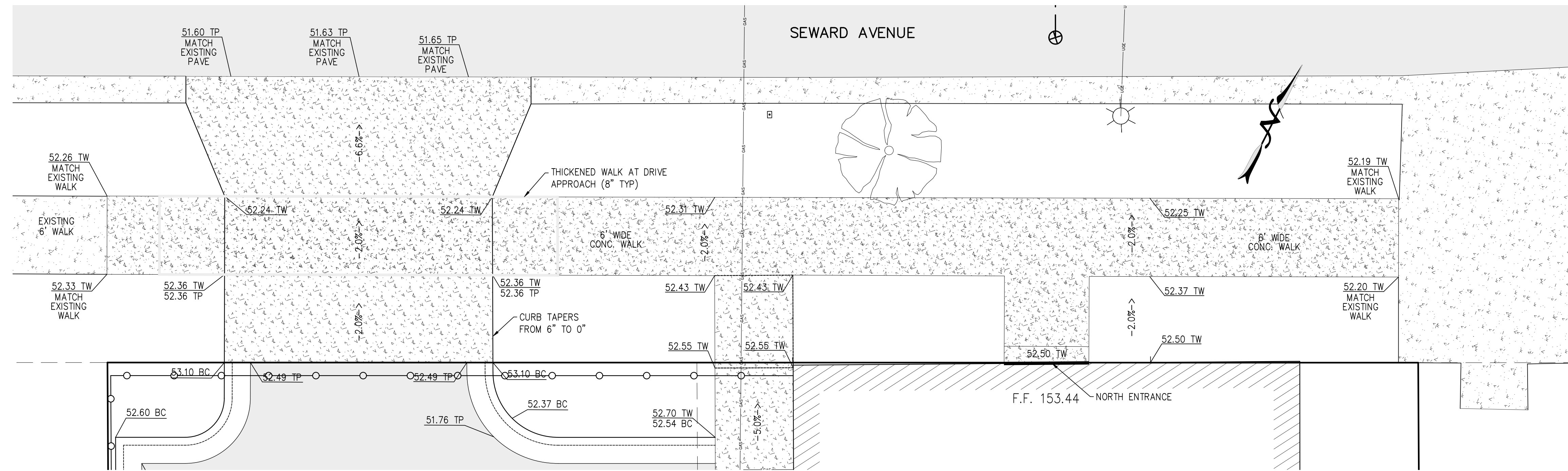
**SITE PLAN**

**BONITA APARTMENTS**  
69 & 81 SEWARD AVENUE  
PART OF SCHMIDT'S SUBN  
OF PART OF SECTION 56 OF T.T.A.T.  
CITY OF DETROIT, WAYNE COUNTY, MICHIGAN

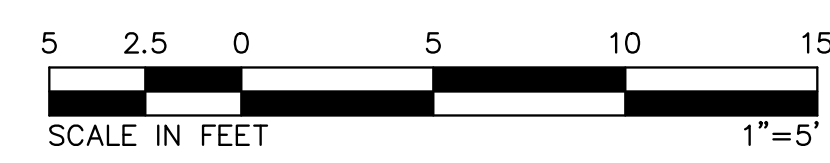
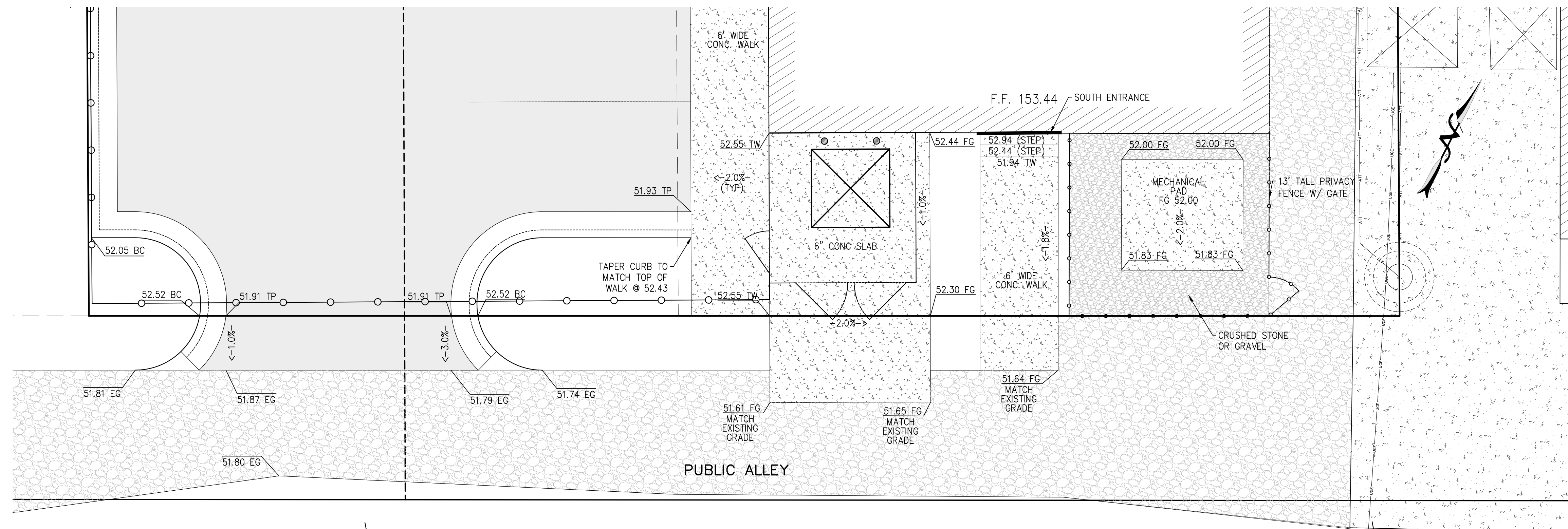
**SHEET 02**



GRADING DETAILS - NORTH SIDE OF BUILDING



GRADING DETAILS - SOUTH SIDE OF BUILDING



GRADING DETAILS

**BONITA APARTMENTS**  
 69 & 81 SEWARD AVENUE  
 PART OF SCHMIDT'S SUBN  
 OF PART OF SECTION 56 OF T.T.A.T.  
 CITY OF DETROIT, WAYNE COUNTY, MICHIGAN

ENGINEERS - SURVEYORS  
**MLP**  
 AND ASSOCIATES, INC.

Michael L. Priest & Associates, Inc.  
 40655 Koppernick Road, Canton, MI 48187  
 Phone: (734) 459-8560  
 Fax: (734) 459-2585

STATUS:  
 REVISIONS

DATE:	02-28-2020
PREPARED BY:	EMP
CHECKED BY:	SKS
DESIGNED BY:	SKS
DATE:	2019.31
JOB NO.:	2019.31

PROPRIETOR  
 MR. BRIAN V. HURTIENNE  
 CHRISTIAN HURTIENNE ARCHITECTS  
 2111 WOODWARD AVE., #201  
 DETROIT, MI 48201

EGRESS CAPACITY

1 DOOR @ 3'-0" x 7'-0" = 32 INCH WIDTH CAPACITY

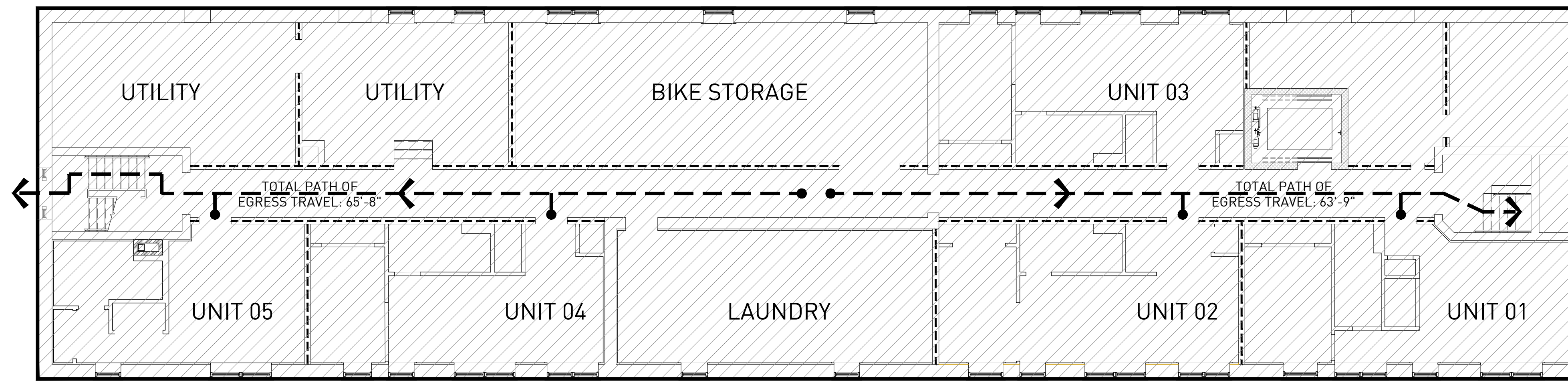
BASEMENT = 17 OCCUPANT LOAD;  
17 X 0.2 INCHES = 3.4 INCHES OF EGRESS WIDTH REQ.

FIRST FLOOR = 62 OCCUPANT LOAD;  
54 X 0.2 INCHES = 10.8 INCHES OF EGRESS WIDTH REQ.

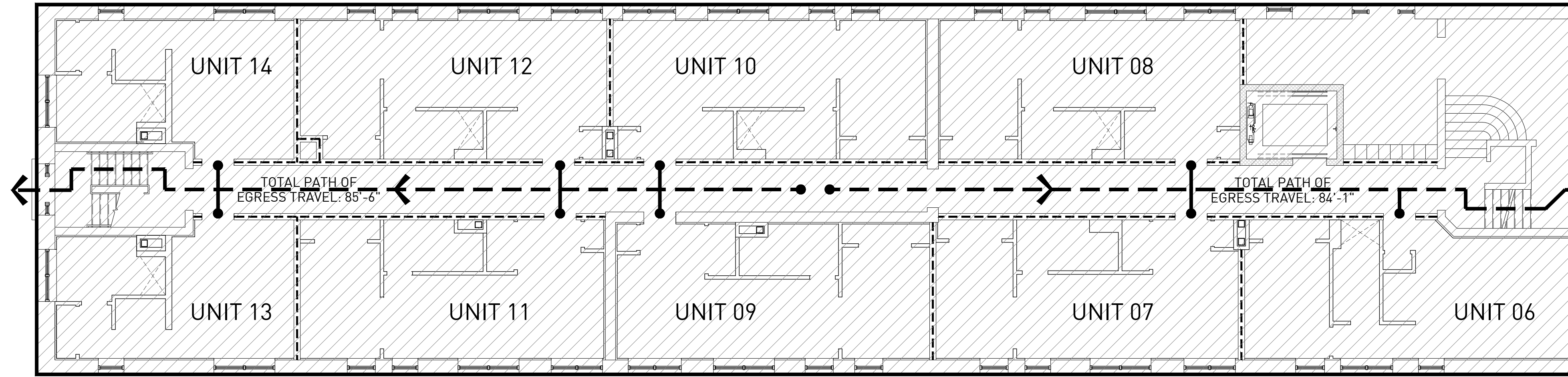
SECOND FLOOR = 22 OCCUPANT LOAD;  
22 X 0.2 INCHES = 4.4 INCHES OF EGRESS WIDTH REQ.

THIRD FLOOR = 22 OCCUPANT LOAD;  
22 X 0.2 INCHES = 4.4 INCHES OF EGRESS WIDTH REQ.

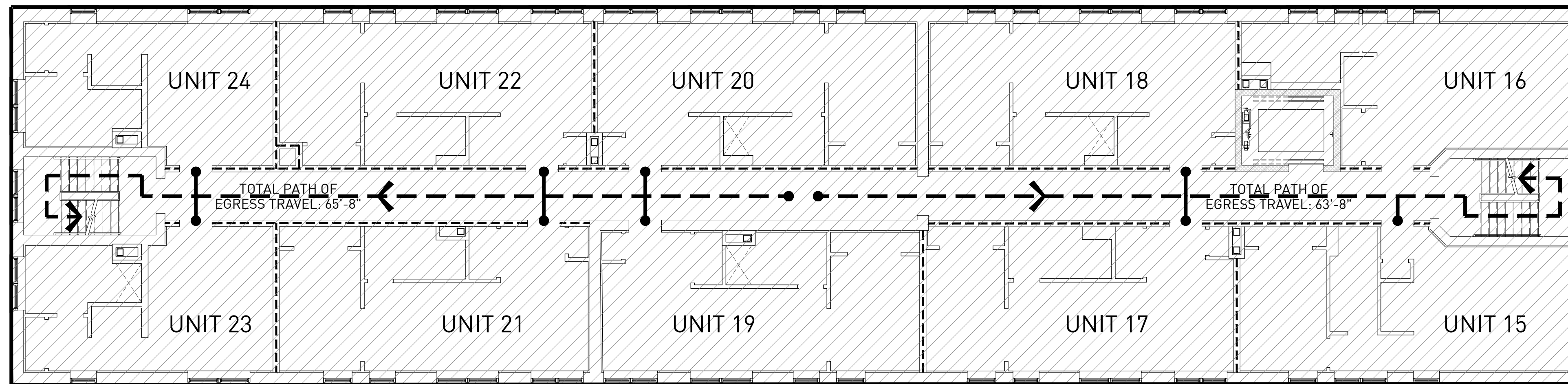
FOURTH FLOOR = 22 OCCUPANT LOAD;  
22 X 0.2 INCHES = 4.4 INCHES OF EGRESS WIDTH REQ.



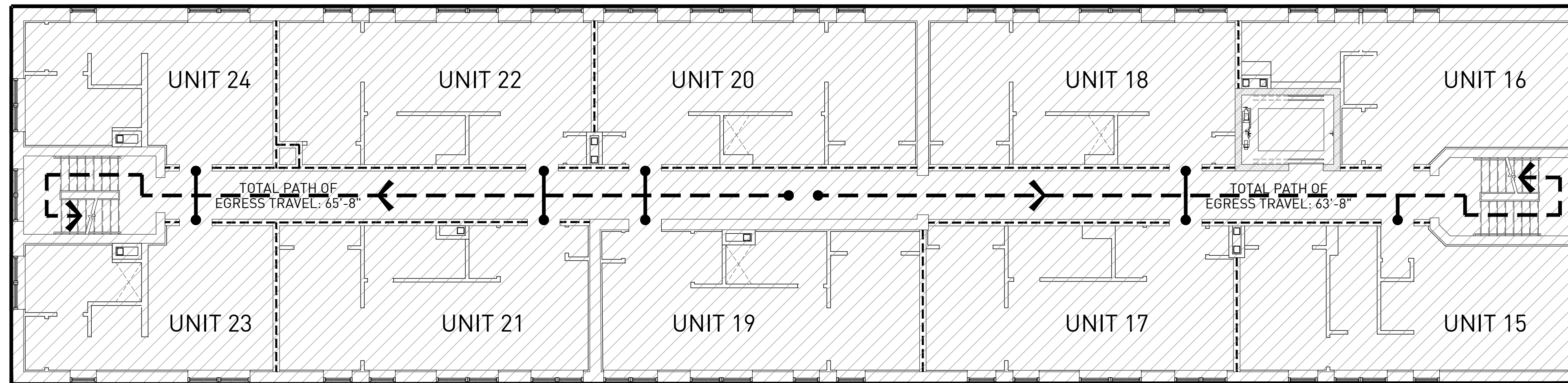
2 BASEMENT EGRESS PLAN  
ORIGINAL DRAWING SCALE: 1/16" = 1'-0"



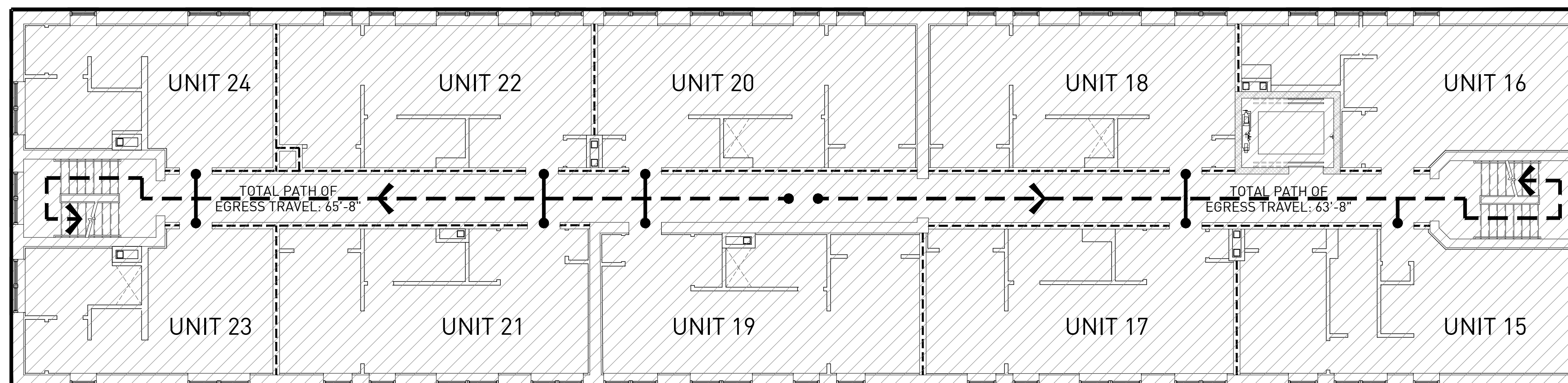
3 FIRST FLOOR EGRESS PLAN  
ORIGINAL DRAWING SCALE: 1/8" = 1'-0"



4 SECOND FLOOR EGRESS PLAN  
ORIGINAL DRAWING SCALE: 1/8" = 1'-0"



5 THIRD FLOOR EGRESS PLAN  
ORIGINAL DRAWING SCALE: 1/8" = 1'-0"



6 FOURTH FLOOR EGRESS PLAN  
ORIGINAL DRAWING SCALE: 1/8" = 1'-0"

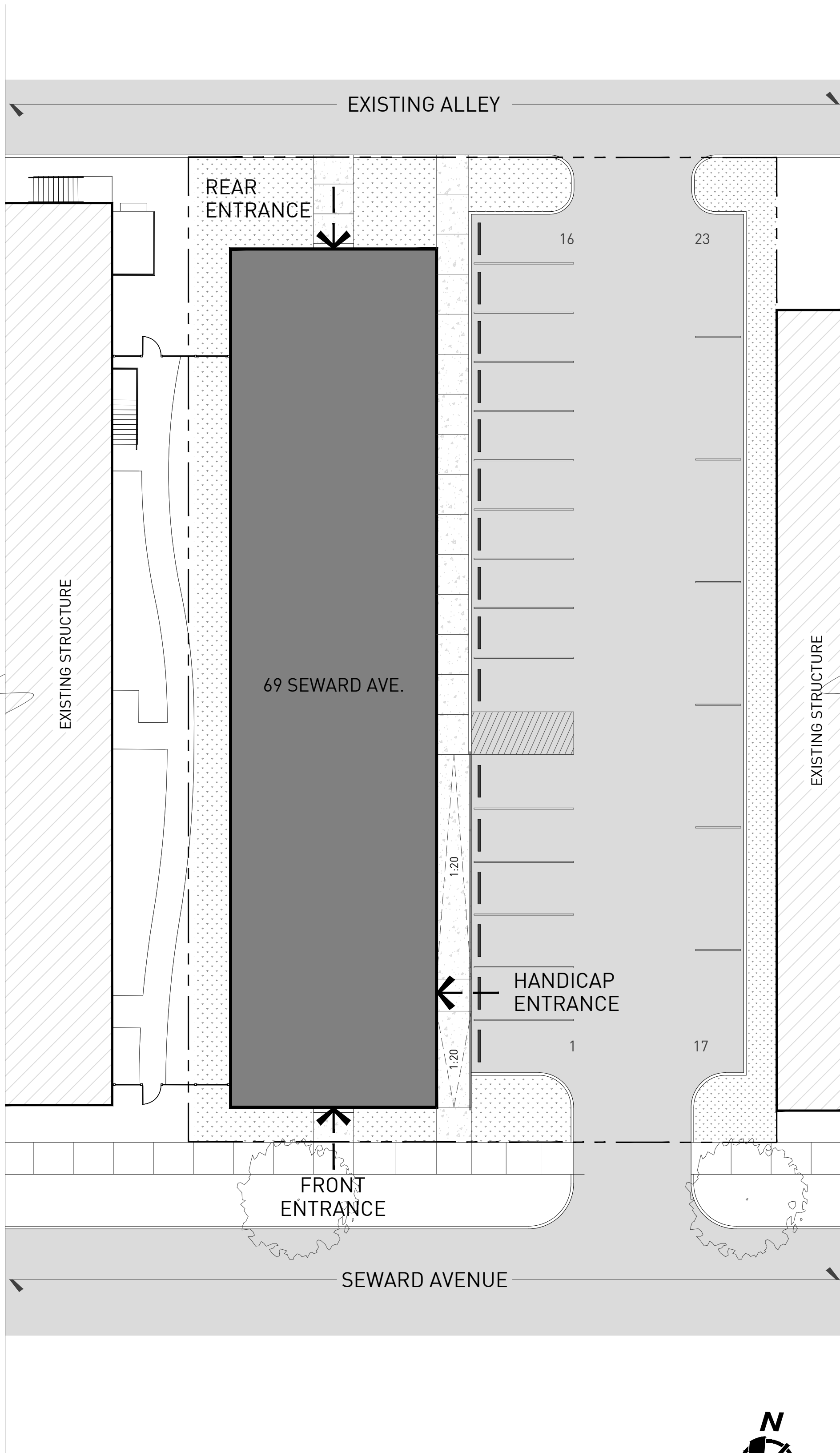
CONTRACTOR'S NOTE

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADHERING TO ALL APPLICABLE LOCAL, STATE, AND FEDERAL STANDARDS, SPECIFICATIONS, AND GUIDELINES FOR CONSTRUCTION.

GENERAL NOTES

- THIS SITE AND BUILDING PLAN IS DIAGRAMATIC IN NATURE. ALL BOUNDARIES, LOCATIONS, TOPOGRAPHY, LEGAL MEETS AND BOUNDS, IMPROVEMENTS, MONUMENTS, ETC. ARE TO BE VERIFIED BY THE OWNER'S LAND SURVEYOR AND CIVIL ENGINEER. REFER TO THE EXISTING TOPOGRAPHIC SURVEY IN THIS DRAWING SET AS PROVIDED BY THE OWNER'S LAND SURVEYOR.
- THE GENERAL CONTRACTOR IS TO VERIFY ALL SITE CONDITIONS, PROPERTY BOUNDARIES, LOCATION OF ALL EXISTING AND NEW PHYSICAL IMPROVEMENTS, DIMENSIONS, GRADES AND MONUMENTS PRIOR TO THE COMMENCEMENT OF WORK. THE GENERAL CONTRACTOR IS TO HAVE THE SITE STAKED-OUT BY A PROFESSIONAL LAND SURVEYOR PRIOR TO THE COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY FOR RESOLUTION PRIOR TO THE COMMENCEMENT OF WORK.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST MICHIGAN DEPARTMENT OF TRANSPORTATION DESIGN STANDARDS OR OF THE CITY OF DETROIT.
- ALL DEBRIS AND EXCESS EXCAVATED MATERIAL MUST BE LEGALLY DISPOSED OFF.
- ASSUMED ALLOWABLE SOIL PRESSURE OF 2000 PSF (VERIFY CAPACITY).
- ALL WORK SHALL BE DONE IN CONFORMANCE WITH THE RULES AND REGULATIONS PERTAINING TO SAFETY ESTABLISHED BY OSHA AND ALL LOCAL CODES AND REQUIREMENTS.
- THE CONTRACTOR SHALL TAKE ADEQUATE PRECAUTION TO PROTECT EXISTING UNDERGROUND UTILITIES OR STRUCTURES NOT SCHEDULED FOR DEMOLITION. THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGE TO ANY EXISTING UTILITIES, NOT SCHEDULED FOR DEMOLITION OR ABANDONMENT (WHETHER SHOWN ON THE PLAN OR NOT) DURING THE CONSTRUCTION OF THIS PROJECT.
- DEMOLITION EQUIPMENT SHALL BE SELECTED AND OPERATED SUCH THAT STRUCTURES, UTILITIES AND OTHER WORK THAT ARE TO REMAIN WILL NOT BE DAMAGED AND CAUSE INJURY TO WORKERS.
- CONTRACTOR SHALL FILL BELOW GRADE AREAS AND VOIDS RESULTING FROM DEMOLITION WORK. THESE AREAS SHALL BE FILLED WITH ENGINEERED FILLED OR SUITABLY EXCAVATED MATERIAL AND COMPACTED TO 95% OF MAXIMUM DENSITY (ASTM1557).
- EXISTING PAVING AT ALLEY IS TO REMAIN IN PLACE WHENEVER POSSIBLE. PATCH, REPAIR AND REPLACE ANY ROADWAY AREAS ADJACENT TO CONSTRUCTION DAMAGED BY CONSTRUCTION PROCESS TO EXISTING STANDARDS OF INSTALLED PAVING.



1 ARCHITECTURAL SITE PLAN  
ORIGINAL DRAWING SCALE: 1" = 10'-0"



CHRISTIAN HURTTIENNE ARCHITECTS  
2111 WOODWARD AVENUE, #201, MI 48201  
313.825.2005 CHA-C.COM

ALL CONTRACTORS (GENERAL CONTRACTOR, SUB-CONTRACTORS, MEMBERS OR AGENTS OF EITHER OR BOTH) ARE TO VERIFY AND CORROBORATE ALL CONDITIONS, DIMENSIONS, QUANTITIES AND DETAILS, STATED OR NOT, WITHIN THESE DRAWINGS AND WITHIN THE SPECIFICATIONS BEFORE COMMENCING WITH THE WORK. A DIMENSIONAL ERROR OR CONFLICT OCCURS BETWEEN THESE DRAWINGS, THE SPECIFICATIONS OR THE EXISTING PROPOSED CONDITIONS, IT SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT, BEFORE PROCEEDING WITH THE WORK. ANY PARTY (GENERAL CONTRACTOR, SUB-CONTRACTOR, MEMBERS OR AGENTS OF EITHER OR BOTH) WHO FAIL TO DO SO SHALL BE RESPONSIBLE FOR ANY ERRORS, CONFLICTS, SCHEDULE AND COST IMPLICATIONS.

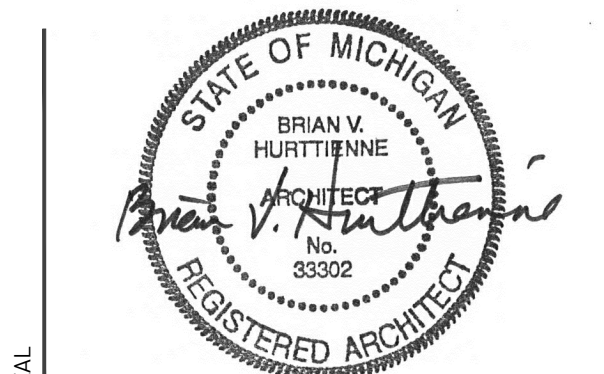


4819 Rochester Road, Suite A, Troy, MI 48065  
313.221.9936 scs@systemsolution.net

MEP ENGINEER  
STRUCTURAL ENG.

BONITA APARTMENTS  
69 SEWARD AVE, DETROIT, MI, 48202  
OWNER REVIEW

REVISIONS	DESCRIPTION	DATE
1	OWNER'S REVIEW	20200225
2	PERMIT REVIEW	20200228



ARCHITECTURAL  
SITE PLAN AND  
EGRESS PLANS

G-100

CONTRACTOR NOTE: ALL CONTRACTORS GENERAL CONTRACTOR, SUB-CONTRACTORS, MEMBERS OR AGENTS OF EITHER OR BOTH ARE TO VERIFY AND COORDINATE ALL CONDITIONS, DIMENSIONS, QUANTITIES AND DETAILS, STATED OR NOT, WITHIN THESE DRAWINGS AND WITHIN THE SPECIFICATIONS BEFORE COMMENCING THE WORK. IF A DIMENSIONAL ERROR OR CONFLICT OCCURS BETWEEN THESE DRAWINGS, THE SPECIFICATIONS OR THE EXISTING PROPOSED CONDITIONS, IT SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT, BEFORE PROCEEDING WITH THE WORK. ANY SUBMITTALS CONTRACTOR, SUB-CONTRACTORS, MEMBERS OR AGENTS OF EITHER OR BOTH WHO FAIL TO DO SO SHALL BE RESPONSIBLE FOR ANY ERRORS, CONFLICTS, SCHEDULE AND COST IMPLICATIONS.

SYSTEMS SOLUTION  
4893 Rochester Road, Suite A, Troy, MI 48065  
313.221.9936 scs@systemsolution.net

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STRUCTURAL ENG. MPP ENGINEER

BONITA APARTMENTS  
69 SEWARD AVE, DETROIT, MI, 48202  
OWNER REVIEW

2 FIRST FLOOR ARCHITECTURE DEMOLITION PLAN  
ORIGINAL DRAWING SCALE: 3/16" = 1'-0"

REVISIONS	DESCRIPTION	DATE
1	OWNER'S REVIEW	20200225
2	PERMIT REVIEW	20200228

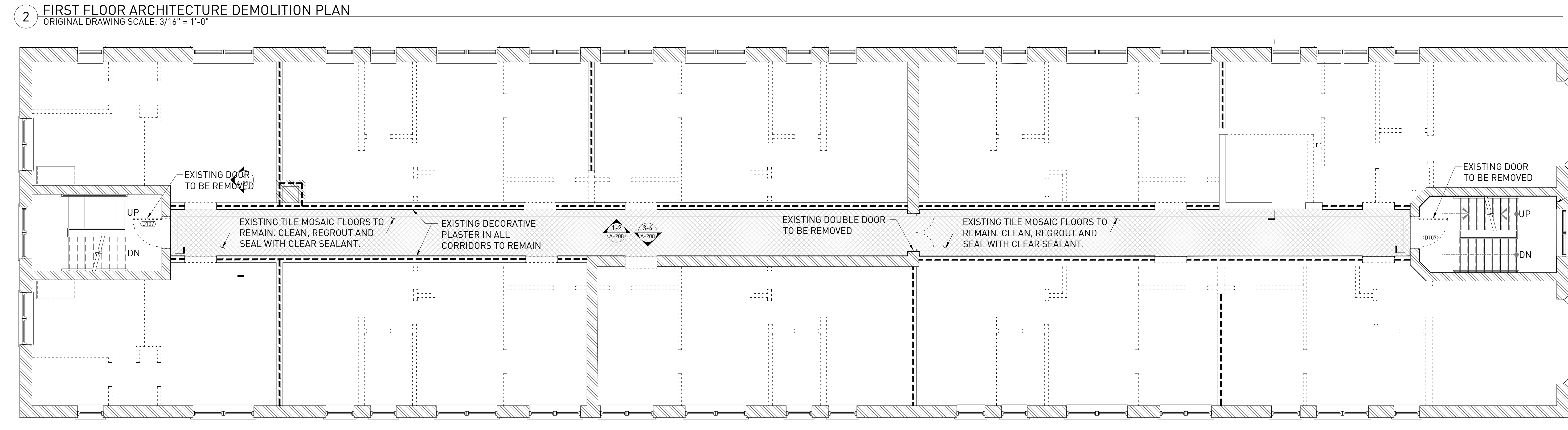
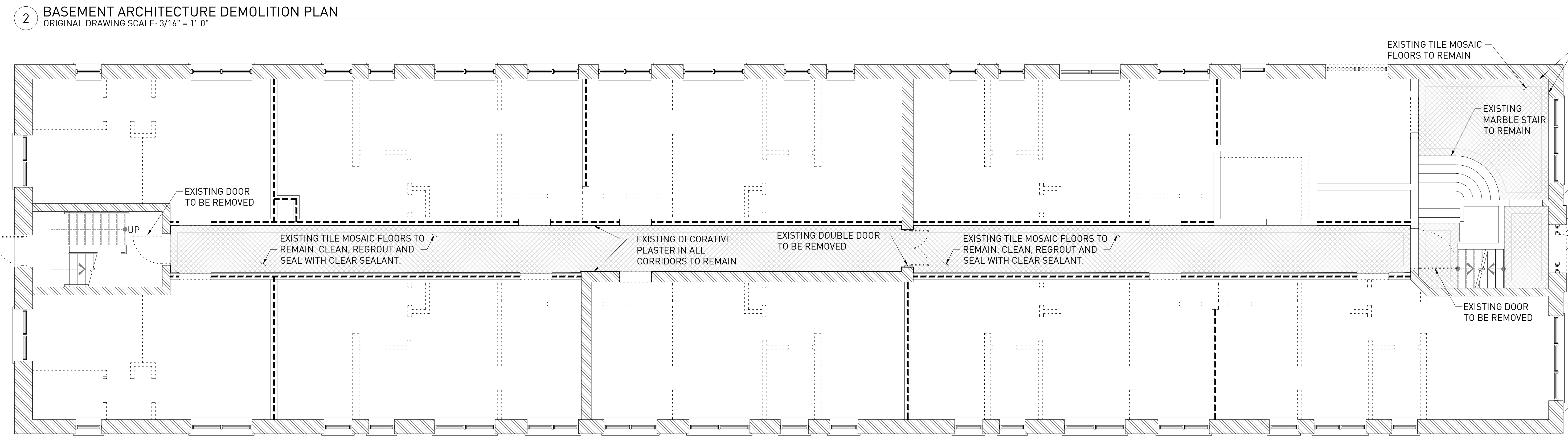
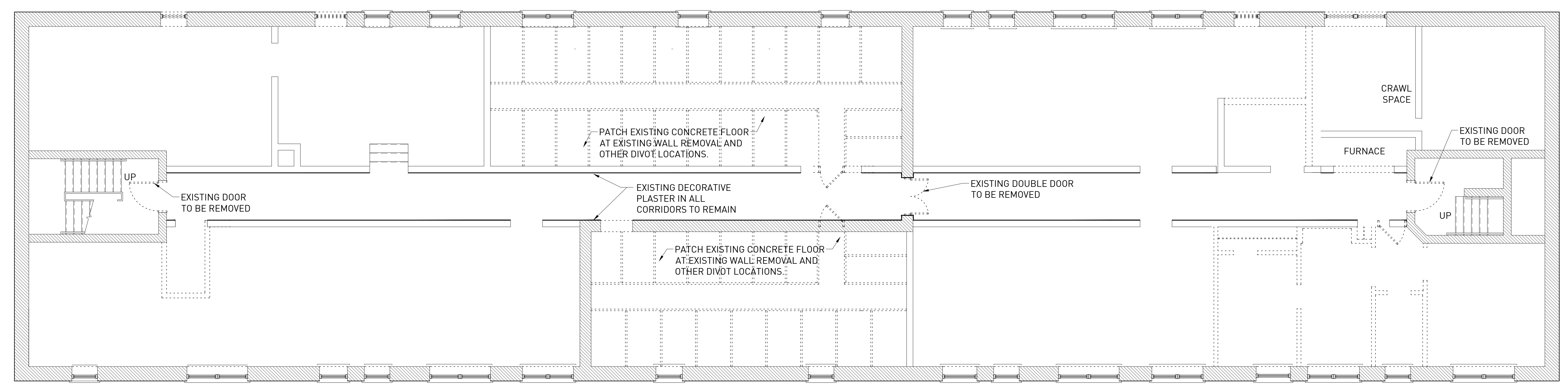
STATE OF MICHIGAN  
BRIAN V. HURTTIENNE  
REGISTERED ARCHITECT  
NO. 33302

DEMOLITION PLANS

D-100

- SYMBOLS**  
NOTE: SOME SYMBOLS MAY NOT BE APPLICABLE.
- EXISTING FLOOR CONSTRUCTION TO BE REMOVED.
  - EXISTING CONCRETE MASONRY UNIT WALL CONSTRUCTION TO BE REMOVED.
  - PARALLEL DASHED LINES INDICATE EXISTING PARTITION, OR PORTION THEREOF, TO BE REMOVED.
  - SINGULAR ELEMENT OR PORTION OF ASSEMBLY, TO BE REMOVED.

- DEMOLITION GENERAL NOTES**
1. PROVIDE SAFE AND SECURE JOBSITE PRIOR TO, DURING, AND AFTER WORK. PROVIDE ALL NECESSARY SAFETY DEVICES, LIGHTING, AND BARRIERS AS NECESSARY - ESPECIALLY AROUND ALL FLOOR AND ROOF PENETRATIONS IN ACCORDANCE WITH LOCAL CODES AND REGULATIONS, AND ANY APPLICABLE OSHA GUIDELINES.
  2. CONTACT ARCHITECT IMMEDIATELY PRIOR TO DEMOLITION OF ANY DISCREPANCIES FOUND BETWEEN THE DOCUMENTS AND FIELD CONDITIONS.
  3. PROVIDE ADEQUATE SHORING AND SUPPORT OF ALL STRUCTURAL ITEMS BOTH TO BE REMOVED AND TO REMAIN IN ACCORDANCE WITH STRUCTURAL ENGINEERS' DOCUMENTS / SPECIFICATIONS, LOCAL CODES AND REGULATIONS, AND ANY APPLICABLE OSHA GUIDELINES.
  4. IF DEMOLITION OF EXISTING STRUCTURE IS REQUIRED TO ACCESS A SPACE OR COMPLETE CONSTRUCTION, AND IT IS NOT INDICATED ON THE DOCUMENTS, NOTIFY ARCHITECT TO HAVE A STRUCTURAL ENGINEER REVIEW THE SCOPE OF DEMOLITION REQUIRED AND PROVIDE EITHER AN APPROVAL OR DOCUMENTS TO INSTRUCT THE METHODS OF DEMOLITION.
  5. PROVIDE NECESSARY TEMPORARY CONSTRUCTION BARRIERS BETWEEN EXISTING AND NEW CONSTRUCTION SPACES AND DEMOLITION AREAL. MAINTAIN LEGAL EXITING SYSTEMS AND EGRESS FOR BOTH SPACES PER LOCAL CODES.
  6. REMOVE ALL EXISTING WALL FINISHES ON ALL EXISTING WALLS TO REMAIN, INCLUDING MASONRY PATCH, REPAIR, AND REPLACE EXISTING WALL STRUCTURE. PROVIDE AND RECEIVE NEW WALL FINISHES.
  7. GENERAL CONTRACTOR IS TO PROTECT ALL ASSEMBLIES/SPACES/AREAS FROM WEATHER AT ALL TIMES AND DURING ENTIRETY OF PROJECT.

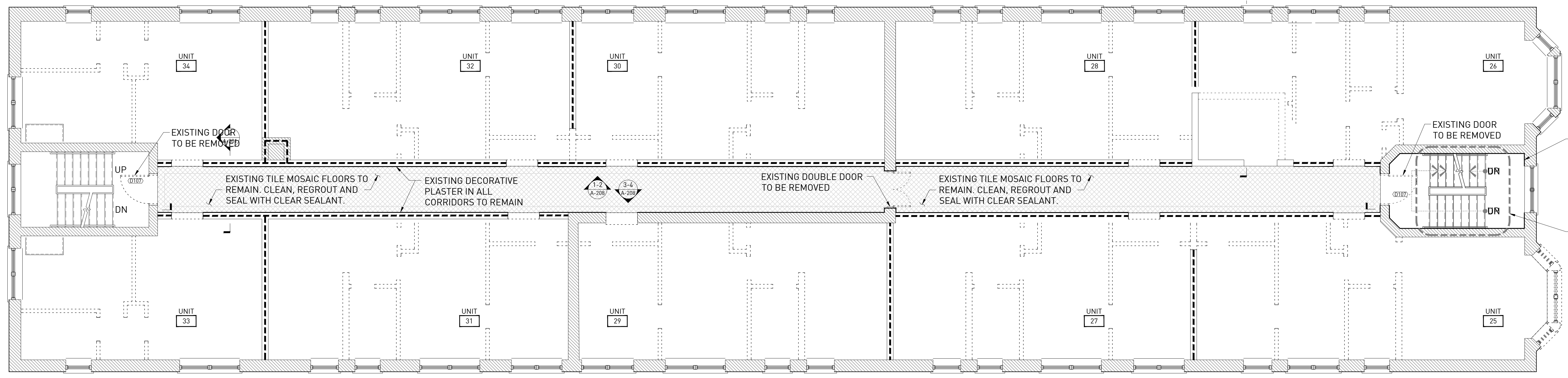


1 SECOND FLOOR ARCHITECTURE DEMOLITION PLAN  
ORIGINAL DRAWING SCALE: 3/16" = 1'-0"

CONTRACTOR NOTE:  
ALL CONTRACTORS GENERAL CONTRACTOR, SUB-CONTRACTORS, MEMBERS OR AGENTS OF EITHER OR BOTH ARE TO VERIFY AND CORROBORATE ALL CONDITIONS, DIMENSIONS, QUANTITIES AND DETAILS, STATED OR NOT, WITHIN THESE DRAWINGS AND WITHIN THE SPECIFICATIONS BEFORE COMMENCING THE WORK. IF A DIMENSIONAL ERROR OR CONFLICT OCCURS BETWEEN THESE DRAWINGS, THE SPECIFICATIONS OR THE EXISTING PROPOSED CONDITIONS, IT SHALL BE BRUSHED TO THE IMMEDIATE ATTENTION OF THE ARCHITECT, BEFORE PROCEEDING WITH THE WORK. ANY SUBMITTALS CONTRACTOR, SUB-CONTRACTOR, MEMBERS OR AGENTS OF EITHER OR BOTH WHO FAIL TO DO SO SHALL BE RESPONSIBLE FOR ANY ERRORS, OMISSIONS, SCHEDULE AND COST IMPLICATIONS.

MEP ENGINEER:  
**SYSTEMS SOLUTION**  
4893 Rochester Road, Suite A, Troy, MI 48065  
313.221.9936 scs@systemsolution.net

STRUCTURAL ENG:

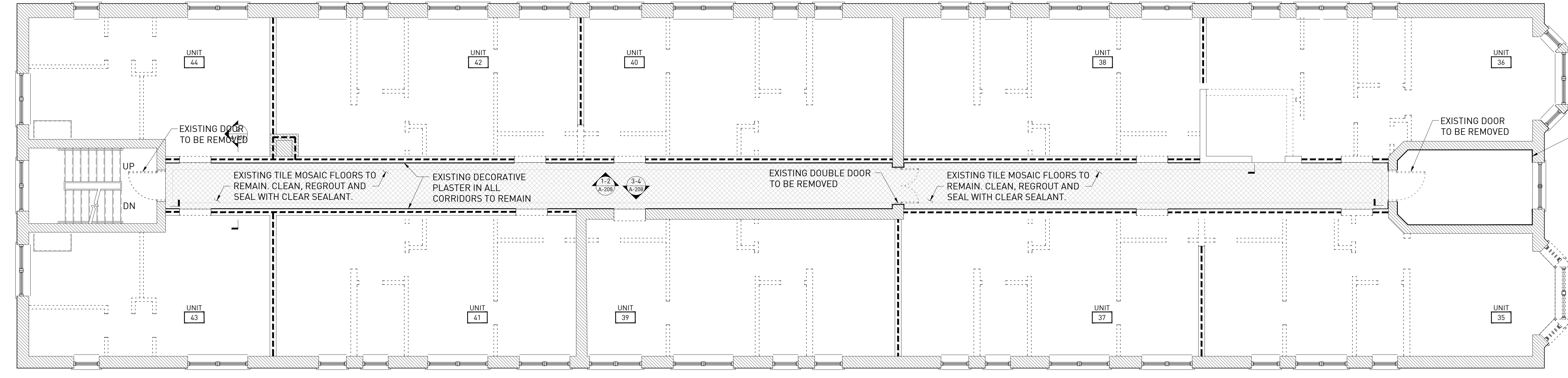


- SYMBOLS**
- NOTE: SOME SYMBOLS MAY NOT BE APPLICABLE.
  - EXISTING FLOOR CONSTRUCTION TO BE REMOVED.
  - EXISTING CONCRETE MASONRY UNIT WALL CONSTRUCTION TO BE REMOVED.
  - PARALLEL DASHED LINES INDICATE EXISTING PARTITION, OR PORTION THEREOF, TO BE REMOVED.
  - SINGULAR ELEMENT OR PORTION OF ASSEMBLY, TO BE REMOVED.

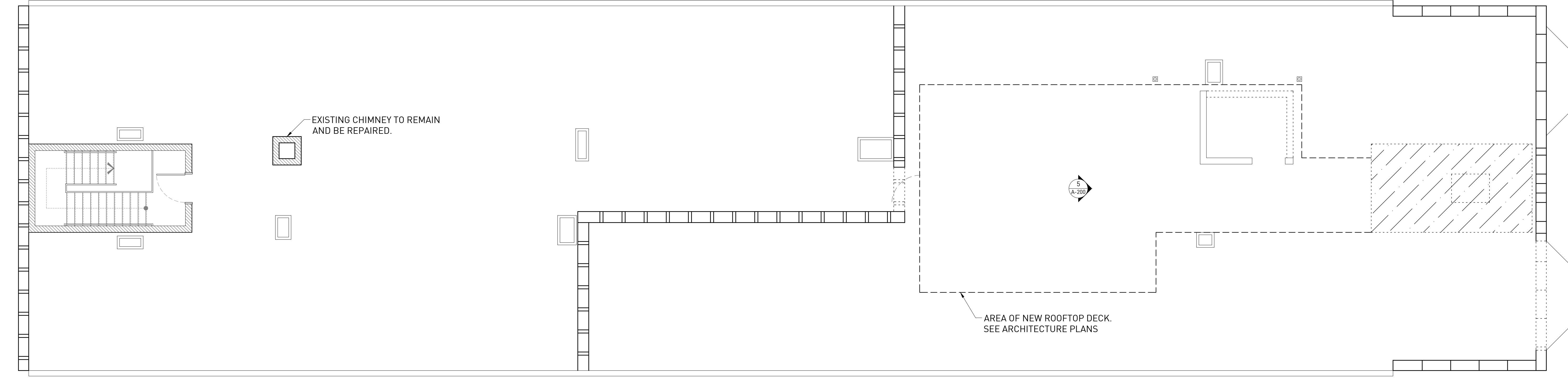
**DEMOLITION GENERAL NOTES**

- PROVIDE SAFE AND SECURE JOBSITE PRIOR TO, DURING, AND AFTER DEMOLITION. PROVIDE ALL NECESSARY SAFETY DEVICES, PLASTERING, AND BARRIERS AS NECESSARY - ESPECIALLY IN ALL FLOOR AND ROOF PENETRATIONS IN CORRIDORS TO REMAIN.
- CONTACT ARCHITECT IMMEDIATELY PRIOR TO DEMOLITION OF ANY DISCREPANCIES FOUND BETWEEN THE DOCUMENTS AND FIELD CONDITIONS.
- PROVIDE ADEQUATE SHORING AND SUPPORT OF ALL STRUCTURAL ITEMS BOTH TO BE REMOVED AND TO REMAIN IN ACCORDANCE WITH STRUCTURAL ENGINEERS DOCUMENTS / SPECIFICATIONS, LOCAL CODES AND REGULATIONS, AND ANY APPLICABLE OSHA GUIDELINES.
- REMOVAL OF EXISTING STRUCTURE IS REQUIRED TO ACCESS A SPACE OR COMPLETE CONSTRUCTION, AND IT IS NOT INDICATED ON THE DOCUMENTS. NOTIFY ARCHITECT TO HAVE A STRUCTURAL ENGINEER REVIEW THE SCOPE OF DEMOLITION REQUIRED AND PROVIDE EITHER AN APPROVAL OR DOCUMENTS TO INSTRUCT THE METHODS OF DEMOLITION.
- PROVIDE NECESSARY TEMPORARY CONSTRUCTION BARRIERS BETWEEN EXISTING AND NEW CONSTRUCTION SPACES (DEMOLITION AREA). MAINTAIN LEGAL EXISTING SYSTEMS AND EGRESS FOR BOTH SPACES PER LOCAL CODES.
- REMOVE ALL EXISTING WALL FINISHES ON ALL EXISTING WALLS TO REMAIN, INCLUDING MASONRY, PATCH, REPAIR, AND REPLACE EXISTING WALL STRUCTURE. PROVIDE NAILERS OR BLOCKING AS REQUIRED IN PREPARATION TO RECEIVE NEW WALL FINISHES.
- GENERAL CONTRACTOR IS TO PROTECT ALL ASSEMBLIES/SPACES/AREAS FROM WEATHER AT ALL TIMES AND DURING ENTIRETY OF PROJECT.

**1 THIRD FLOOR ARCHITECTURE DEMOLITION PLAN**  
ORIGINAL DRAWING SCALE: 3/16" = 1'-0"



**2 FOURTH FLOOR ARCHITECTURE DEMOLITION PLAN**  
ORIGINAL DRAWING SCALE: 3/16" = 1'-0"



**2 ROOF DEMOLITION PLAN**  
ORIGINAL DRAWING SCALE: 3/16" = 1'-0"

**BONITA APARTMENTS**  
69 SEWARD AVE, DETROIT, MI, 48202  
OWNER REVIEW

REVISIONS	DESCRIPTION	DATE
1	OWNER'S REVIEW	20200225
2	PERMIT REVIEW	20200228



DEMOLITION PLANS

**D-101**

CONTRACTOR NOTE:  
ALL CONTRACTORS (GENERAL CONTRACTOR, SUB-CONTRACTORS, MEMBERS OR AGENTS OF EITHER OR BOTH) ARE TO VERIFY AND COORDINATE ALL CONDITIONS, DIMENSIONS, QUANTITIES AND DETAILS, STATED OR NOT, WITHIN THESE DRAWINGS AND WITHIN THE SPECIFICATIONS BEFORE COMMENCING WITH THE WORK. IN A DIMENSIONAL ERROR OR CONFLICT OCCURS BETWEEN THESE DRAWINGS, THE SPECIFICATIONS OR THE SPECIFICALLY PROPOSED ADDITION, IT SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. ANY PARTY GENERAL CONTRACTOR, SUB-CONTRACTOR, MEMBER OR AGENT OF EITHER OR BOTH WHO FAIL TO DO SO SHALL BE RESPONSIBLE FOR ANY ERRORS, OMISSIONS, SCHEDULE AND COST IMPLICATIONS.

MEP ENGINEER  
**SYSTEMS SOLUTION**  
4819 Boucher Road, Suite A, Troy, MI 48065  
313.221.9930 ssc@systemsolution.net

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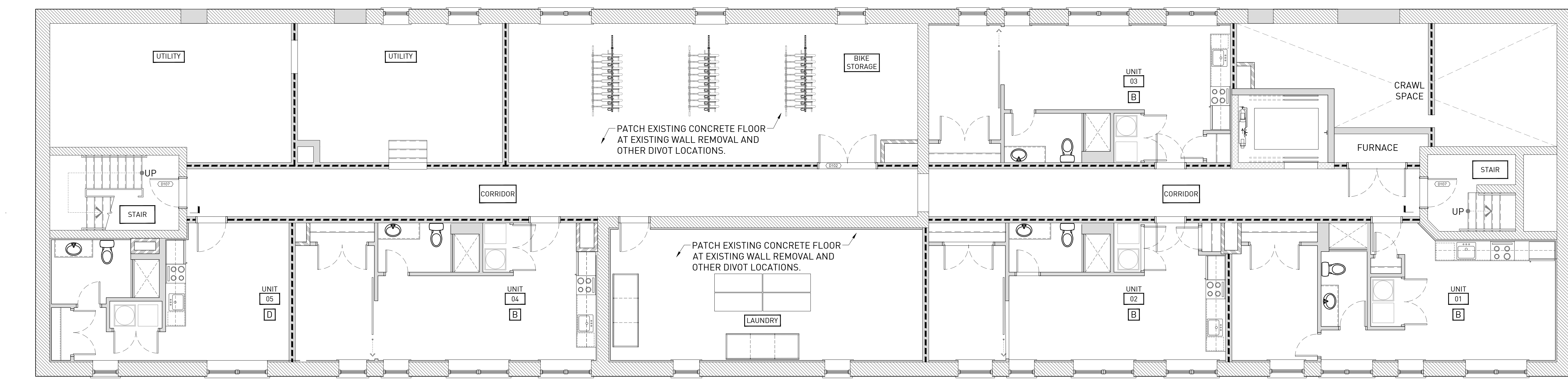
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OWNER REVIEW

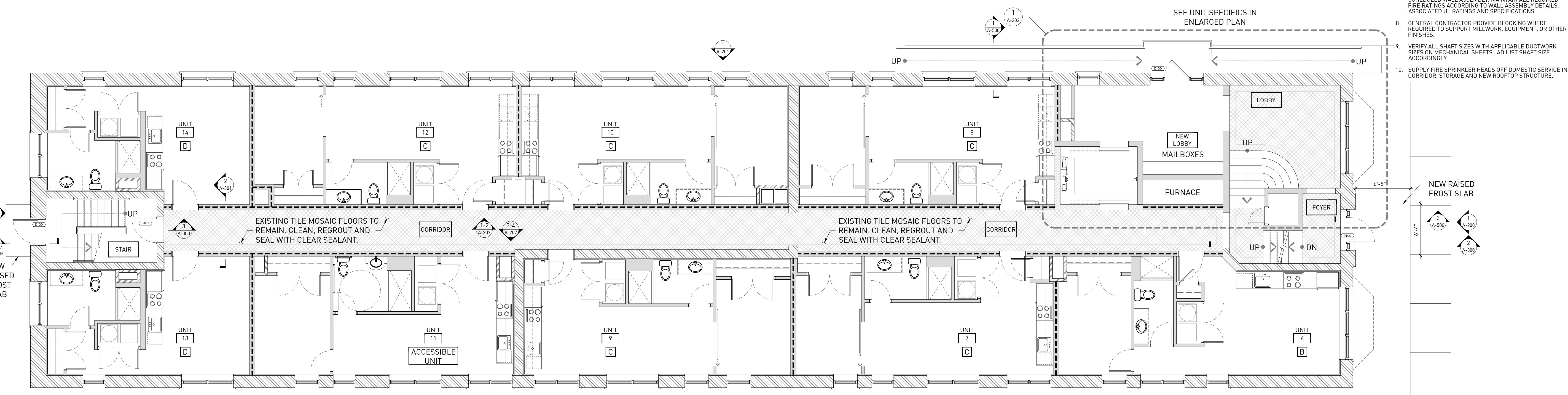
BONITA APARTMENTS  
69 SEWARD AVE, DETROIT, MI, 48202  
OWNER REVIEW

- SYMBOLS**  
NOTE: SOME SYMBOLS MAY NOT BE APPLICABLE.
- EXISTING MASONRY WALL - 4 HOUR RATING  
SEE WALL SECTION 1-A3-00
  - EXISTING INTERIOR WALL  
SEE SECTION 8/A5-00
  - NEW INTERIOR WALL  
SEE SECTION 8/A5-00
  - SHAFT WALL CONSTRUCTION  
SEE SECTION 9/A5-00
  - 1 HOUR RATED WALL  
SEE SECTION 6/A5-00
  - EXISTING MASONRY WALL WITH NEW 1-1/2" FURRING, SEE SECTION 1/A3-00
  - 2 HOUR RATED WALL  
SEE SECTION 10/A5-00
  - 6" PLUMBING WALL WITH INSULATION  
SEE SECTION 7/A5-00
  - NEW INTERIOR WALL WITH INSULATION  
SEE SECTION 8/A5-00

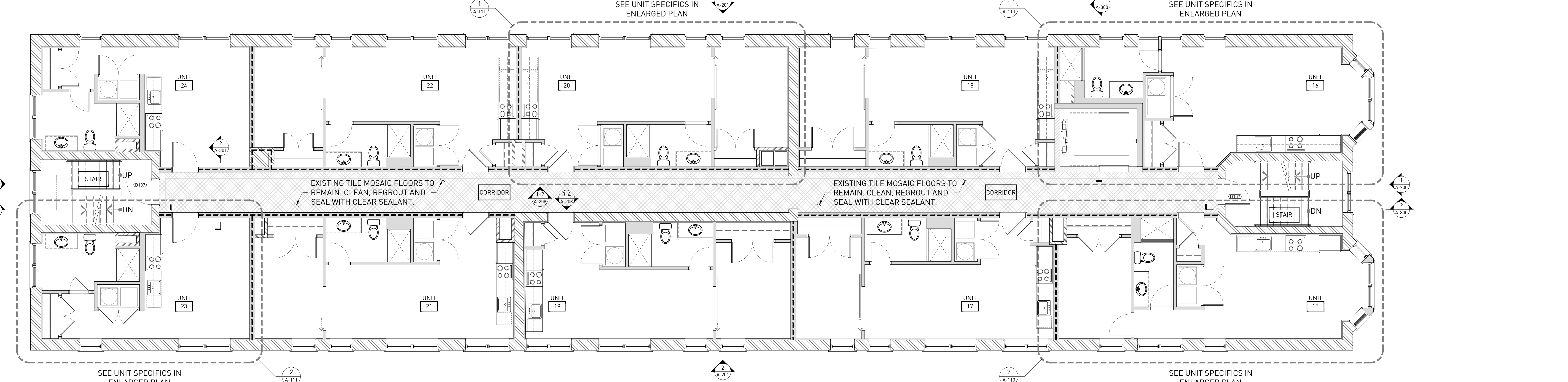
- ARCHITECTURE GENERAL NOTES**
1. ALL EXTERIOR WALL FURRING IS TO BE PER WALL ASSEMBLY 1/A3-00, UNLESS OTHERWISE NOTED.
  2. ALL NEW WALL AND PARTITION CONSTRUCTION IS TO BE PER WALL ASSEMBLY 8/A5-00, UNLESS OTHERWISE NOTED.
  3. ALL WALL ASSEMBLIES MAY OCCUR AT EXISTING FRAMING LOCATIONS TO REMAIN. ALL ASSEMBLIES, EXISTING OR NEW, ARE TO BE PERFORMED ACCORDING TO ASSEMBLY DETAILS, ASSOCIATED UL RATINGS AND SPECIFICATIONS.
  4. WHERE A NEW ASSEMBLY IS TO COORDINATE WITH AN EXISTING ASSEMBLY, MAKE ALL NECESSARY PREPARATIONS TO ENSURE SMOOTH, CONSISTENT, AND UN-NOTICEABLE FINISH ACROSS ENTIRE SURFACE.
  5. FIRE-SEAL / FIRE-CAULK SEALANT IS TO BE INSTALLED AT INTERSECTIONS, CONSTRUCTION ASSEMBLIES, PENETRATIONS, OR AS REQUIRED TO COMPLETE FIRE-BLOCKING CLOSURES AS PER APPLICABLE BUILDING CODE.
  6. ALL WALL ASSEMBLIES LOCATED AT OR ADJACENT TO AN EXISTING EXTERIOR WALL, OR ARE LOCATED ADJACENT TO A COLD-ZONE, ARE TO RECEIVE A MINIMUM OF R-21 INSULATION, WITH VAPOR BARRIER (WARM SIDE), PER CODE.
  7. ALL LOCATIONS OF CEMENTITIOUS TILE BACKER BOARD ARE TO BE COORDINATED WITH THE OWNER AND SCHEDULED WALL ASSEMBLY. MAINTAIN ALL REQUIRED FIRE RATINGS ACCORDING TO WALL ASSEMBLY DETAILS, ASSOCIATED UL RATINGS AND SPECIFICATIONS.
  8. GENERAL CONTRACTOR PROVIDE BLOCKING WHERE REQUIRED TO SUPPORT MILLWORK, EQUIPMENT, OR OTHER FINISHES.
  9. VERIFY ALL SHAFT SIZES WITH APPLICABLE DUCTWORK SIZES ON MECHANICAL SHEETS. ADJUST SHAFT SIZE ACCORDINGLY.
  10. SUPPLY FIRE SPRINKLER HEADS OFF DOMESTIC SERVICE IN CORRIDOR, STORAGE AND NEW ROOFTOP STRUCTURE.



1 BASEMENT FLOOR PLAN  
ORIGINAL DRAWING SCALE: 3/16" = 1'-0"

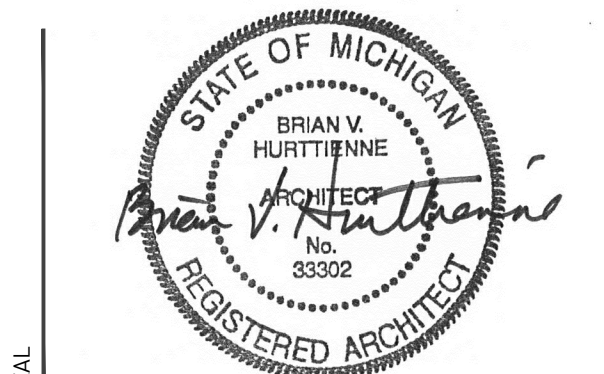


2 FIRST FLOOR PLAN  
ORIGINAL DRAWING SCALE: 3/16" = 1'-0"



3 SECOND FLOOR PLAN  
ORIGINAL DRAWING SCALE: 3/16" = 1'-0"

DESCRIPTION	DATE
1. OWNER'S REVIEW	20200225
2. PERMIT REVIEW	20200228



ARCHITECTURE  
FLOOR PLANS

A-100

ALL CONTRACTORS GENERAL CONTRACTOR, SUB-CONTRACTORS, MEMBERS OR AGENTS OF EITHER OR BOTH ARE TO VERIFY AND COORDINATE ALL CONDITIONS, DIMENSIONS, QUANTITIES AND DETAILS, STATED OR NOT, WITHIN THESE DRAWINGS AND WITHIN THE SPECIFICATIONS BEFORE COMMENCING WITH THE WORK. IF A DIMENSIONAL ERROR OR CONFLICT OCCURS BETWEEN THESE DRAWINGS, THE SPECIFICATIONS OR THE EXISTING PROPOSED CONDITIONS, IT SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT, BEFORE PROCEEDING WITH THE WORK. ANY FURTHER GENERAL CONTRACTOR, SUB-CONTRACTOR, MEMBER OR AGENTS OF EITHER OR BOTH WHO FAIL TO DO SO SHALL BE RESPONSIBLE FOR ANY ERRORS, CONFLICTS, SCHEDULE AND COST IMPLICATIONS.

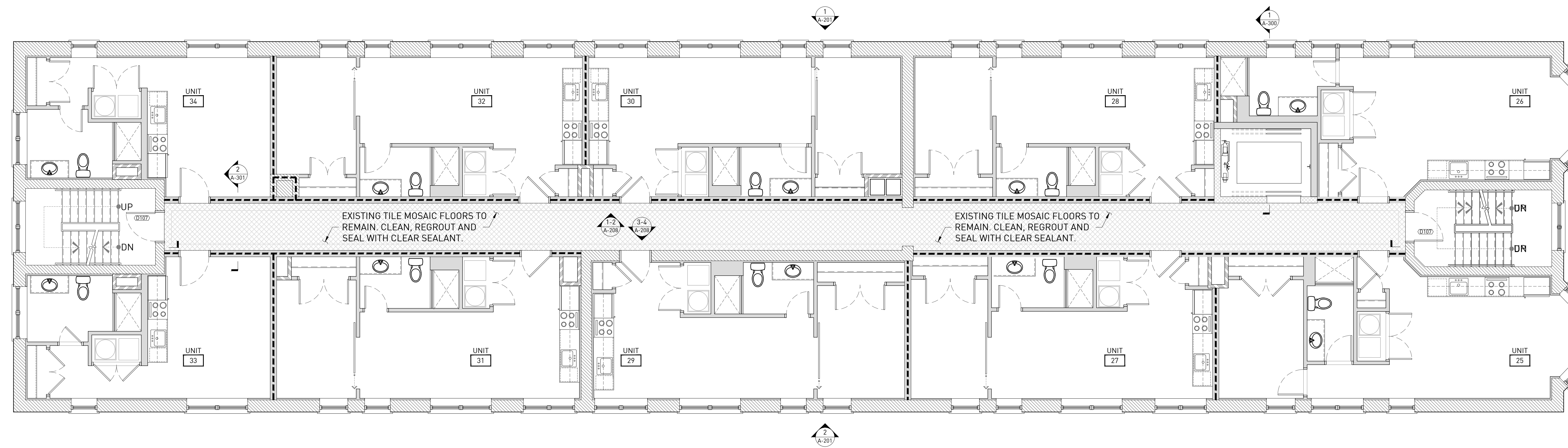
**SYSTEMS SOLUTION**  
4893 Rochester Road, Suite A, Troy, MI 48065  
313.221.9936 ss@systemsolution.net

MEP ENGINEER  
STRUCTURAL ENG.

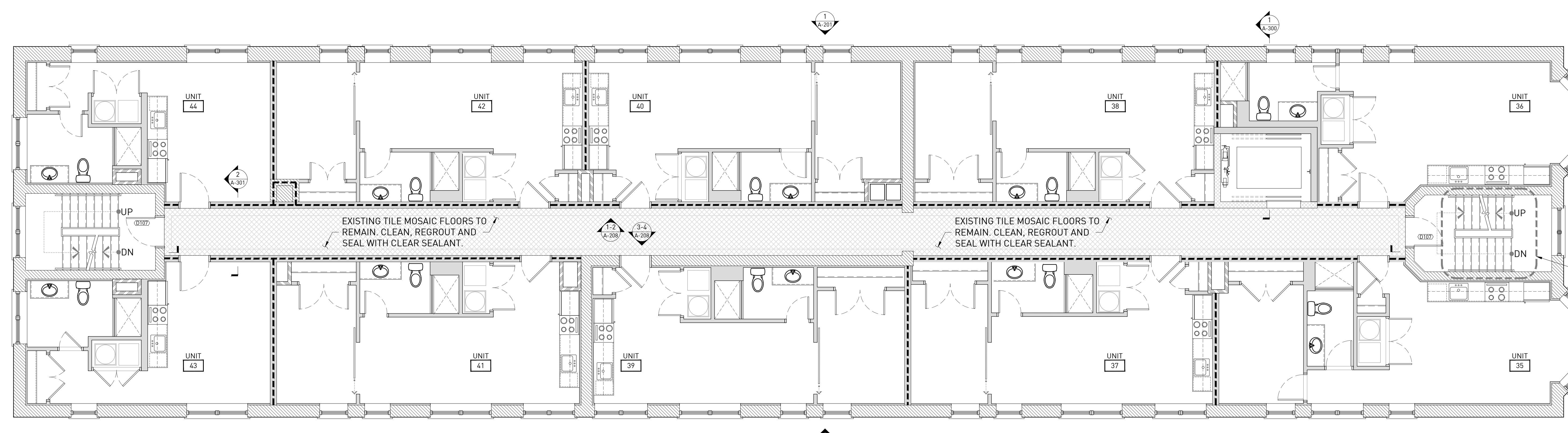
- SYMBOLS**  
NOTE: SOME SYMBOLS MAY NOT BE APPLICABLE.
- EXISTING MASONRY WALL - 4 HOUR RATING SEE WALL SECTION 1-A3-00
  - EXISTING INTERIOR WALL
  - NEW INTERIOR WALL SEE SECTION 8/A5-00
  - SHAFT WALL CONSTRUCTION SEE SECTION 9/A5-00
  - 1 HOUR RATED WALL SEE SECTION 6/A5-00
  - EXISTING MASONRY WALL WITH NEW 1-1/2" FURRING. SEE SECTION 1/A3-00
  - 2 HOUR RATED WALL SEE SECTION 10/A5-00
  - 6" PLUMBING WALL WITH INSULATION SEE SECTION 7/A5-00
  - NEW INTERIOR WALL WITH INSULATION SEE SECTION 8/A5-00

**ARCHITECTURE GENERAL NOTES**

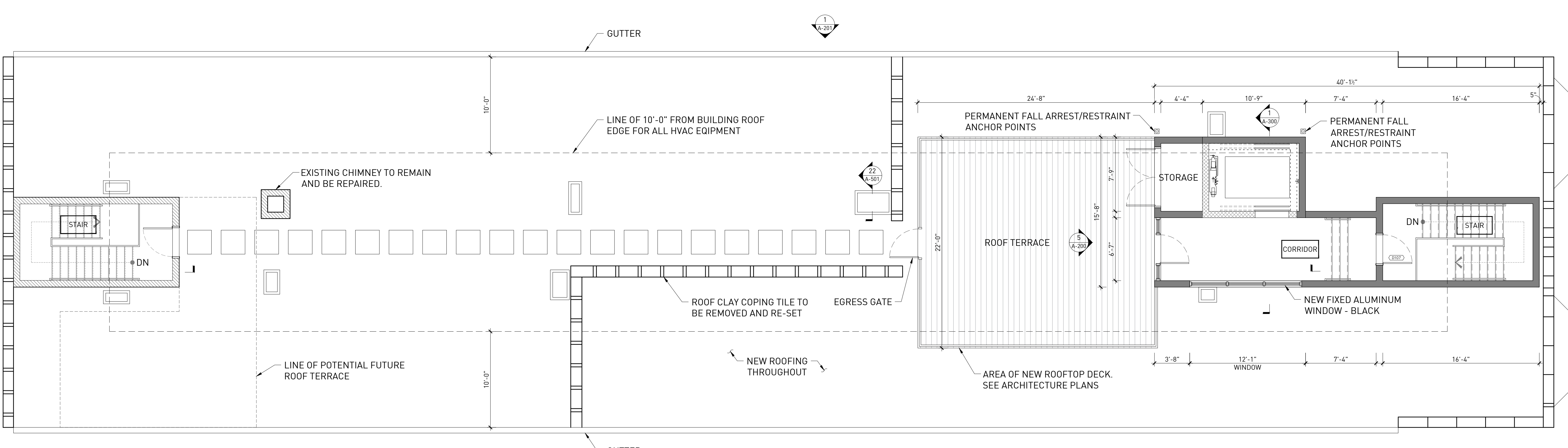
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- ALL NEW WALL AND PARTITION CONSTRUCTION IS TO BE PER WALL ASSEMBLY 8/A5-00, UNLESS OTHERWISE NOTED.
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- ALL LOCATIONS OF CEMENTITIOUS TILE BACKER BOARD ARE TO BE COORDINATED WITH THE OWNER AND SCHEDULED WALL ASSEMBLY. MAINTAIN ALL REQUIRED FIRE RATINGS ACCORDING TO WALL ASSEMBLY DETAILS, ASSOCIATED UL RATINGS AND SPECIFICATIONS.
- GENERAL CONTRACTOR PROVIDE BLOCKING WHERE REQUIRED TO SUPPORT MILLWORK, EQUIPMENT, OR OTHER FINISHES.
- VERIFY ALL SHAFT SIZES WITH APPLICABLE DUCTWORK SIZES ON MECHANICAL SHEETS. ADJUST SHAFT SIZE ACCORDINGLY.
- SUPPLY FIRE SPRINKLER HEADS OFF DOMESTIC SERVICE IN CORRIDOR, STORAGE AND NEW ROOFTOP STRUCTURE.



**1 THIRD FLOOR PLAN**  
ORIGINAL DRAWING SCALE: 3/16" = 1'-0"



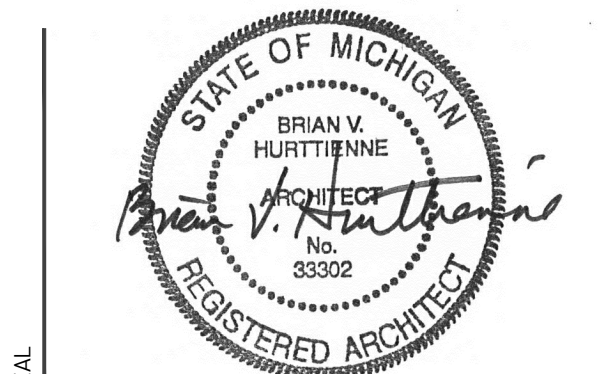
**2 FOURTH FLOOR PLAN**  
ORIGINAL DRAWING SCALE: 3/16" = 1'-0"



**3 ROOF PLAN**  
ORIGINAL DRAWING SCALE: 3/16" = 1'-0"

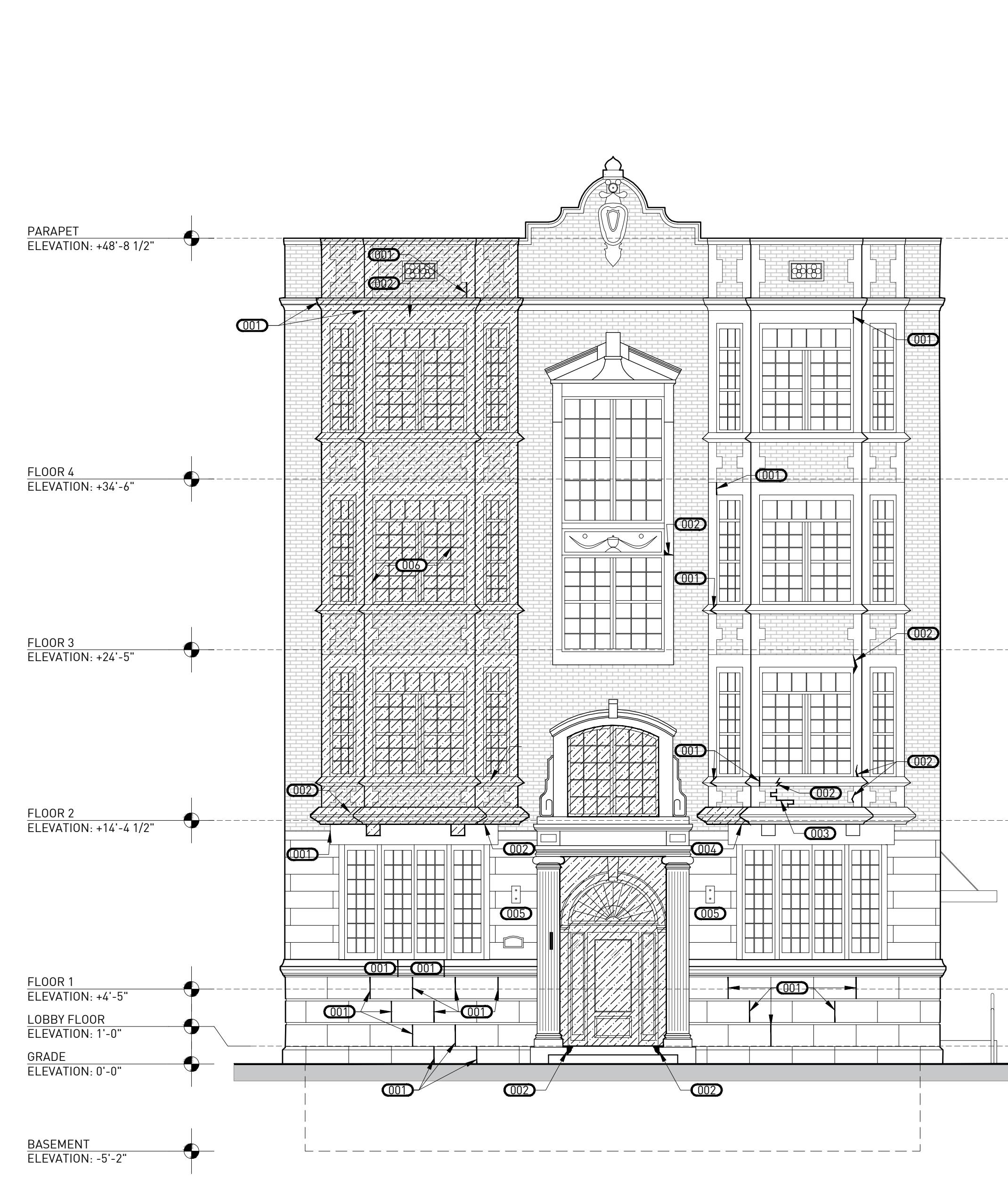
**BONITA APARTMENTS**  
69 SEWARD AVE, DETROIT, MI, 48202  
OWNER REVIEW

DESCRIPTION	DATE
1. OWNER'S REVIEW	20200225
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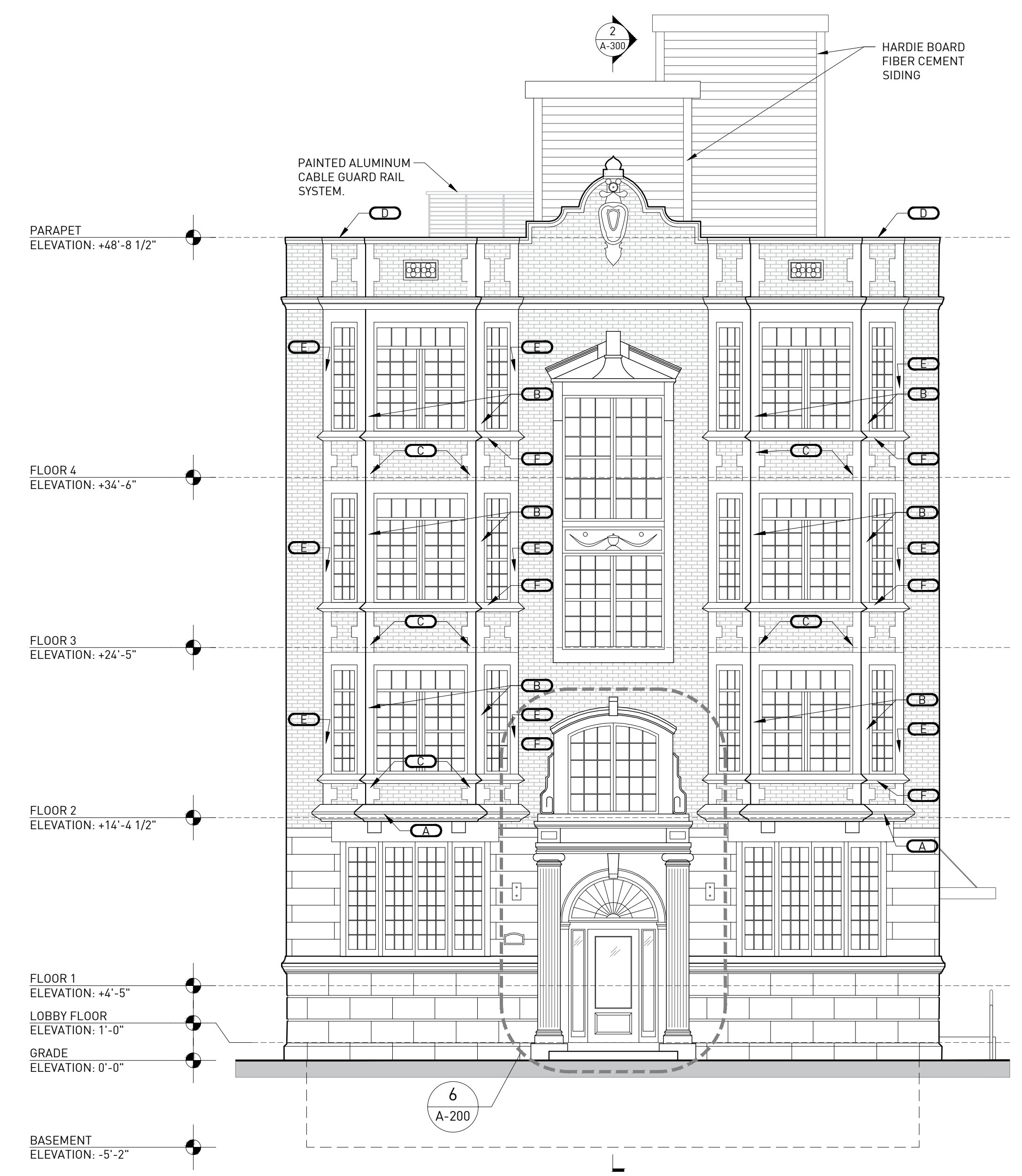


ARCHITECTURE  
FLOOR AND ROOF  
PLAN

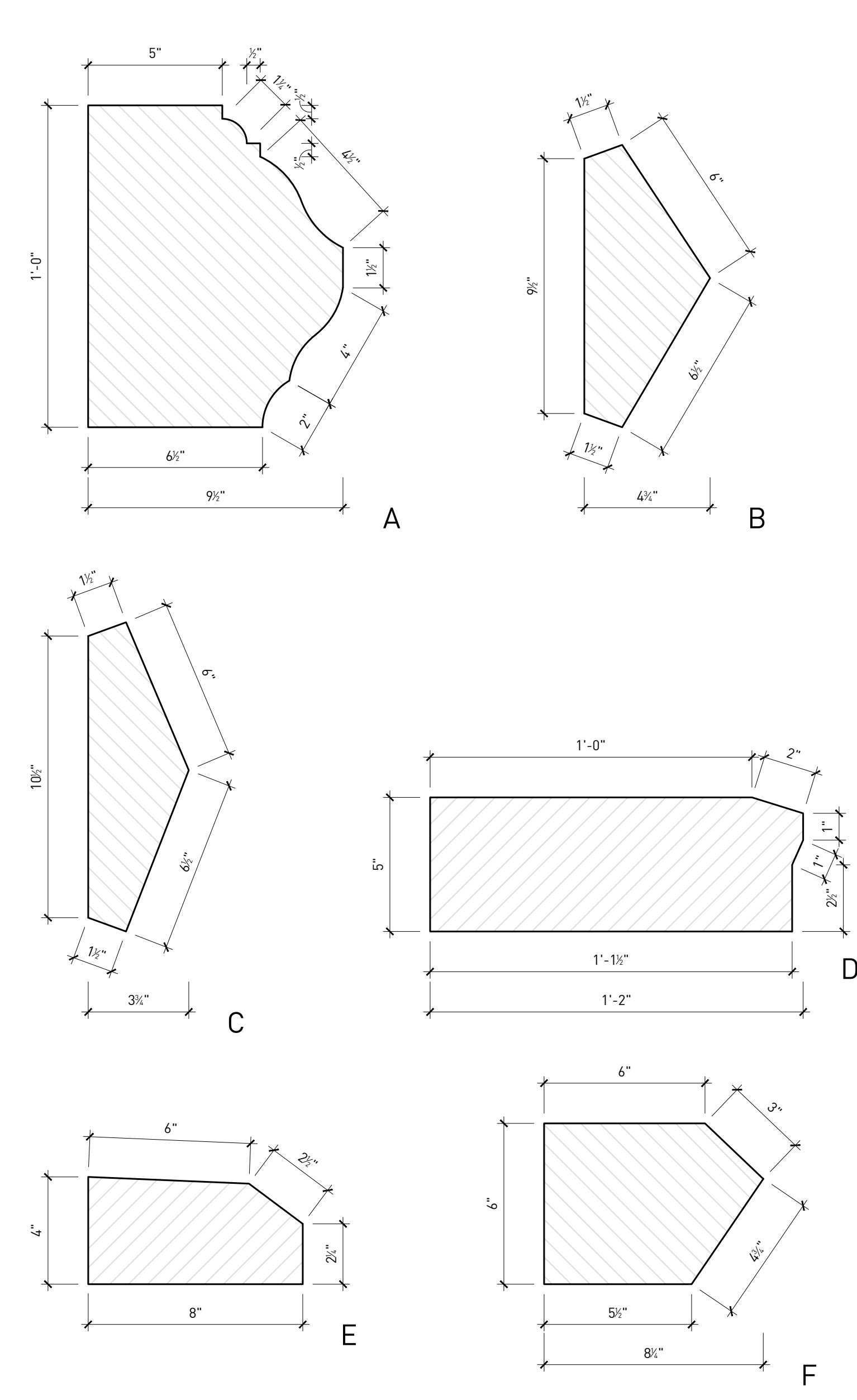
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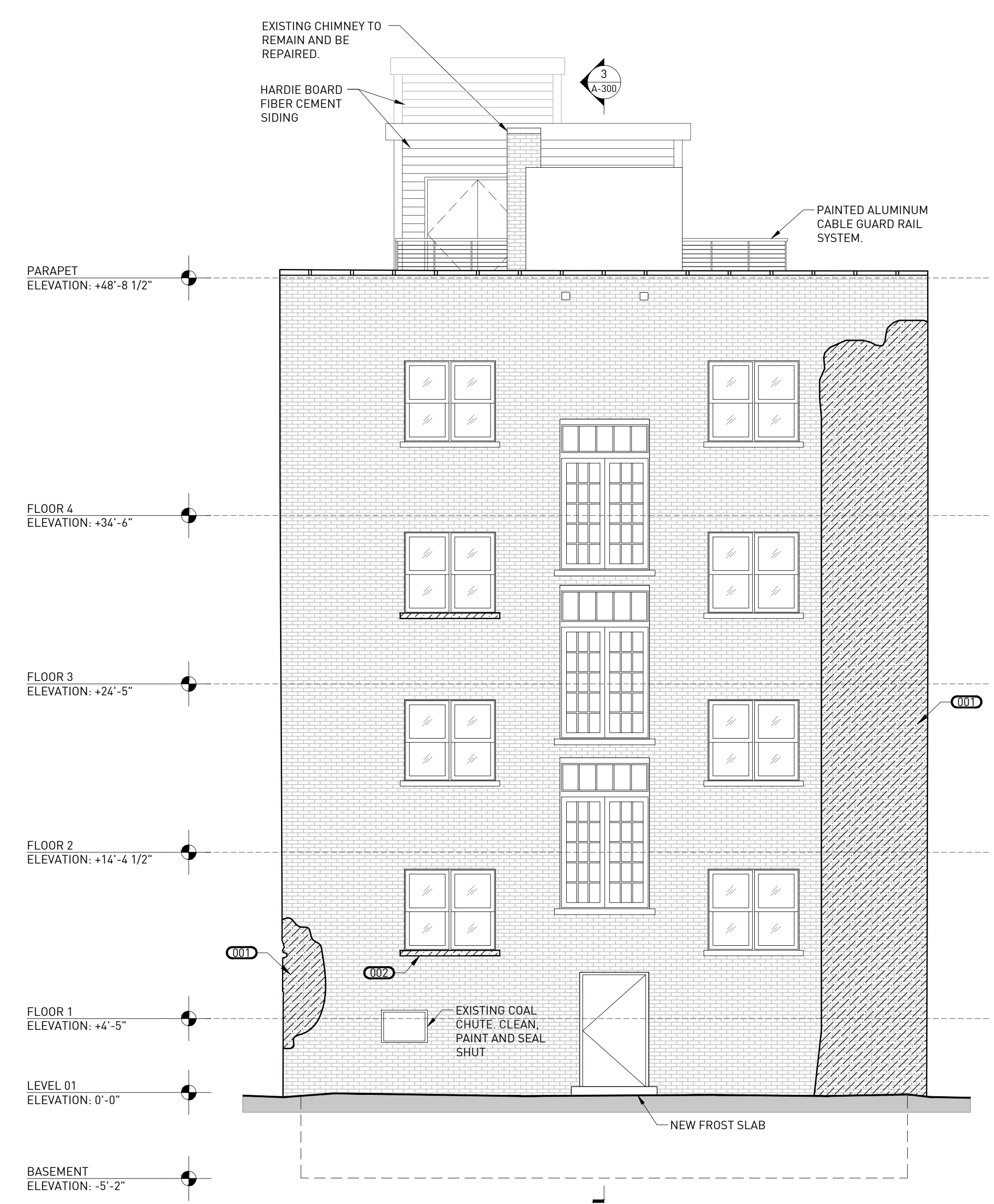
1 NORTH DEMOLITION ELEVATION  
ORIGINAL DRAWING SCALE: 1/4" = 1'-0"



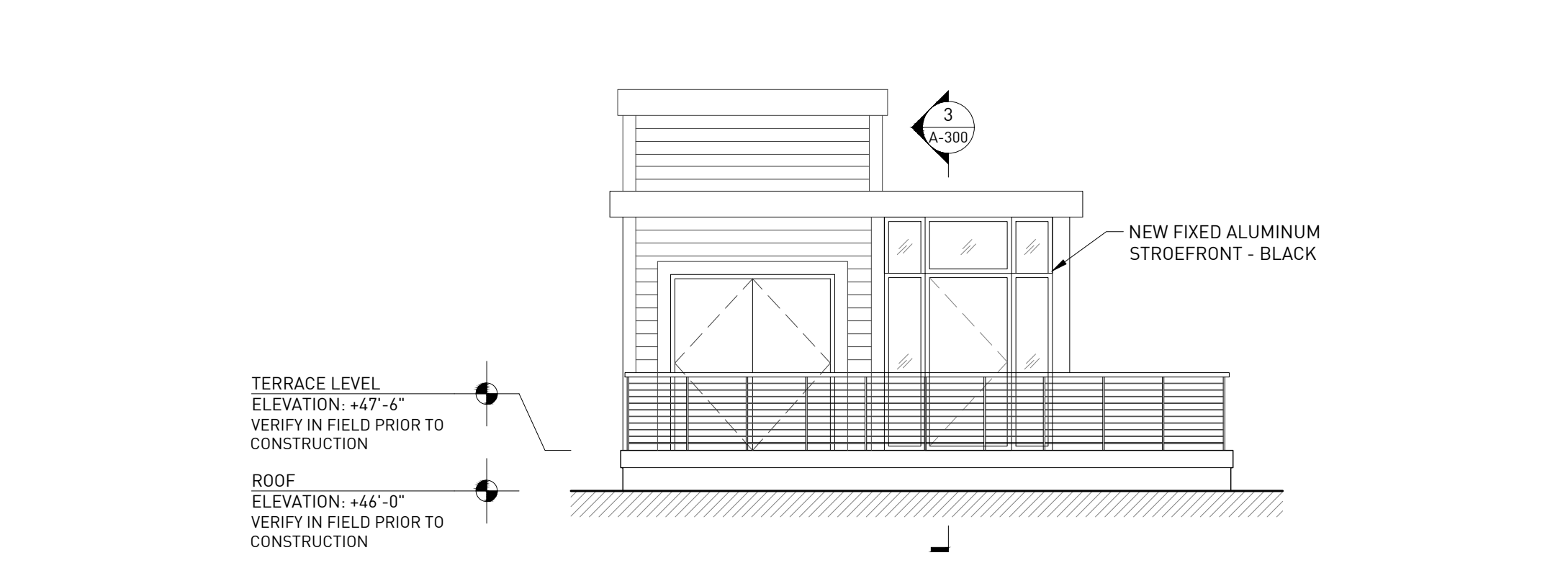
2 NORTH RECONSTRUCTION ELEVATION  
ORIGINAL DRAWING SCALE: 1/4" = 1'-0"



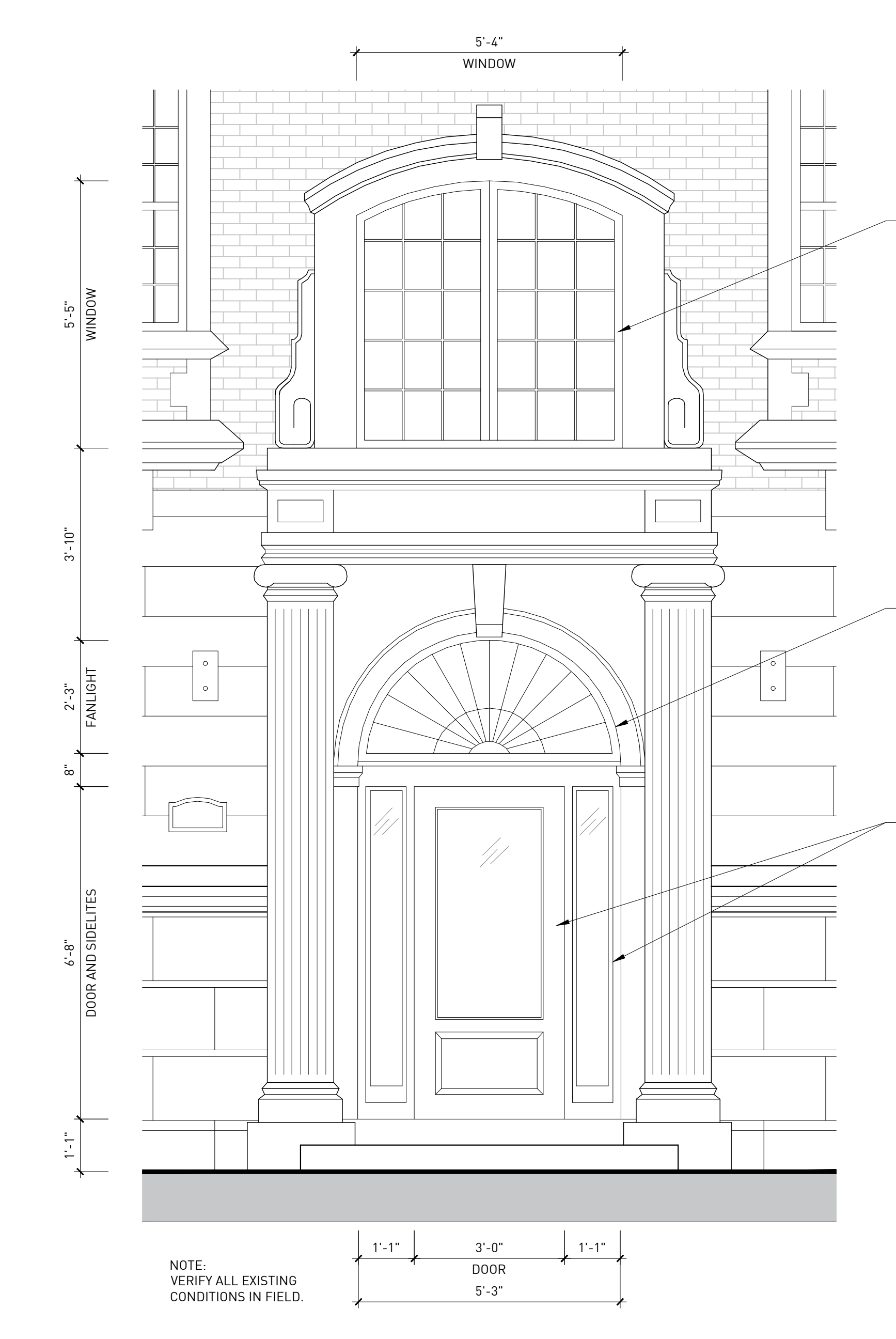
3 CAST STONE MOULDING PROFILES  
ORIGINAL DRAWING SCALE: 3" = 1'-0"



4 SOUTH ELEVATION  
ORIGINAL DRAWING SCALE: 3/16" = 1'-0"



5 ENLARGED ENTRY ELEVATION  
ORIGINAL DRAWING SCALE: 3/16" = 1'-0"



6 ENLARGED ENTRY ELEVATION  
ORIGINAL DRAWING SCALE: 1/2" = 1'-0"

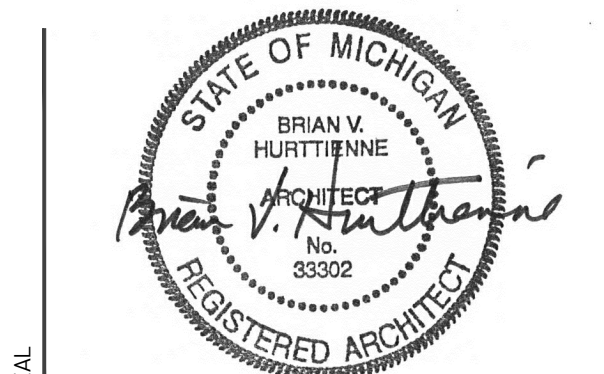
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**SYSTEMS SOLUTION**  
MEP ENGINEER  
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313.221.9930 ssc@SystemsSolution.net

CONTRACTOR NOTE  
MEP ENGINEER  
STRUCTURAL ENG.

**BONITA APARTMENTS**  
69 SEWARD AVE, DETROIT, MI, 48202  
OWNER REVIEW

REVISIONS	DESCRIPTION	DATE
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2	PERMIT REVIEW	20200228



EXTERIOR ELEVATIONS

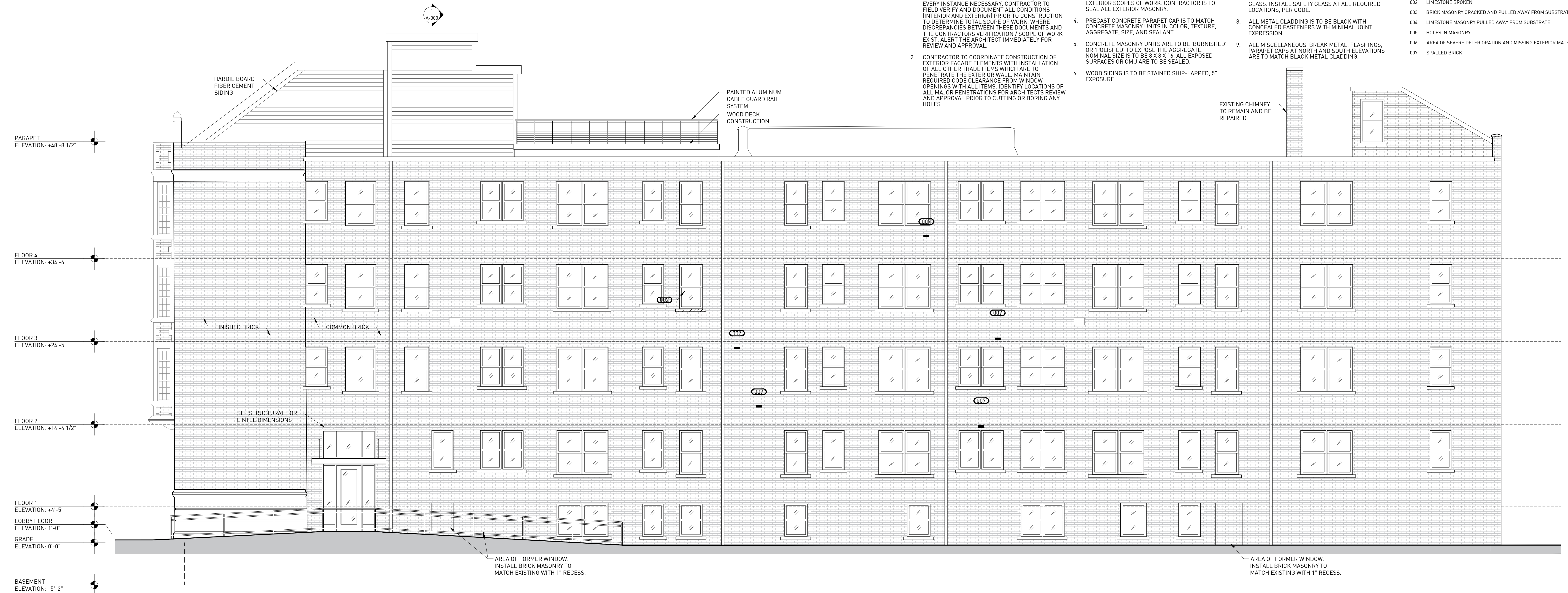
**A-201**

**ELEVATION GENERAL NOTES**

- ALL KEYNOTE / CALLOUTS INDICATE AREAS OF WORK TO BE COMPLETED, BUT MAY NOT COVER / INCLUDE EVERY INSTANCE NECESSARY. CONTRACTOR TO FIELD VERIFY AND DOCUMENT ALL CONDITIONS INTERIOR AND EXTERIOR PRIOR TO CONSTRUCTION TO DETERMINE TOTAL SCOPE OF WORK. WHERE DISCREPANCIES BETWEEN THESE DOCUMENTS AND THE CONTRACTORS VERIFICATION / SCOPE OF WORK EXIST, ALERT THE ARCHITECT IMMEDIATELY FOR REVIEW AND APPROVAL.
- CONTRACTOR TO COORDINATE CONSTRUCTION OF EXTERIOR FACADE ELEMENTS WITH INSTALLATION OF ALL OTHER TRADE ITEMS WHICH ARE TO PENETRATE THE EXTERIOR WALL. MAINTAIN REQUIRED CODE CLEARANCE FROM WINDOW OPENINGS WITH ALL ITEMS. IDENTIFY LOCATIONS OF ALL MAJOR PENETRATIONS FOR ARCHITECTS REVIEW AND APPROVAL PRIOR TO CUTTING OR BORING ANY HOLES.
- CONTRACTOR IS TO CLEAN ALL MASONRY AND STONE FOLLOWING UPON COMPLETION OF ALL EXTERIOR SCOPES OF WORK. CONTRACTOR IS TO SEAL ALL EXTERIOR MASONRY.
- PRE-CAST CONCRETE PARAPET CAP IS TO MATCH CONCRETE MASONRY UNITS IN COLOR, TEXTURE, AGGREGATE, SIZE, AND SEALANT.
- CONCRETE MASONRY UNITS ARE TO BE 'BURNISHED' OR 'POLISHED' TO EXPOSE THE AGGREGATE. NOMINAL SIZE IS TO BE 8'8" X 1'6". ALL EXPOSED SURFACES OR CMU ARE TO BE SEALED.
- WOOD SIDING IS TO BE STAINED SHIP-LAPPED, 5" EXPOSURE.
- GLAZING SYSTEMS AND COMPONENTS (FRAME, JAMB, SASH, ETC.) ARE TO BE BLACK ALUMINUM TO MATCH BLACK METAL CLADDING WITH CLEAR LOW-E GLASS. INSTALL SAFETY GLASS AT ALL REQUIRED LOCATIONS, PER CODE.
- ALL METAL CLADDING IS TO BE BLACK WITH CONCEALED FASTENERS WITH MINIMAL JOINT EXPRESSION.
- ALL MISCELLANEOUS BREAK METAL, FLASHINGS, PARAPET CAPS AT NORTH AND SOUTH ELEVATIONS ARE TO MATCH BLACK METAL CLADDING.

**ELEVATION KEY NOTES**

- 001 MORTAR JOINT SEVERELY DETERIORATED
- 002 LIMESTONE BROKEN
- 003 BRICK MASONRY CRACKED AND PULLED AWAY FROM SUBSTRATE
- 004 LIMESTONE MASONRY PULLED AWAY FROM SUBSTRATE
- 005 HOLES IN MASONRY
- 006 AREA OF SEVERE DETERIORATION AND MISSING EXTERIOR MATERIALS
- 007 SPALLED BRICK



**1 WEST ELEVATION**  
ORIGINAL DRAWING SCALE: 1/4" = 1'-0"



**2 EAST ELEVATION**  
ORIGINAL DRAWING SCALE: 1/4" = 1'-0"



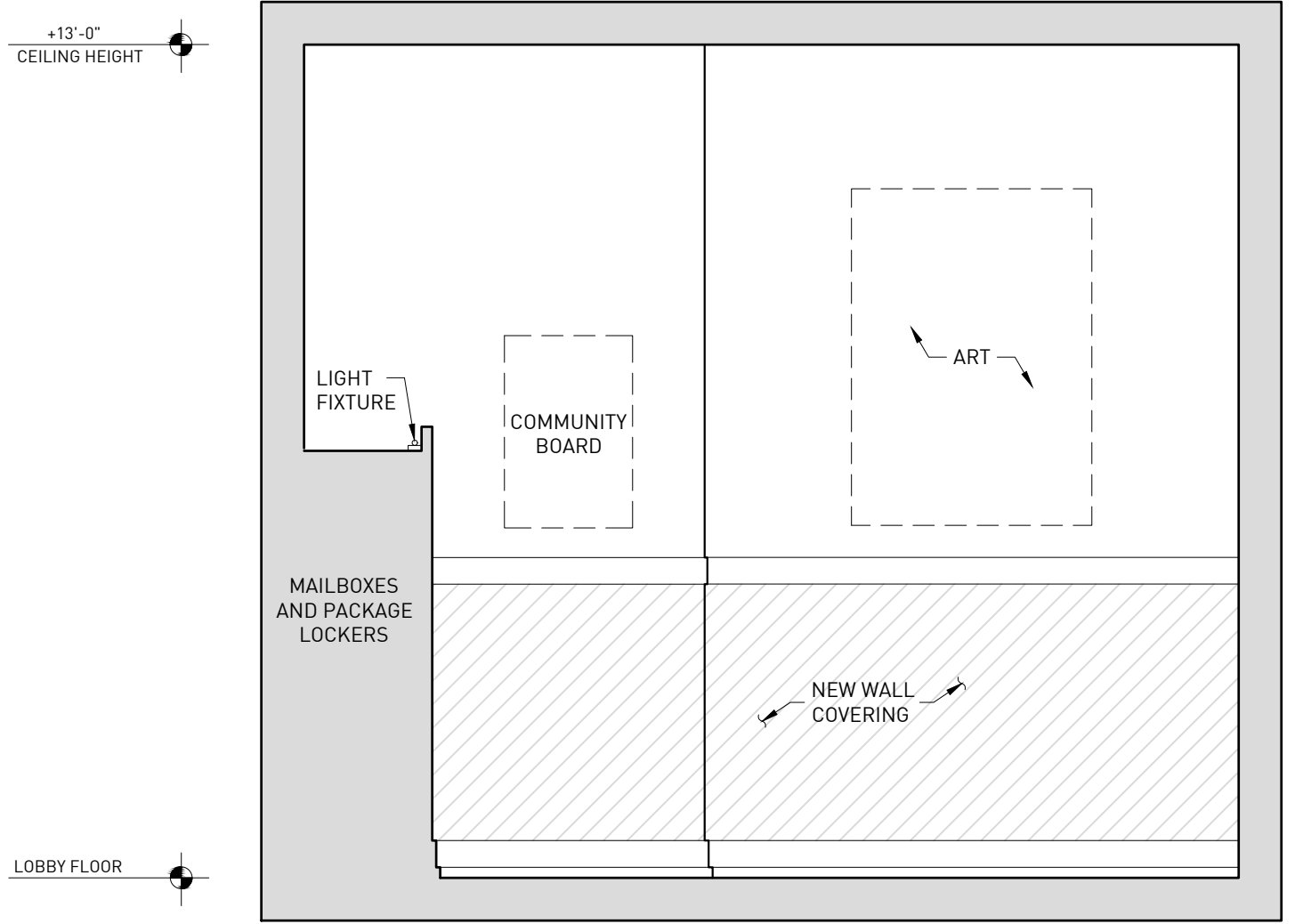
- SYMBOLS**  
NOTE: SOME SYMBOLS MAY NOT BE APPLICABLE.
- EXISTING MASONRY WALL - 4 HOUR RATING SEE WALL SECTION 1-A3-00
  - EXISTING INTERIOR WALL
  - NEW INTERIOR WALL SEE SECTION 8/A5-00
  - SHAFT WALL CONSTRUCTION SEE SECTION 9/A5-00
  - 1 HOUR RATED WALL SEE SECTION 6/A5-00
  - 2 HOUR RATED WALL SEE SECTION 10/A5-00
  - 6" PLUMBING WALL WITH INSULATION SEE SECTION 7/A5-00
  - NEW INTERIOR WALL WITH INSULATION SEE SECTION 8/A5-00

**ARCHITECTURE GENERAL NOTES**

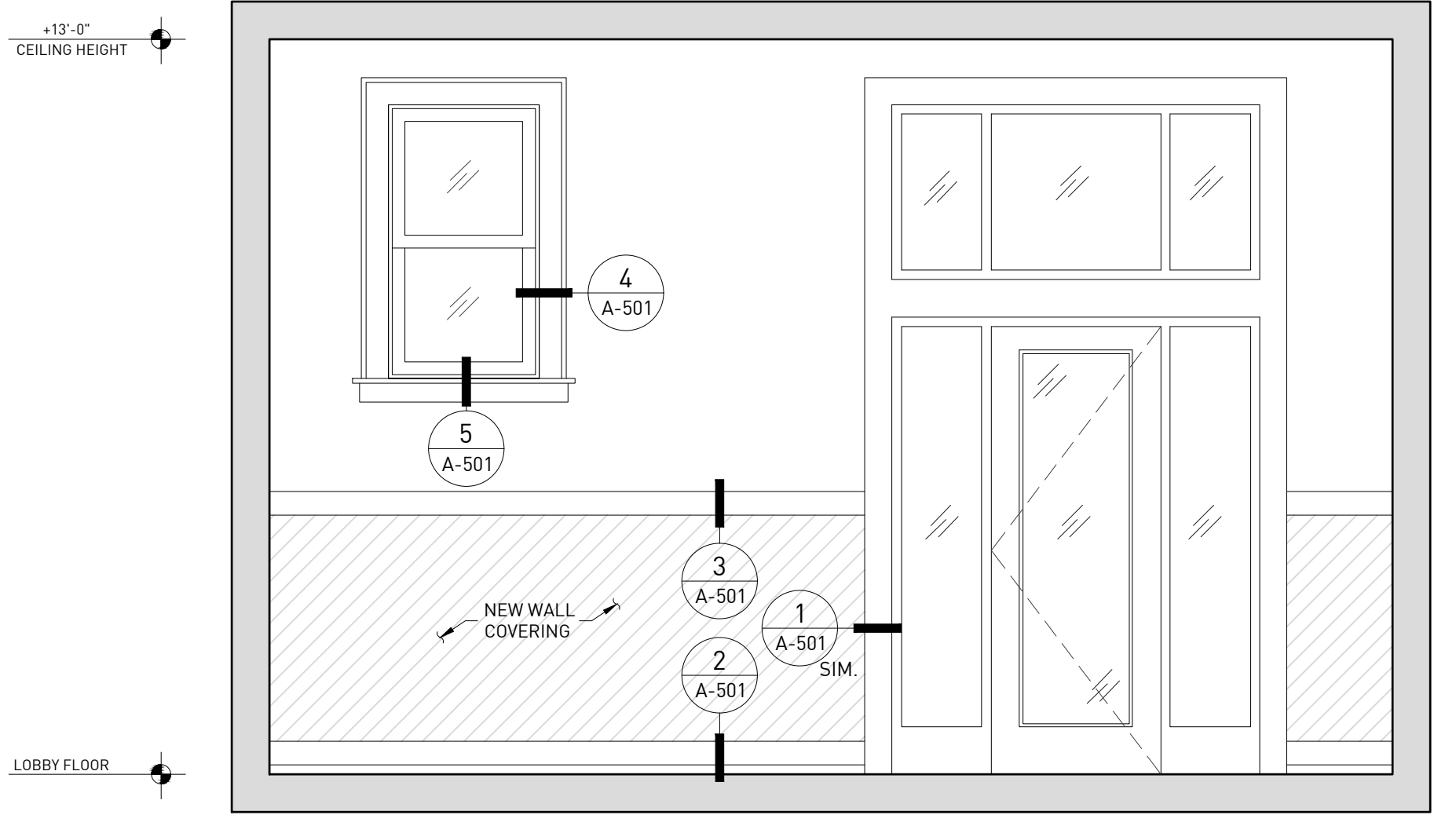
1. ALL EXTERIOR WALL FURRING IS TO BE PER WALL ASSEMBLY 1/A3-00, UNLESS OTHERWISE NOTED.
2. ALL NEW WALL AND PARTITION CONSTRUCTION IS TO BE PER WALL ASSEMBLY 8/A5-00, UNLESS OTHERWISE NOTED.
3. ALL WALL ASSEMBLIES MAY OCCUR AT EXISTING FRAMING LOCATIONS TO REMAIN. ALL ASSEMBLIES, EXISTING OR NEW, ARE TO PERFORM ACCORDING TO ASSEMBLY DETAILS, ASSOCIATED UL RATINGS AND SPECIFICATIONS.
4. WHERE A NEW ASSEMBLY IS TO COORDINATE WITH AN EXISTING ASSEMBLY, ALL NECESSARY PREPARATIONS TO ENSURE SMOOTH, CONSISTENT, AND UN-NOTICEABLE FINISH ACROSS ENTIRE SURFACE.
5. FIRE-SEAL / FIRE-CAULK SEALANT IS TO BE INSTALLED AT INTERSECTIONS, CONSTRUCTION ASSEMBLIES, PENETRATIONS, OR AS REQUIRED TO COMPLETE FIRE-BLOCKING CLOSURES AS PER APPLICABLE BUILDING CODE.
6. ALL WALL ASSEMBLIES LOCATED AT OR ADJACENT TO AN EXISTING EXTERIOR WALL, OR ARE LOCATED ADJACENT TO A "COLD-ZONE," ARE TO RECEIVE A MINIMUM OF R-21 INSULATION, WITH VAPOR BARRIER (WARM SIDE), PER CODE.
7. ALL LOCATIONS OF CEMENTITIOUS TILE BACKER BOARD ARE TO BE COORDINATED WITH THE OWNER AND SCHEDULED WALL ASSEMBLY, MAINTAIN ALL REQUIRED FIRE RATINGS ACCORDING TO WALL ASSEMBLY DETAILS, ASSOCIATED UL RATINGS AND SPECIFICATIONS.
8. GENERAL CONTRACTOR PROVIDE BLOCKING WHERE REQUIRED TO SUPPORT MILLWORK, EQUIPMENT, OR OTHER FINISHES.

**INTRIOR ELEV. GENERAL NOTES**

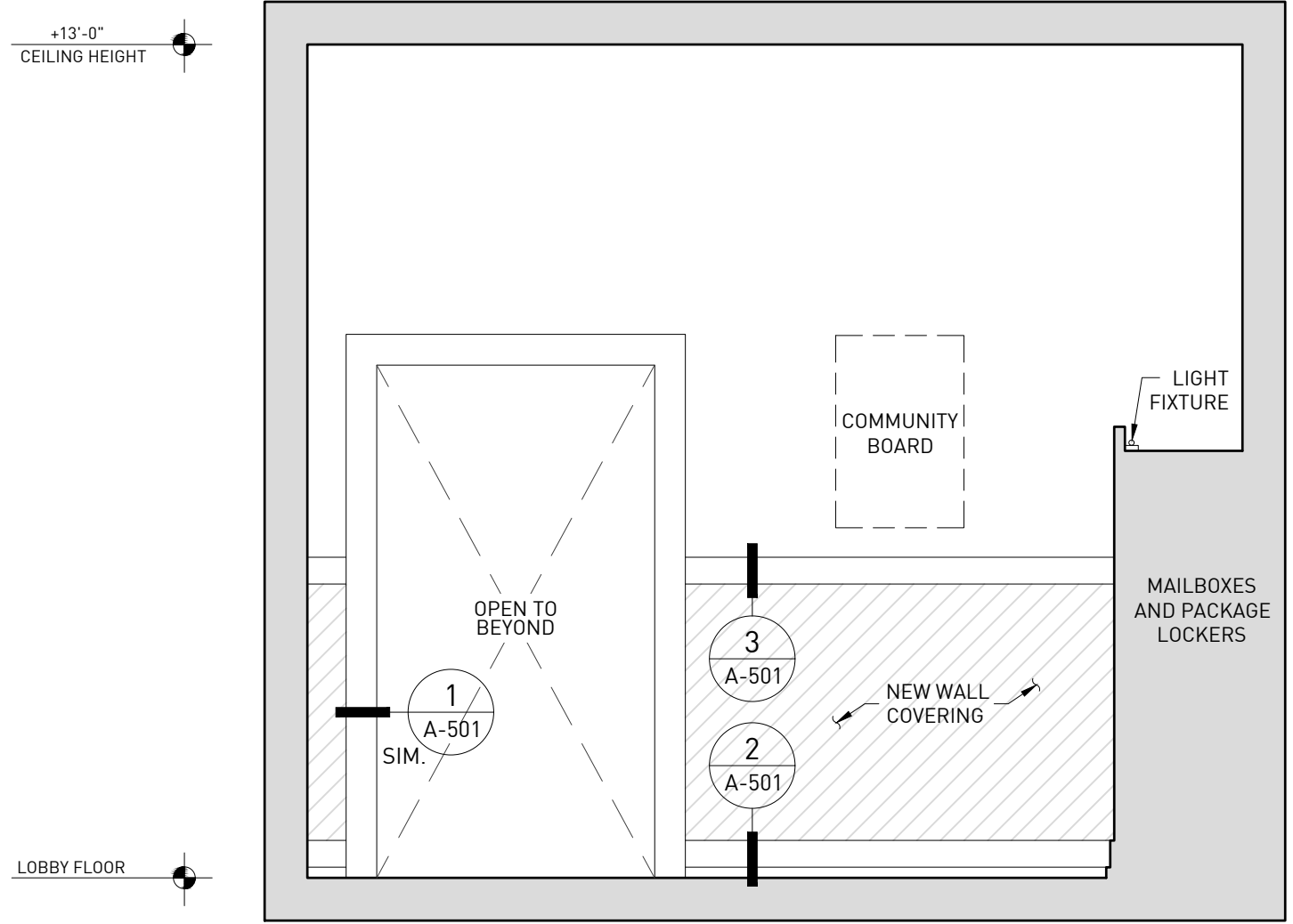
1. ALL KEYNOTE / CALLOUTS INDICATE AREAS OF WORK TO BE COMPLETED, BUT MAY NOT COVER / INCLUDE EVERY INSTANCE NECESSARY. CONTRACTOR TO FIELD VERIFY AND DOCUMENT ALL CONDITIONS (INTERIOR AND EXTERIOR) PRIOR TO RENOVATION TO DETERMINE TOTAL SCOPE OF WORK. WHERE DISCREPANCIES BETWEEN THESE DOCUMENTS AND THE CONTRACTORS VERIFICATION / SCOPE OF WORK EXIST, ALERT THE ARCHITECT IMMEDIATELY FOR REVIEW AND APPROVAL.
2. CONTRACTOR TO CLEAN ALL MASONRY AND STONE WITH A GENTLE WATER ABRASIVE CLEANING METHOD PRIOR TO RESTORATION PROCESS FOR EVALUATION OF ALL MASONRY AND STONE SURFACES, ASSEMBLIES AND CONDITIONS. ALERT ARCHITECT UPON COMPLETION OF MASONRY CLEANING FOR INSPECTION OF ALL SURFACES PRIOR TO COMMENCEMENT OF FURTHER WORK.
3. CONTRACTOR IS TO CLEAN ALL MASONRY AND STONE FOLLOWING UPON COMPLETION OF ALL EXTERIOR SCOPES OF WORK. CONTRACTOR IS TO SEAL ALL EXTERIOR MASONRY AFTER RESTORATION.
4. THE RESTORATION CONTRACTOR SHALL PERFORM A TEST AREA OF THE MASONRY RESTORATION PROCESS IN A LOCATION INDICATED BY THE ARCHITECT FOR REVIEW AND APPROVAL BY THE ARCHITECT PRIOR TO THE START OF THE MASONRY RESTORATION WORK. CUT OUT MORTAR JOINTS, REPAIR, RE-POINT, AND CLEAN AS SPECIFIED.
5. CONTRACTOR TO COORDINATE RENOVATION OF EXTERIOR FACADE ELEMENTS WITH INSTALLATION OF ALL OTHER TRADE ITEMS WHICH ARE TO PENETRATE THE EXTERIOR WALL. MAINTAIN REQUIRED CODE CLEARANCE FROM WINDOW OPENINGS WITH ALL ITEMS. IDENTIFY LOCATIONS OF ALL MAJOR PENETRATIONS FOR ARCHITECTS REVIEW AND APPROVAL PRIOR TO CUTTING OR BORING ANY HOLES.
6. RE-POINTING OF MORTAR JOINTS REQUIRES THE EXISTING MORTAR TO BE CUT OUT TO A MIN. OF 1-1/2" DEPTH. CLEAN THE MASONRY SURFACES FROM LOOSE DEBRIS, AND RE-POINT WITH MORTAR TO MATCH ORIGINAL AS SPECIFIED.
7. ALL REMOVED BRICK AND STONE MASONRY IS TO BE SALVAGED, CLEANED, AND STORED ON-SITE FOR POSSIBLE REUSE UP TO COMPLETION OF THE WORK. ONLY RETAIN FULL MASONRY UNITS, AND ALL STONE UNITS. THE REMAINDER WILL BE HANDLED OVER TO THE OWNER AT THE COMPLETION OF THE WORK.



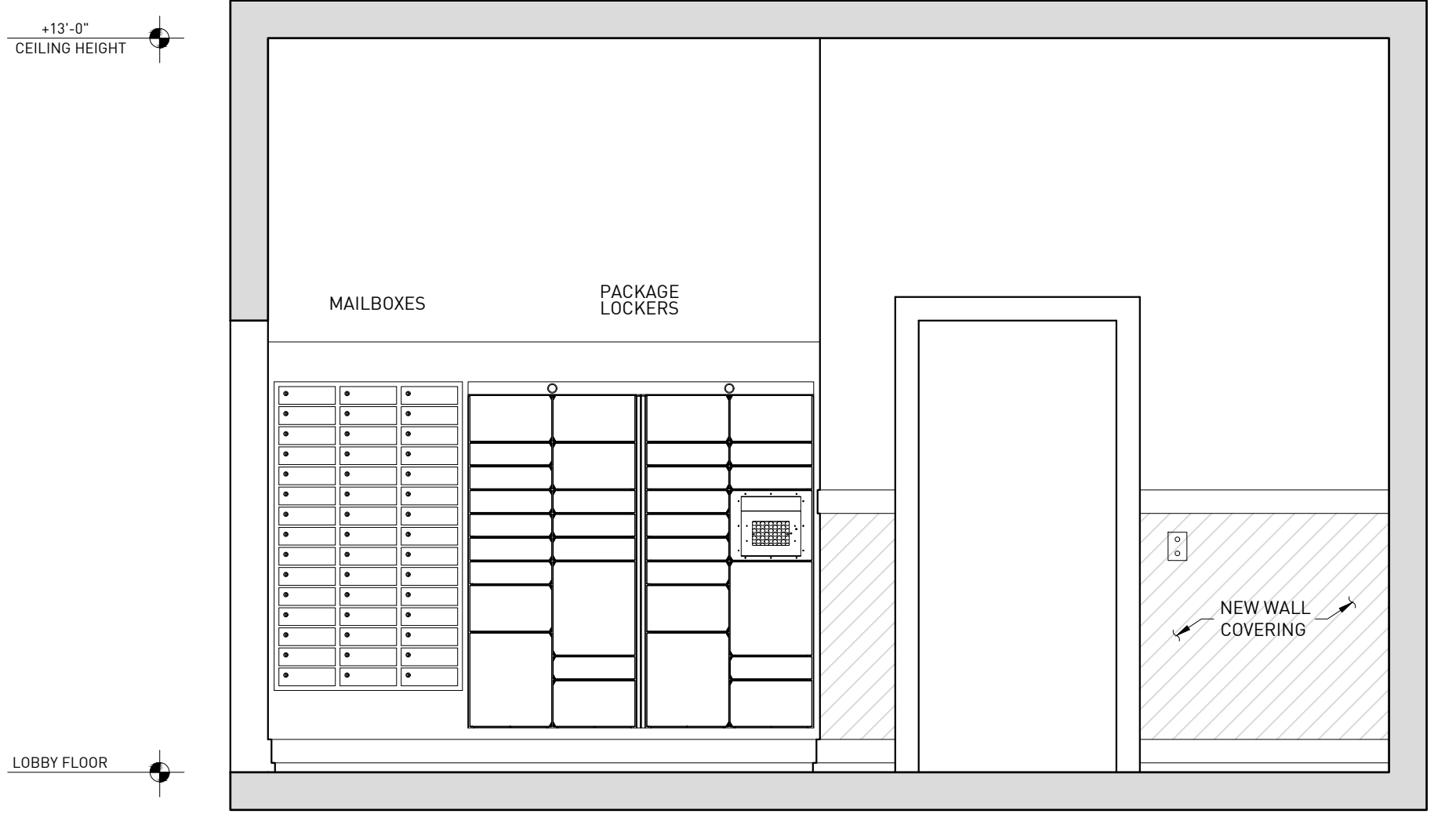
1 INTERIOR ELEVATION  
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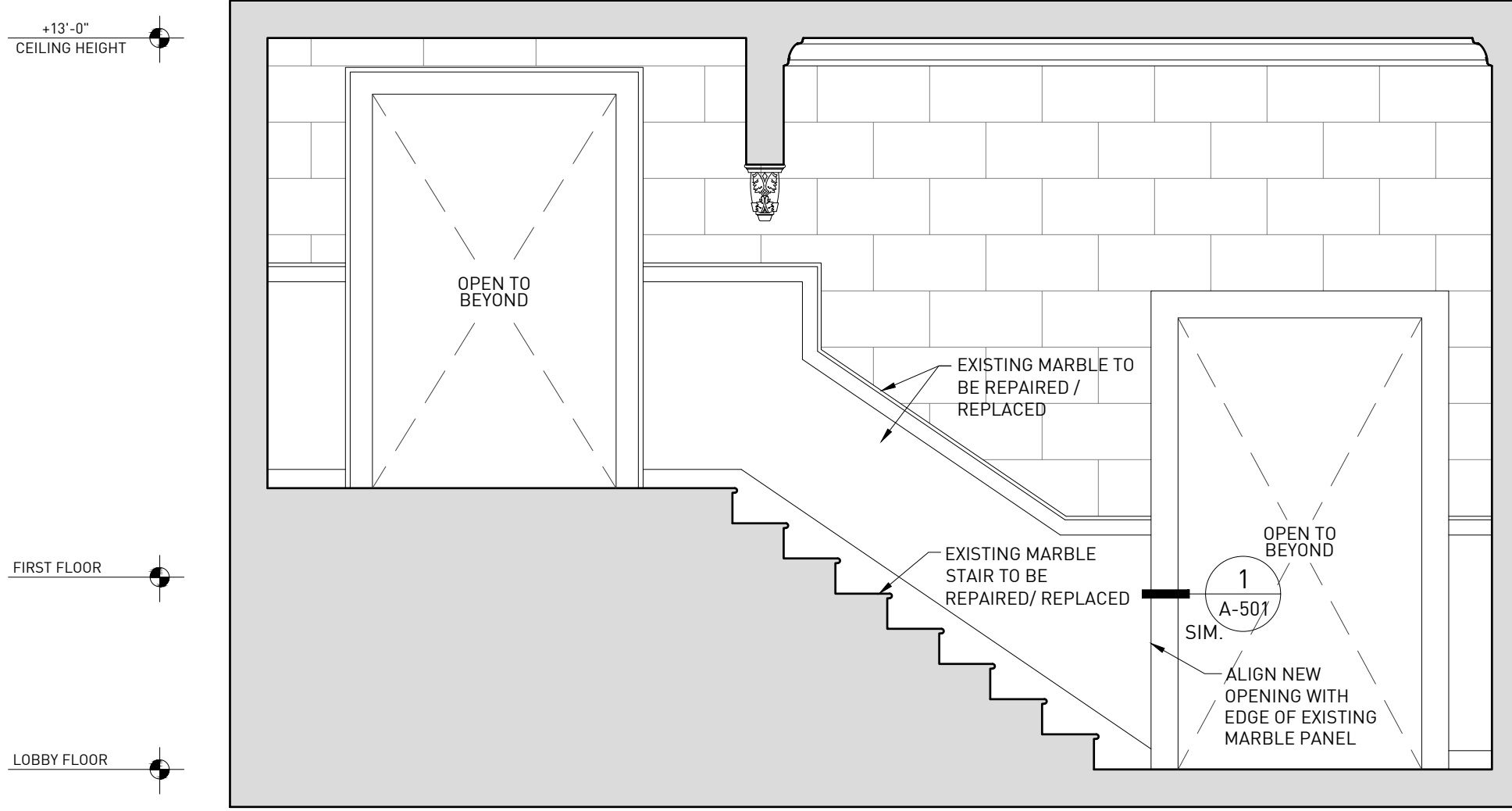
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ORIGINAL DRAWING SCALE: 3/8" = 1'-0"



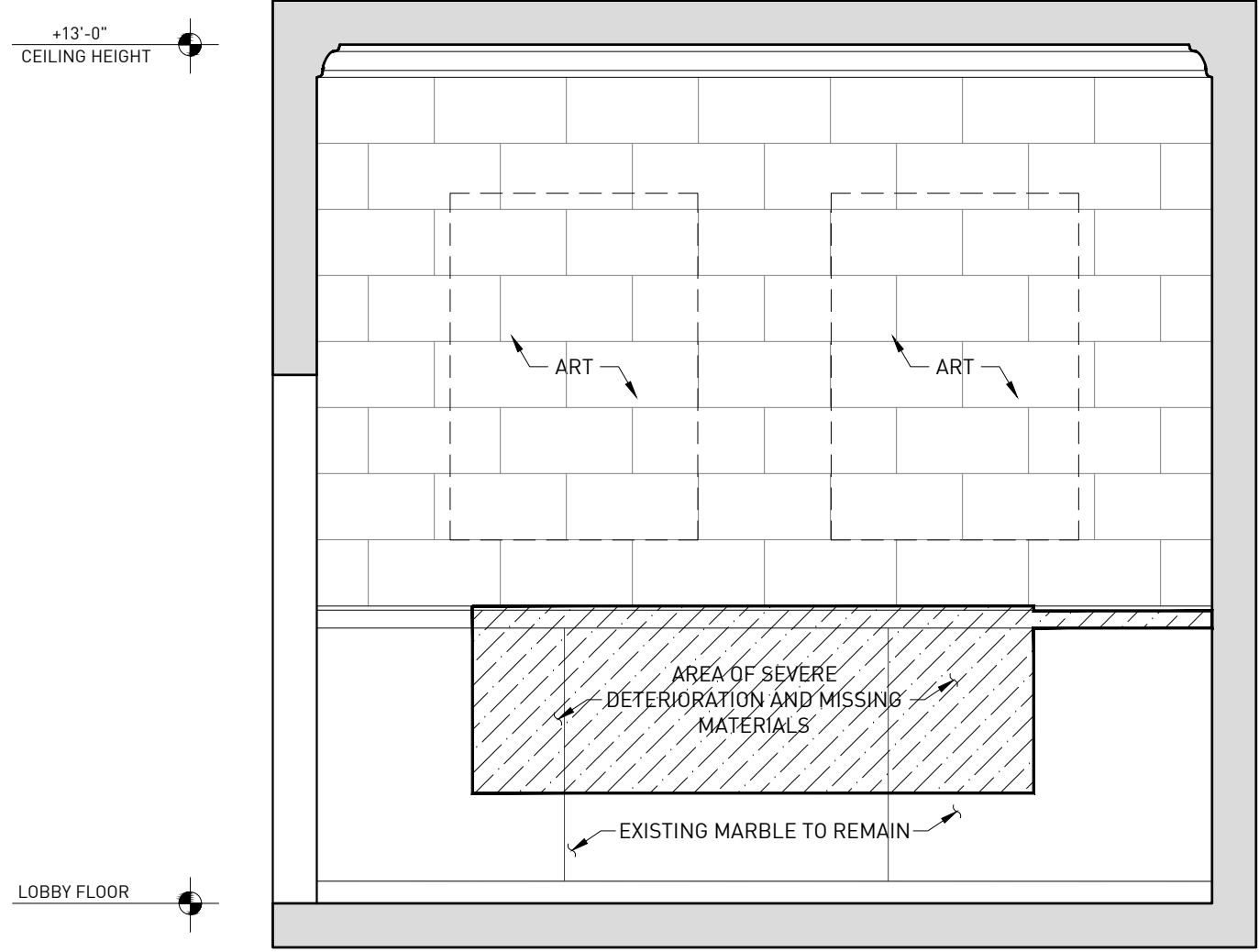
3 INTERIOR ELEVATION  
ORIGINAL DRAWING SCALE: 3/8" = 1'-0"



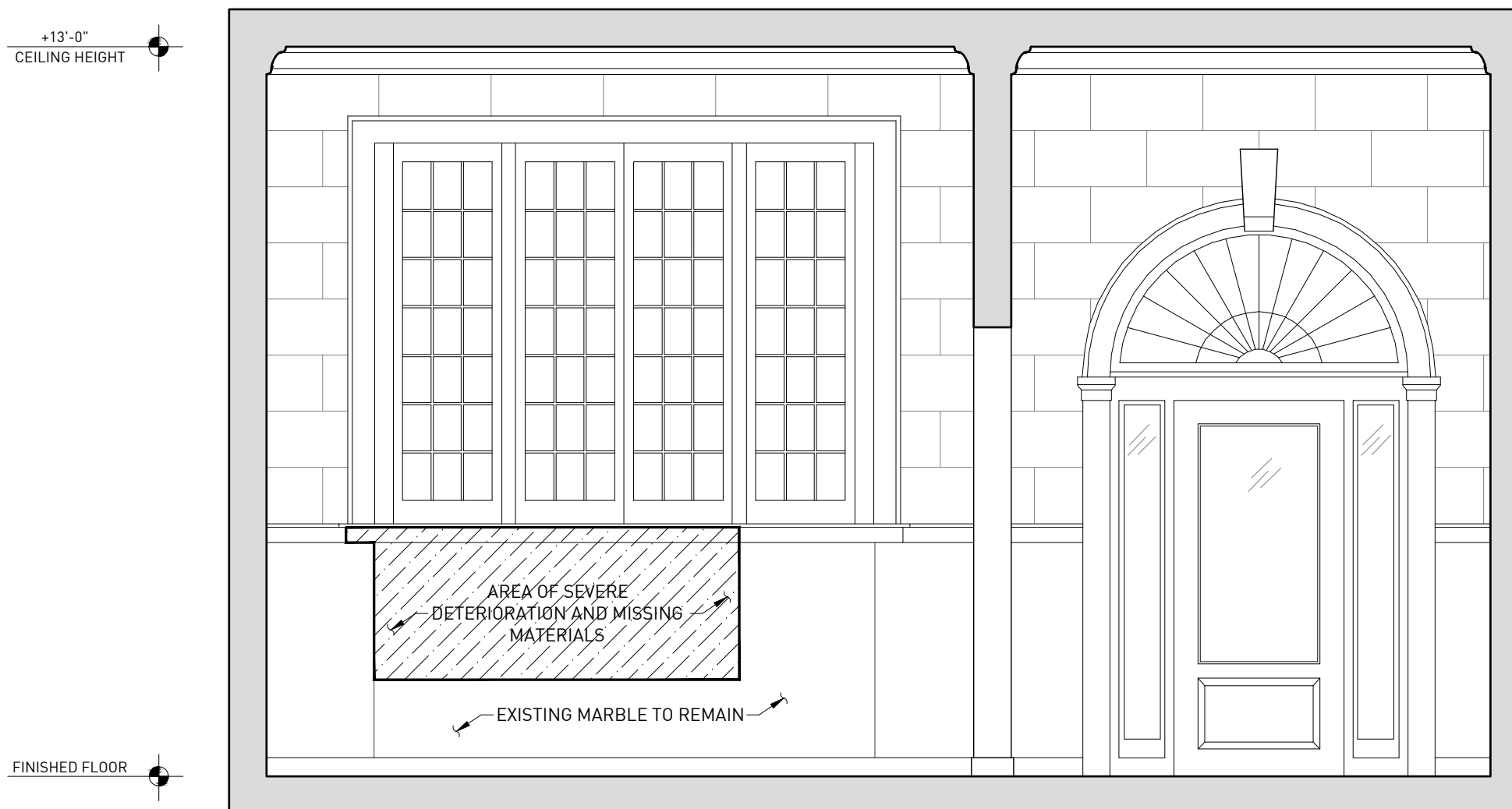
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ORIGINAL DRAWING SCALE: 3/8" = 1'-0"



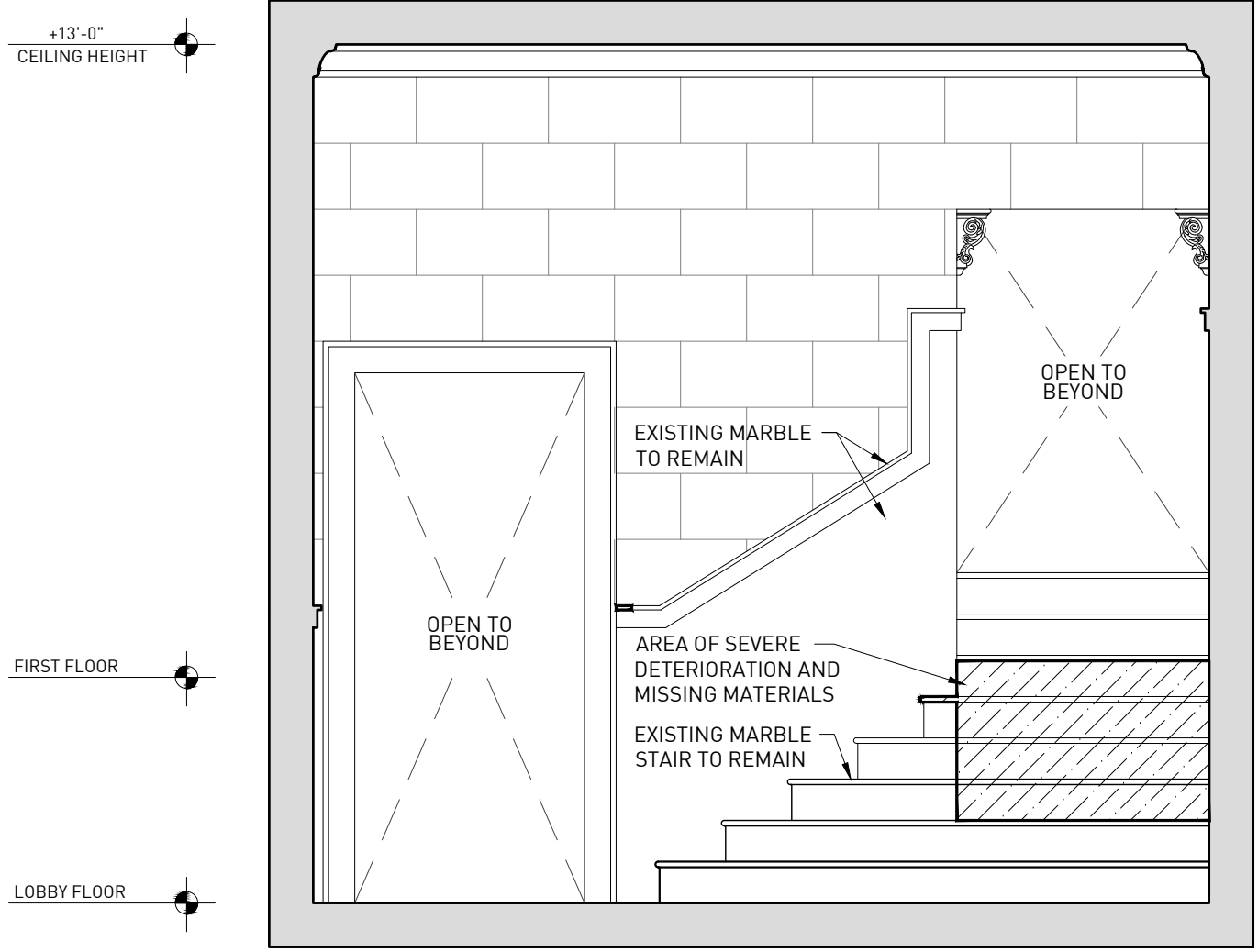
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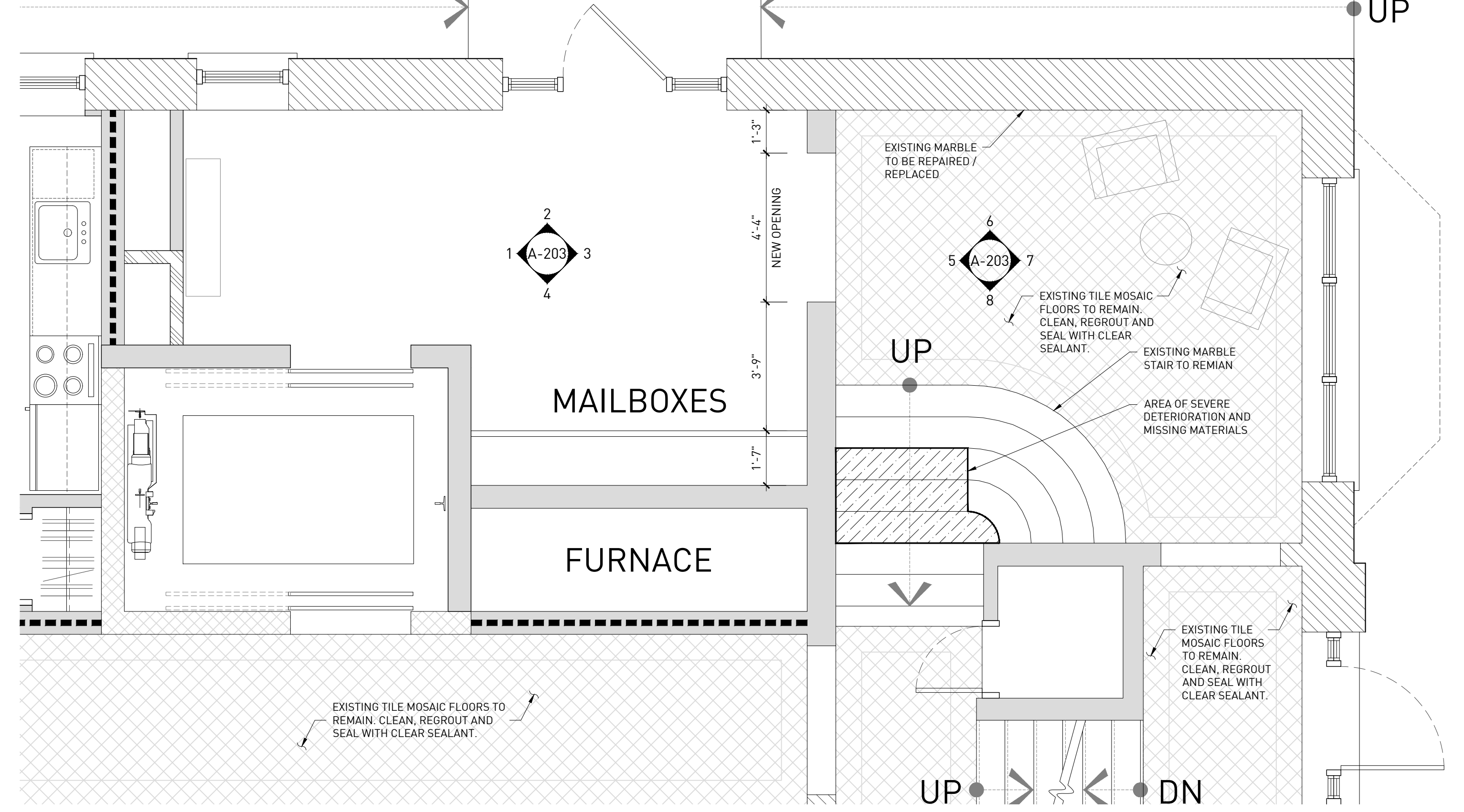
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ORIGINAL DRAWING SCALE: 3/8" = 1'-0"



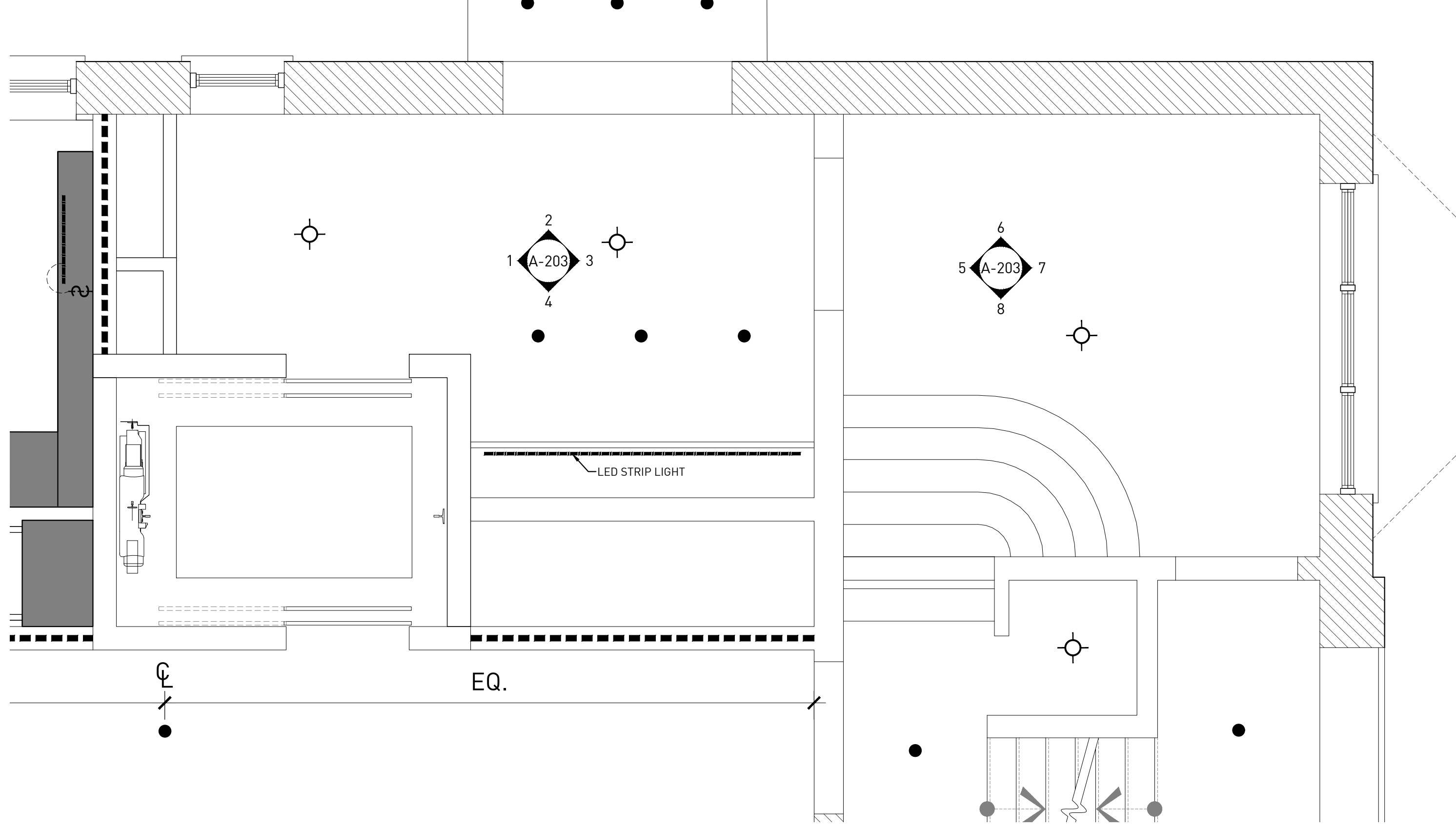
7 INTERIOR ELEVATION  
ORIGINAL DRAWING SCALE: 3/8" = 1'-0"



8 INTERIOR ELEVATION  
ORIGINAL DRAWING SCALE: 3/8" = 1'-0"



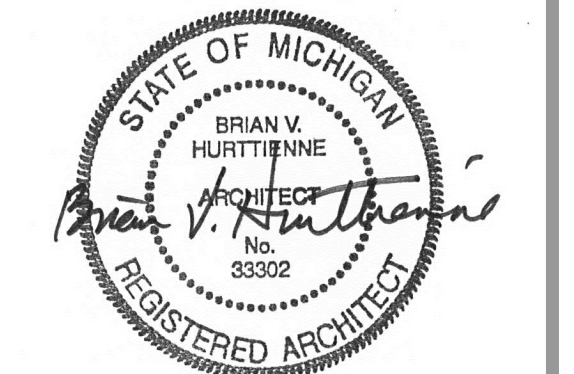
1 ENLARGED ARCHITECTURAL PLAN @ LOBBY  
ORIGINAL DRAWING SCALE: 3/8" = 1'-0"



2 REFLECTED CEILING PLAN @ LOBBY  
ORIGINAL DRAWING SCALE: 3/8" = 1'-0"

BONITA APARTMENTS  
69 SEWARD AVE, DETROIT, MI, 48202  
OWNER REVIEW

REVISIONS	DESCRIPTION	DATE
1	OWNER'S REVIEW	20200225
2	PERMIT REVIEW	20200228



ENLARGED LOBBY PLANS

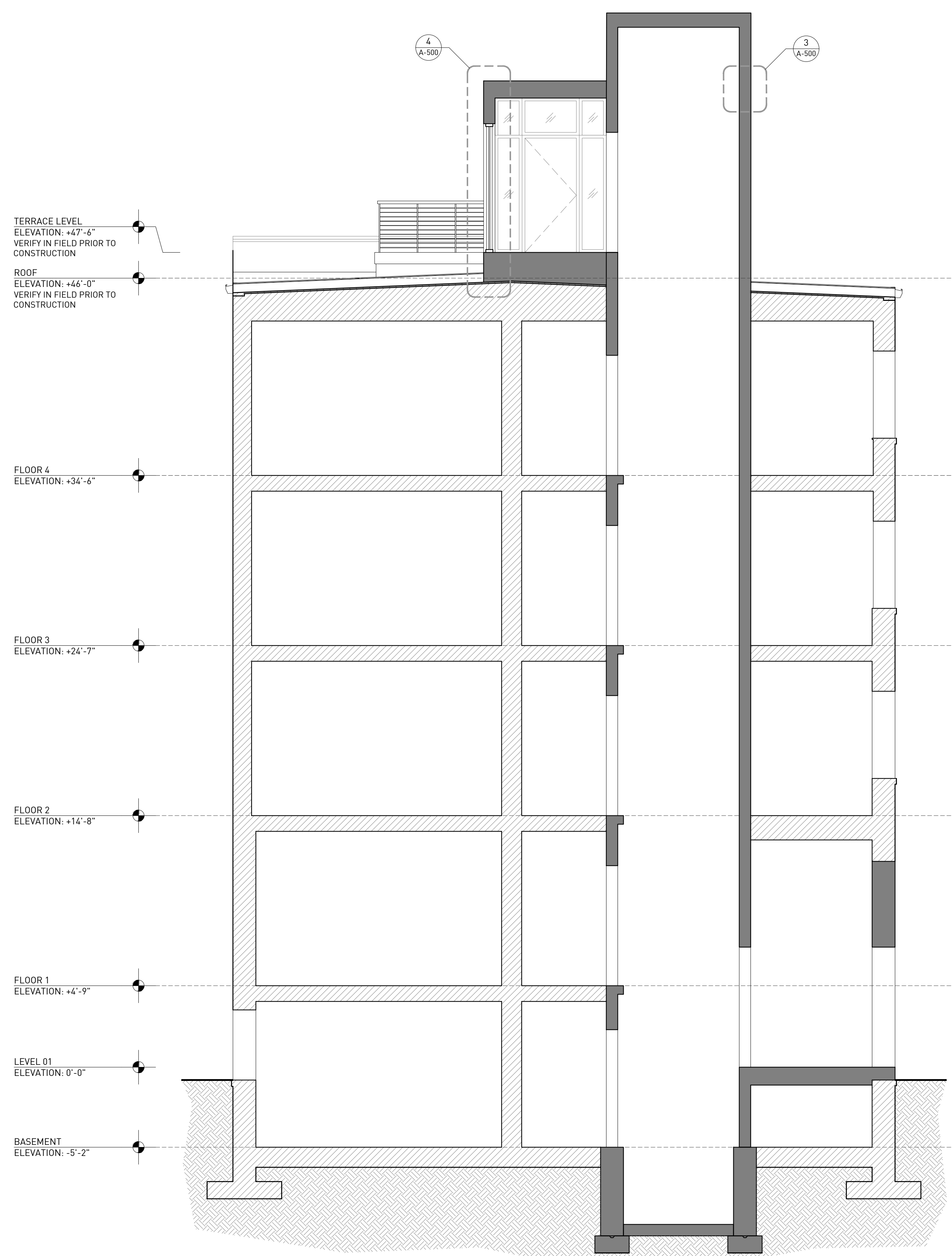
A-202

CONTRACTOR NOTE  
 ALL CONTRACTORS GENERAL CONTRACTOR, SUB-CONTRACTORS, MEMBERS OR AGENTS OF EITHER OR BOTH ARE TO VERIFY AND COORDINATE ALL CONDITIONS, DIMENSIONS, QUANTITIES AND DETAILS, STATED OR NOT, WITHIN THESE DRAWINGS AND WITHIN THE SPECIFICATIONS BEFORE COMMENCING WITH THE WORK. IF A DIMENSIONAL ERROR OR CONFLICT OCCURS BETWEEN THESE DRAWINGS, THE PRICE BEARING ON THE EXACTLY PROPOSED CONDITIONS, IT SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT, BEFORE PROCEEDING WITH THE WORK. ANY DIFFERENTIAL CONTRACTOR, SUB-CONTRACTOR, MEMBER OR AGENTS OF EITHER OR BOTH WHO FAIL TO DO SO TAKE FULL RESPONSIBILITY FOR ANY ERRORS, CONFLICTS, SCHEDULE AND COST IMPLICATIONS.

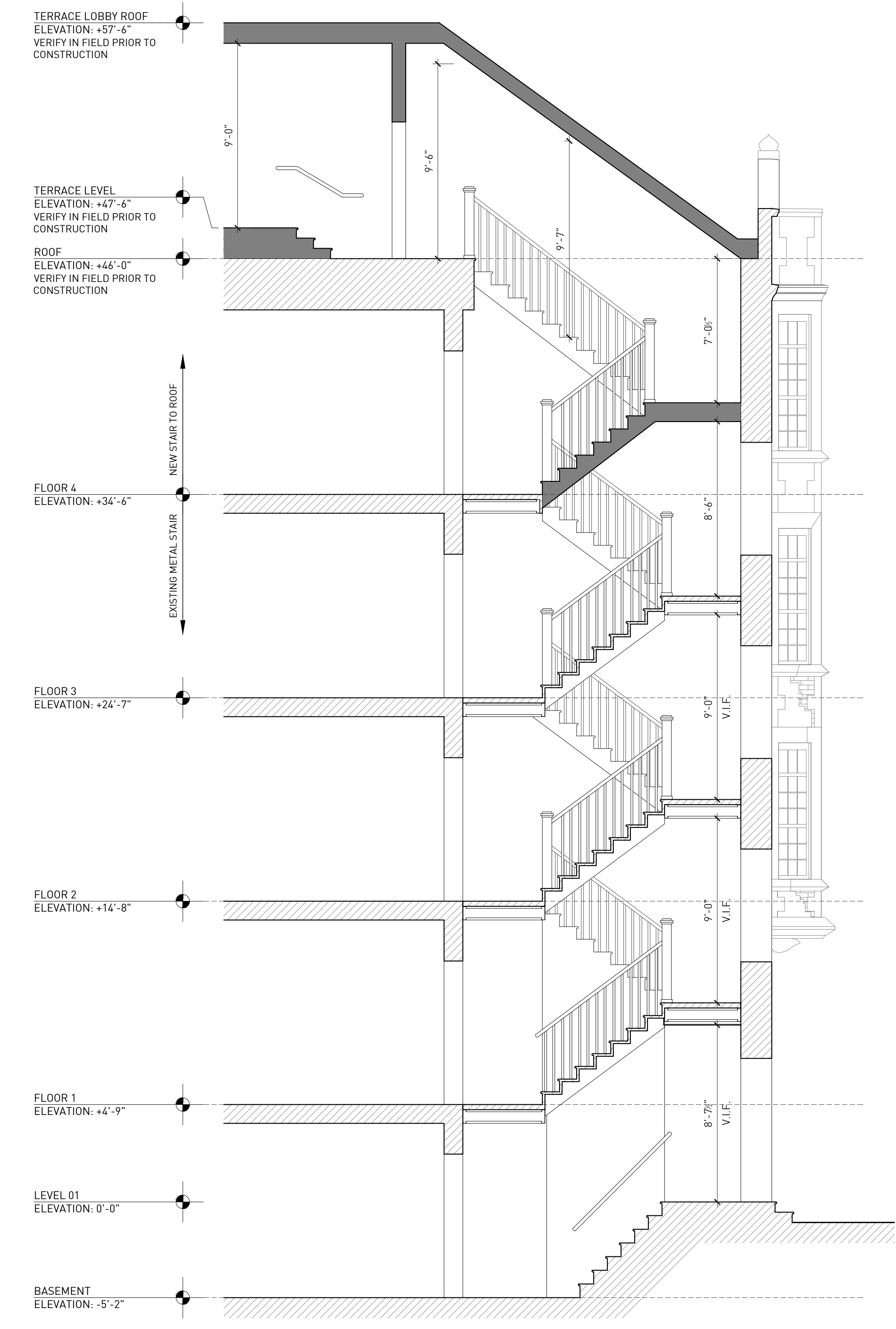
MEP ENGINEER  
  
 4893 Rochester Road, Suite A, Troy, MI 48065  
 313.221.9936 scs@systemsolution.net

STRUCTURAL ENG

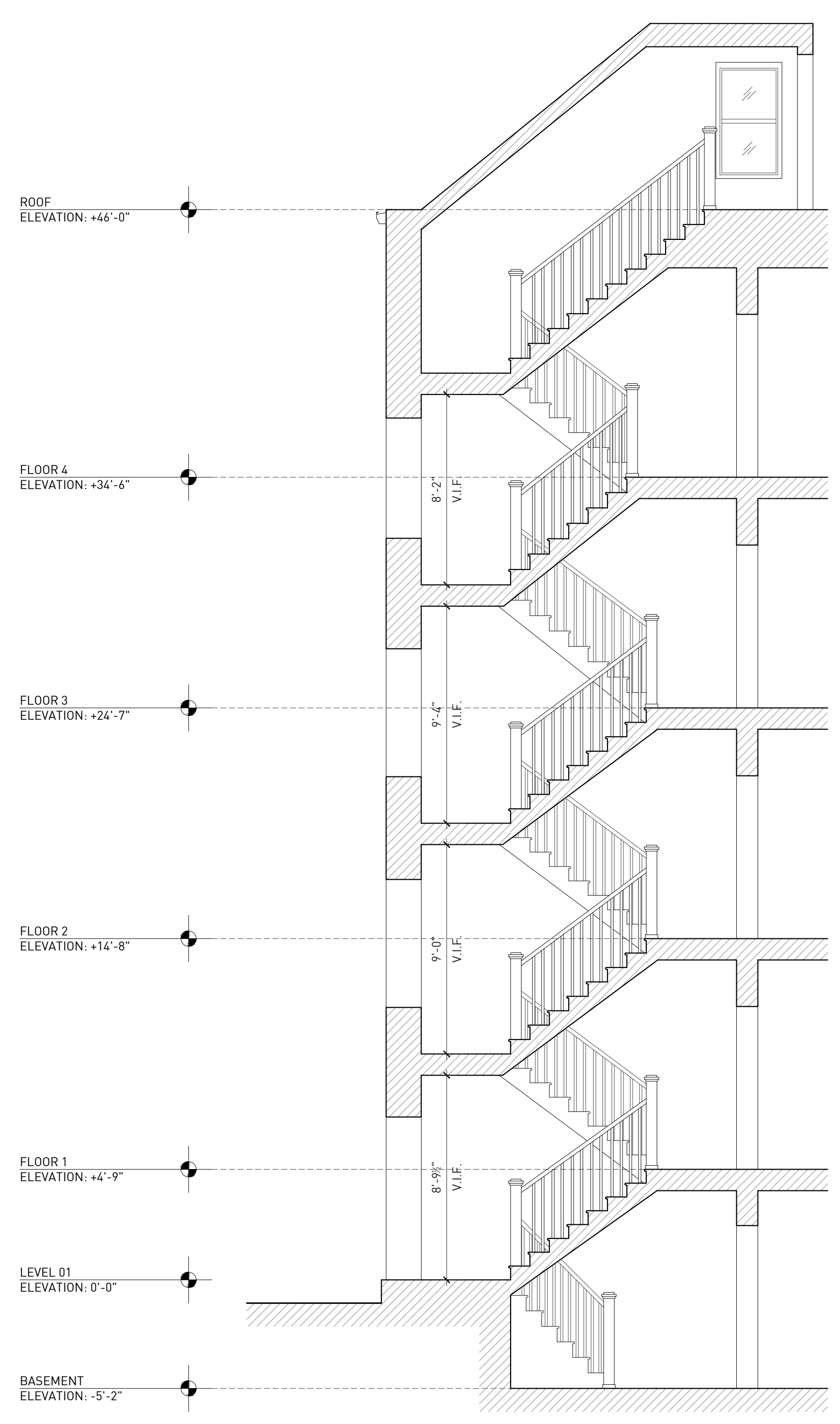
BONITA APARTMENTS  
 69 SEWARD AVE, DETROIT, MI, 48202  
 OWNER REVIEW



1 BUILDING SECTION  
 ORIGINAL DRAWING SCALE: 1/4" = 1'-0"

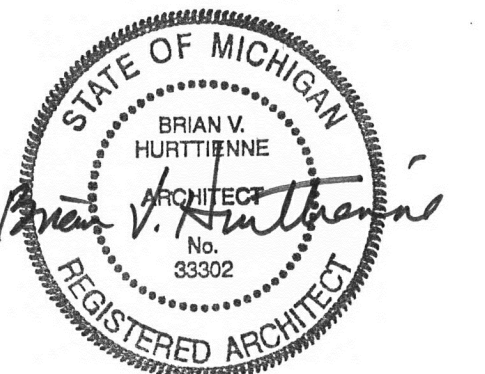


2 FRONT STAIR SECTION  
 ORIGINAL DRAWING SCALE: 1/4" = 1'-0"



3 REAR STAIR SECTION  
 ORIGINAL DRAWING SCALE: 1/4" = 1'-0"

REVISIONS	DESCRIPTION	DATE
1	OWNER'S REVIEW	20200225
2	PERMIT REVIEW	20200228



BUILDING SECTIONS

DRAWING NO. A-300

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MEP ENGINEER  
**SYSTEMS SOLUTION CONSULTANT**  
4893 Rochester Road, Suite A, Troy, MI 48065  
313.221.9936 ssc@systemsolution.net

EXISTING ROOF LEVEL  
ELEV. +46'-0" VARIES (ABOVE GRADE)  
VERIFY IN FIELD PRIOR TO CONSTRUCTION

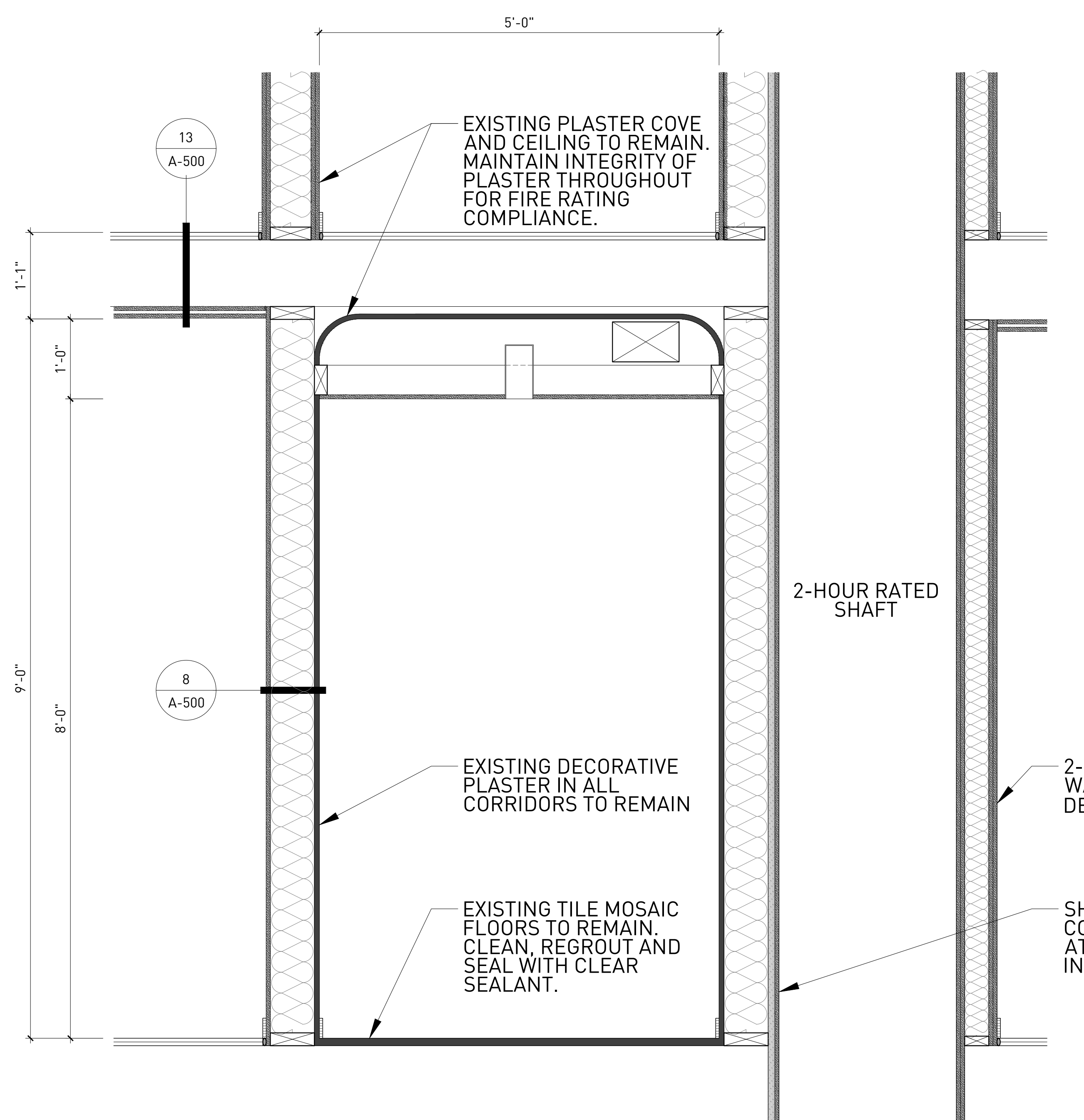
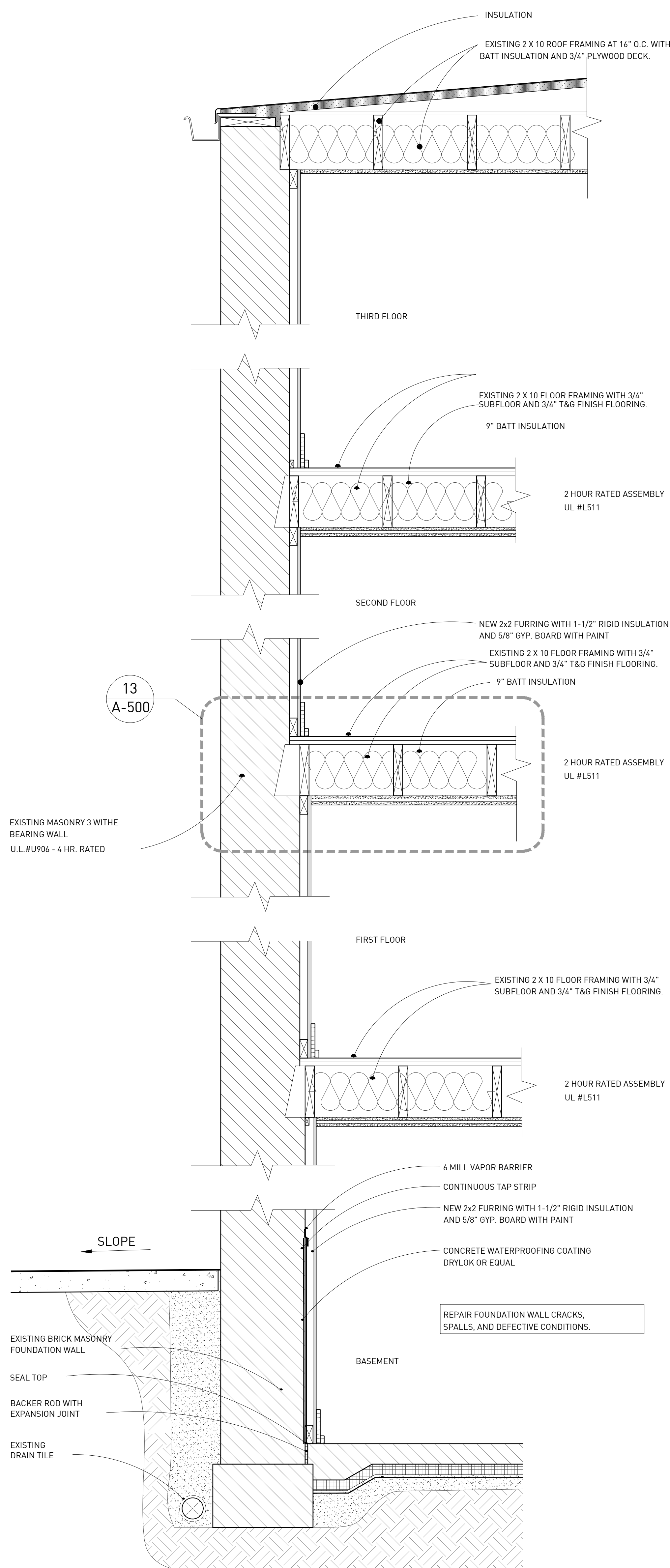
EXISTING THIRD LEVEL  
ELEV. +24'-7" (ABOVE GRADE)  
VERIFY IN FIELD PRIOR TO CONSTRUCTION

EXISTING SECOND LEVEL  
ELEV. +14'-9" (ABOVE GRADE)  
VERIFY IN FIELD PRIOR TO CONSTRUCTION

EXISTING FIRST LEVEL  
ELEV. +4'-9" (ABOVE GRADE)  
VERIFY IN FIELD PRIOR TO CONSTRUCTION

EXISTING GRADE  
ELEV. 0'-0"

EXISTING BASEMENT LEVEL  
ELEV. -5'-2" (BELOW GRADE)  
VERIFY IN FIELD PRIOR TO CONSTRUCTION



1 WALL SECTION  
ORIGINAL DRAWING SCALE: 1" = 1'-0"

2 CORRIDOR SECTION  
ORIGINAL DRAWING SCALE: 1" = 1'-0"

BONITA APARTMENTS  
69 SEWARD AVE, DETROIT, MI, 48202  
OWNER REVIEW

DESCRIPTION	DATE
1. OWNER'S REVIEW	20200225
2. PERMIT REVIEW	20200228



BUILDING SECTIONS

A-301

ALL CONTRACTORS GENERAL CONTRACTOR, SUB-CONTRACTORS, MEMBERS OR AGENTS OF EITHER OR BOTH ARE TO VERIFY AND CORROBORATE ALL CONDITIONS, DIMENSIONS, QUANTITIES AND DETAILS, STATED OR NOT, WITHIN THESE DRAWINGS AND WITHIN THE SPECIFICATIONS BEFORE COMMENCING WITH THE WORK. IF A DIMENSIONAL ERROR OR CONFLICT OCCURS BETWEEN THESE DRAWINGS, THE SPECIFICATIONS OR THE LATEST REVISION PROPOSED, IT SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT, BEFORE PROCEEDING WITH THE WORK. ANY PARTY GENERAL CONTRACTOR, SUB-CONTRACTOR, MEMBER OR AGENT OF EITHER OR BOTH WHO FAIL TO DO SO SHALL BE RESPONSIBLE FOR ANY ERRORS, CONFLICTS, SCHEDULE AND COST IMPLICATIONS.

MEP ENGINEER  
**SYSTEMS SOLUTION**  
4993 Rochester Road, Suite A, Troy, MI 48065  
313.221.9933; [es@SystemsSolution.net](mailto:es@SystemsSolution.net)

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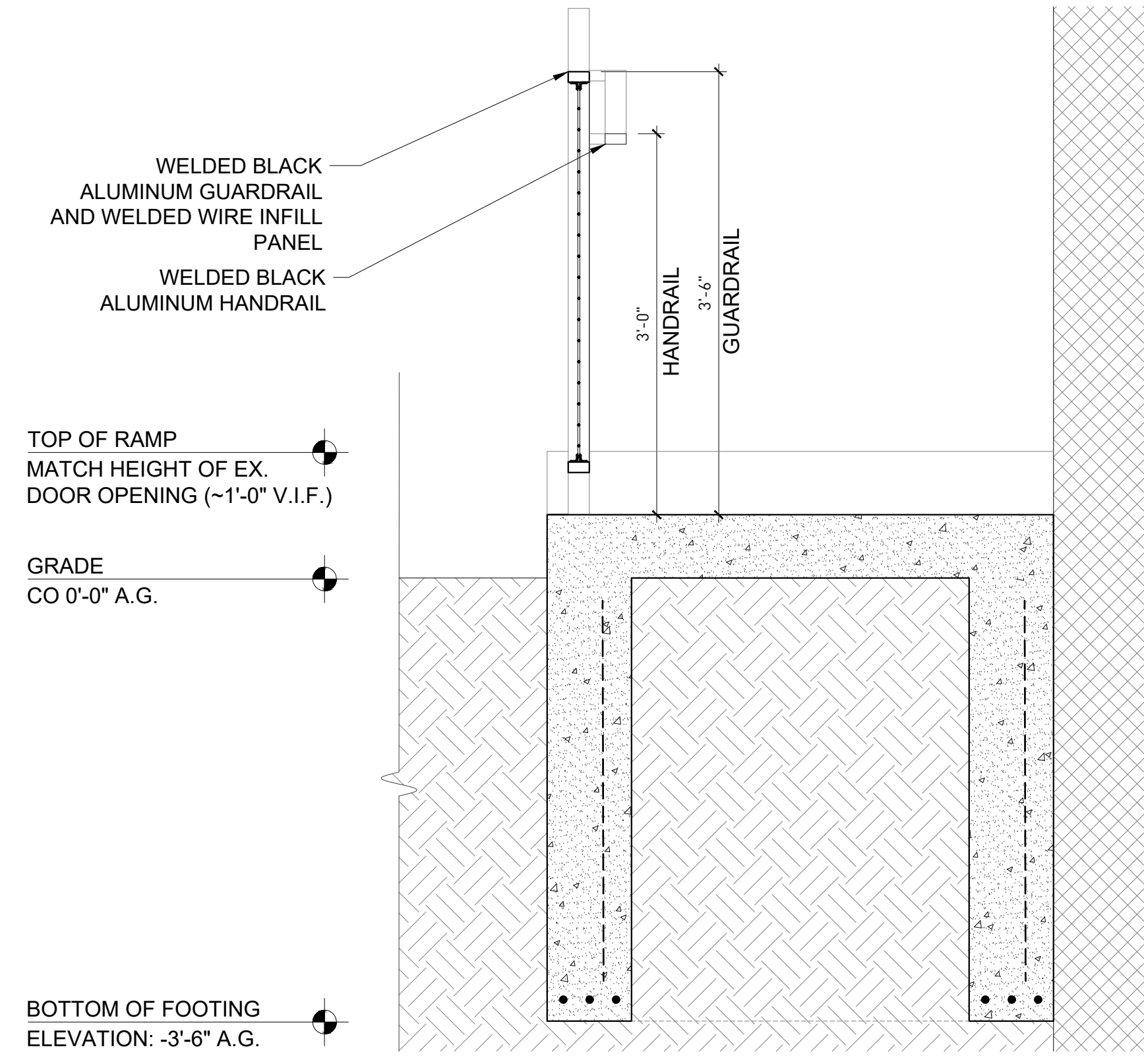
OWNER REVIEW

OWNER REVIEW

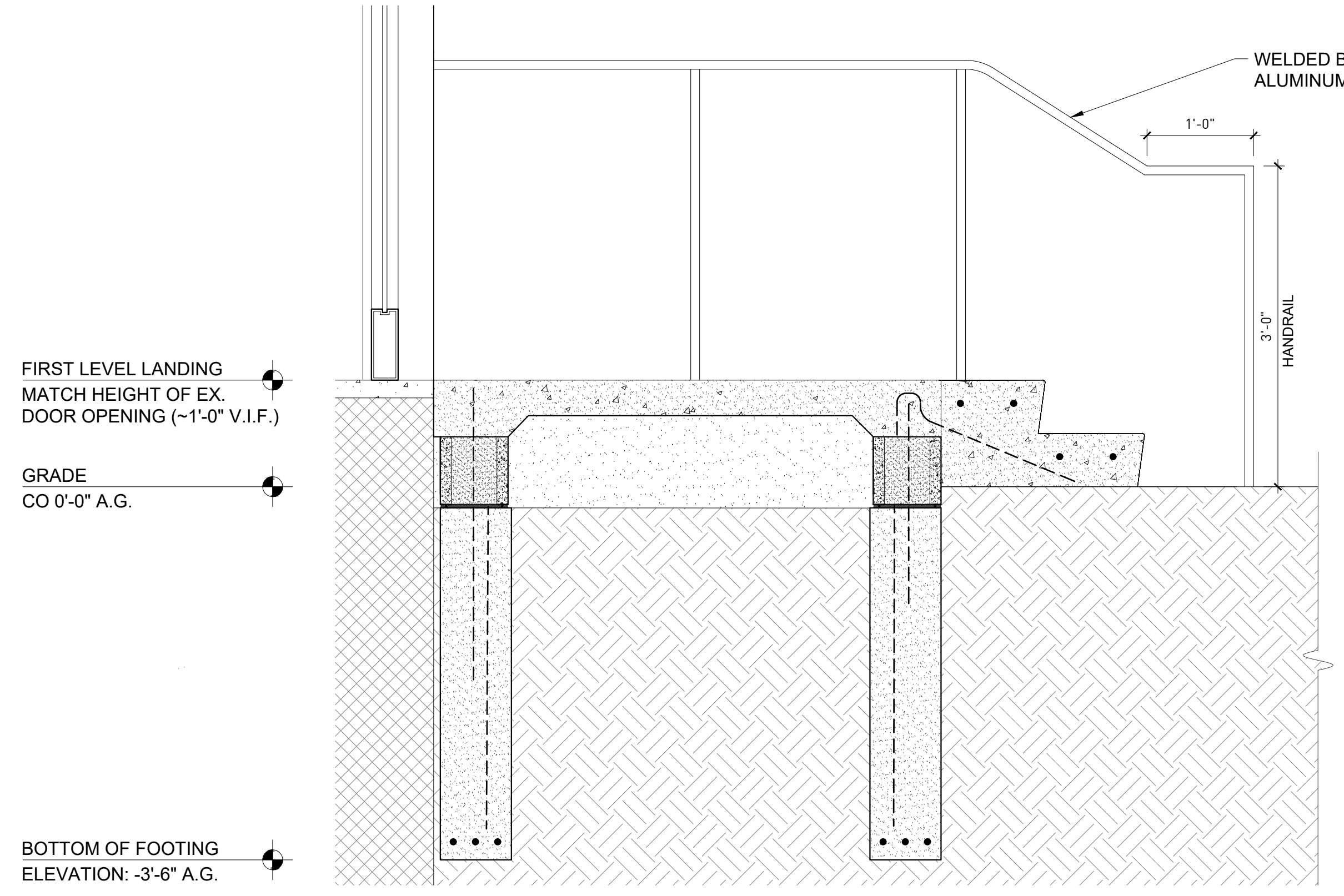
OWNER REVIEW

DETAILS GENERAL NOTES

- IF ANY GENERAL NOTE CONFLICTS WITH ANY DETAIL, OR NOTE ON THE PLANS OR IN THE SPECIFICATIONS, THE STRICTEST PROVISION SHALL GOVERN.
- DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO APPROVAL BY THE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL SAFETY PRECAUTIONS AND REGULATIONS DURING THE WORK.
- ALL ASTM AND OTHER REFERENCES ARE PER THE LATEST EDITIONS OF THESE STANDARDS, UNLESS OTHERWISE NOTED.
- THE ARCHITECT AND ENGINEER ASSUME NO RESPONSIBILITY FOR THE DESIGN OR PROPER INSTALLATION OF TEMPORARY BUILDING BRACING OR SHORING REQUIRED TO COMPLETE THE PROJECT. THE CONTRACTOR AND HIS ENGINEER ARE RESPONSIBLE FOR THE DESIGN AND PROPER INSTALLATION OF ALL TEMPORARY SHORING REQUIRED FOR A SAFE AND STRUCTURALLY SOUND PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGES INCURRED DUE TO IMPROPER SHORING AND BRACING DURING THE CONSTRUCTION PROJECT.
- WHERE A NEW ASSEMBLY IS TO COORDINATE WITH AN EXISTING ASSEMBLY, MAKE ALL NECESSARY PREPARATIONS TO ENSURE SMOOTH, CONSISTENT AND UN-NOTICABLE FINISH ACROSS ENTIRE SURFACE.
- ALL LOCATIONS OF CEMENTITIOUS TILE BACKER BOARD ARE TO BE COORDINATED WITH THE OWNER AND SCHEDULED WALL ASSEMBLY. MAINTAIN ALL REQUIRED FIRE RATINGS ACCORDING TO WALL ASSEMBLY DETAILS, ASSOCIATED UL RATINGS AND SPECIFICATIONS.
- GENERAL CONTRACTOR PROVIDE BLOCKING WHERE REQUIRED TO SUPPORT MILLWORK, EQUIPMENT OR OTHER FINISHES.



1 ADA RAMP SECTION DETAIL  
ORIGINAL IMAGE SCALE: 1" = 1'-0"



2 FROST SLAB DETAIL  
ORIGINAL IMAGE SCALE: 1" = 1'-0"

001 ROOF ASSEMBLY

- CERTAINTEED 3-TAB INDEPENDENT SERIES; 25 YEAR WARRANTY ASPHALT SHINGLED ROOF. PROVIDE STANDARD COLORS FOR SELECTION.
- INSTALL CONTINUOUS RIDGE VENT, CONTINUOUS 'EDGE' VENT (INSTALL PER MANUFACTURER'S INSTALLATION INSTRUCTIONS) AND CONTINUOUS ALUMINUM DRIP EDGES (BLACK) AT ALL ROOF EDGES.
- INSTALL ALUMINUM STEP FLASHING AT ALL INTERSECTIONS WITH OTHER BUILDING ELEMENTS, IF APPLICABLE.
- 15 LB BITUMINOUS ROOFING FELT.
- CONTINUOUS 3" WIDE STRIP OF ICE AND WATER SHIELD AT ALL EAVE CONDITIONS AND IN ALL VALLEYS (IF APPLICABLE) AT ALL EAVE CONDITIONS. INSTALL NO LESS THAN 2'-0" (MEASURED HORIZONTALLY) BEYOND THE INTERIOR FACE OF THE FINISHED WALL ASSEMBLY / FACE OF WORK ZONE, PER CODE.
- 5/8" APA RATED ROOF SHEATHING, REFER TO STRUCTURAL DRAWINGS. PROVIDE BRACING CLIPS AT EVERY RAFTER BAY.
- SCHEDULED ROOF JOISTS / RAFTERS / TRUSSES - REFER TO STRUCTURAL PLANS.
- R-30 (MINIMUM) CRAFT FACED FIBERGLASS BATT INSULATION, PER SPECIFICATION, CONTINUOUS WITHIN EACH JOIST / RAFTER / TRUSS CAVITY. INSTALL PRE-MANUFACTURED VENTILATION TROUGH IN EACH CAVITY TO PROVIDE UN-IMPEDED AIR FLOW FROM EDGE VENT TO RIDGE VENT.
- (1) LAYER 5/8" GYPSUM BOARD (CEILING RATED), SEE SPECIFICATIONS.

002 CEILING ASSEMBLY - REFER TO ARCHITECTURAL, STRUCTURAL, AND CEILING PLANS. PROVIDE 5/8" GYPSUM BOARD (CEILING RATED), SEE SPECIFICATIONS.

SOFFIT  
ELEVATION: +4'-6" (ABOVE GRADE)  
VERIFY IN FIELD PRIOR TO CONSTRUCTION

- PRE-FINISHED FIBER CEMENT FASCIA. PROVIDE CLOSURE BACK TO WALL ASSEMBLY.
- 2 COATS EXTERIOR GRADE PAINT OVER 'TOUGHROCK SETTING COMPOUND' OR EQUAL.
- SCHEDULED HEADER - REFER TO STRUCTURAL PLANS
- INSTALL PRE-FINISHED METAL "Z" FLASHING AT HEAD OR WINDOW TRIM BEHIND LAP SIDING.

003 FIBER CEMENT WALL ASSEMBLY (EXT. TO INT.)

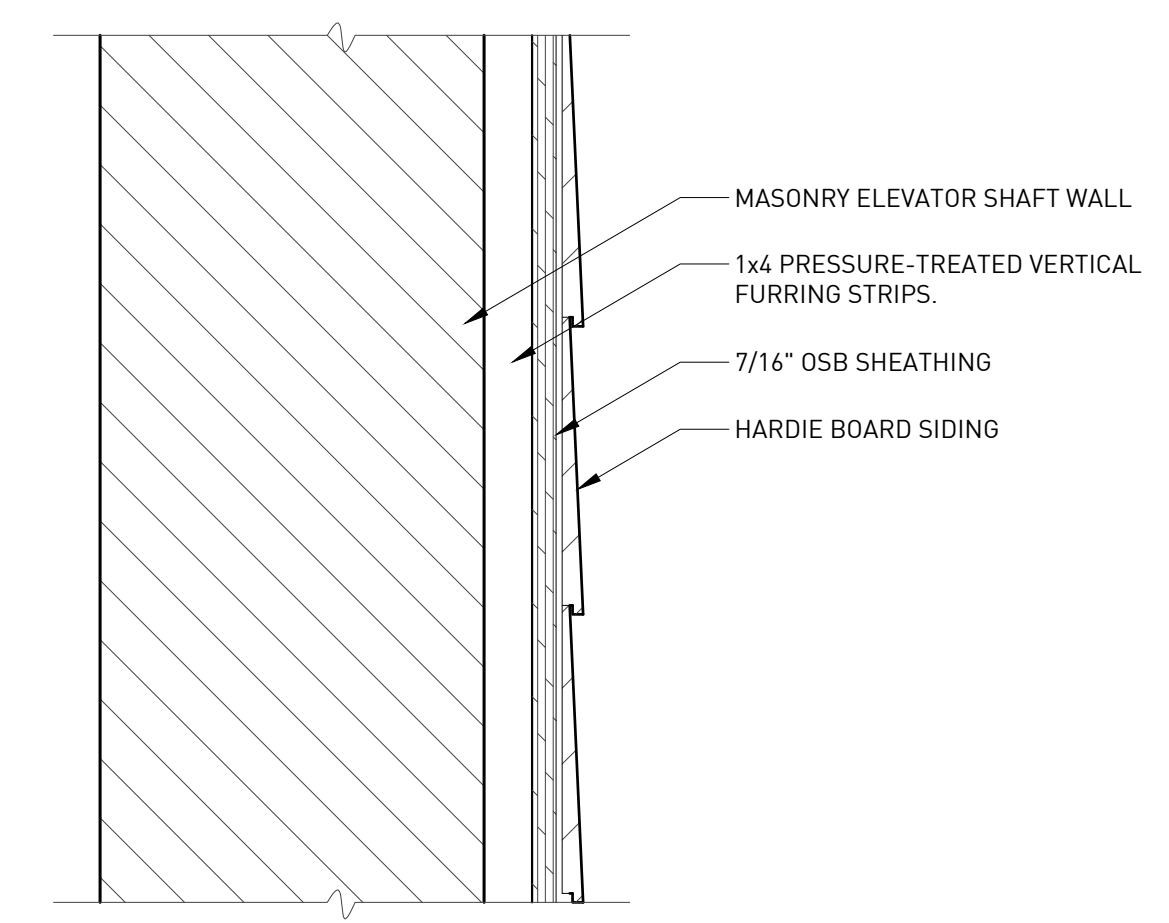
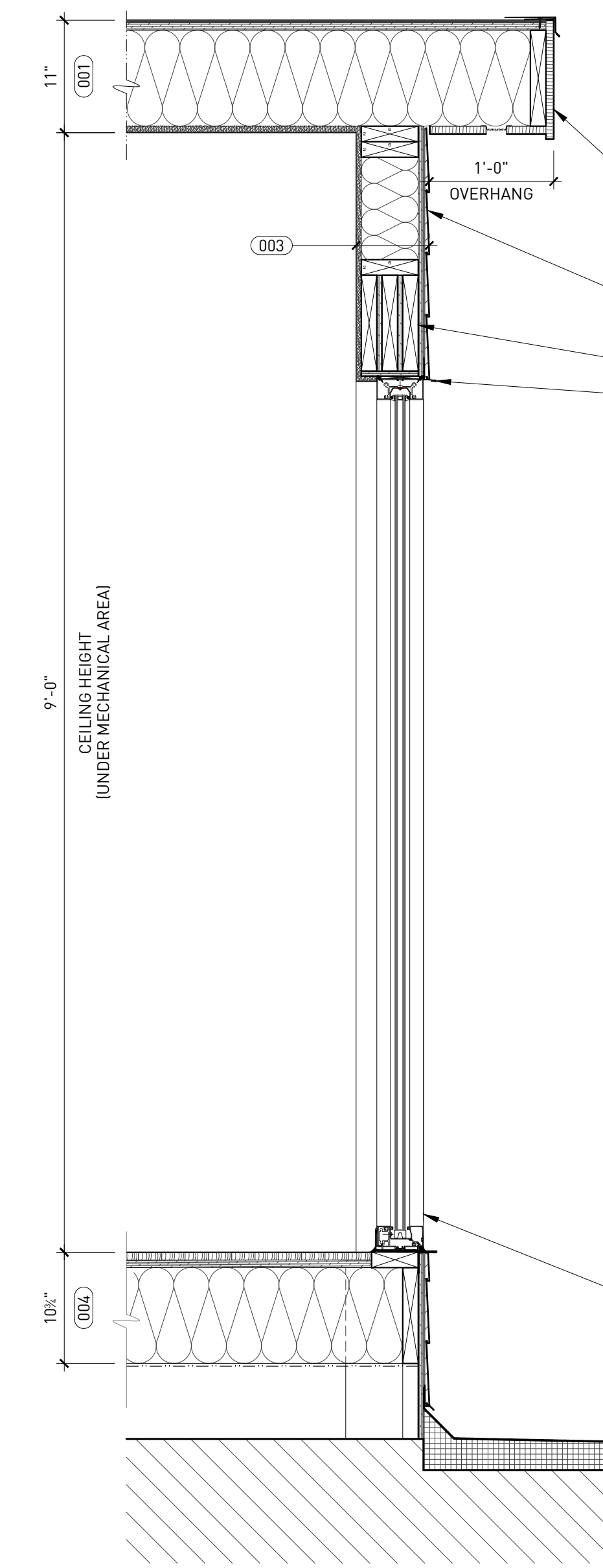
- PRE-FINISHED FIBER CEMENT LAP SIDING - SMOOTH WITH 6" EXPOSURE. INSTALL DOOR AND WINDOW SURROUNDS AS WELL AS CORNER CONDITIONS WITH BREAK METAL TRANSITIONS AND FLASHINGS. COORDINATE CORNER TRANSITIONS, WALL TRANSITIONS, DOOR AND WINDOW DETAILS WITH ARCHITECT. SUBMIT STANDARD COLORS FOR SELECTION.
- TYVEK BUILDING WRAP (OR EQUAL) - TAPE ALL JOINTS AND PENETRATIONS.
- 15/32" EXTERIOR GRADE APA RATED WALL SHEATHING SCREWED TO WALL STRUCTURE WITH APPROVED #8 DECK SCREWS AT 8" O.C. INSTALL SHEATHING WITH FACE GRAIN ACROSS STUDS.
- 2x6 WOOD STUD FRAMING AT 16" O.C. (MINIMUM).
- PRESSURE-TREATED ROUGH SILL. COORDINATE ROUGH OPENING HEIGHT WITH WINDOW SIZE / MANUFACTURER AND SIDING ASSEMBLY. CONSULT ARCHITECT. INSTALL FLEXIBLE FLASHING TO LAP OVER ROUGH SILL AND AROUND ROUGH WINDOW OPENING.
- R21 CRAFT FACED FIBERGLASS BATT INSULATION.
- 1/2" GYPSUM BOARD, PER SPECIFICATIONS.
- 3-1/2" PAINTED MDF BASEBOARD WITH SHOE MOULD (MATCH FLOOR COLOR). PROFILE TO BE DETERMINED.

004 FLOOR ASSEMBLY

- FINISH FLOOR - TO BE DETERMINED, COORDINATE FOR HARDWOOD FLOOR FINISH IN LIEU OF SELECTION.
- 2x2" TONGUE AND GROOVE ADVANTEC ENGINEERED SUBFLOOR OVER CONSTRUCTION ADHESIVE OVER EVERY JOIST. PROVIDE EXPANSION SPACING BETWEEN PANELS PER MANUFACTURER'S INSTALLATION DIRECTIONS AND INDUSTRY STANDARDS. USE APPROVED #8 DECK SCREWS AT 8" O.C. INSTALL DECKING WITH FACE GRAIN ACROSS JOISTS.
- SCHEDULED WOOD FLOOR JOISTS AT 16" O.C. REFER TO STRUCTURAL PLANS.
- 2x4 PRESSURE-TREATED SILL PLATE WITH SIMPSON STRONG-TIE #H4 AT JOISTS AND #153436 AT CORNERS. OVER SILL SEALER. SECURE TO FOUNDATION WALL WITH NUT AND WASHER OVER 1/2" DIAMETER #18" ANCHOR BOLTS AT 6" O.C. INTO SOLIDLY GROUTED CMU CELLS, NOT MORE THAN 12" OR LESS THAN SEVEN (7) BOLT DIAMETERS FROM EACH END OF ALL SILL PLATES.
- PROVIDE MINIMUM R-30 FACED FIBERGLASS BATT INSULATION OVER ENTIRE COLD ZONE.
- 6 MIL VAPOR BARRIER - TAPE ALL JOINTS AND PENETRATIONS.

TERRACE LEVEL  
ELEVATION: +4'-6" (ABOVE GRADE)  
VERIFY IN FIELD PRIOR TO CONSTRUCTION

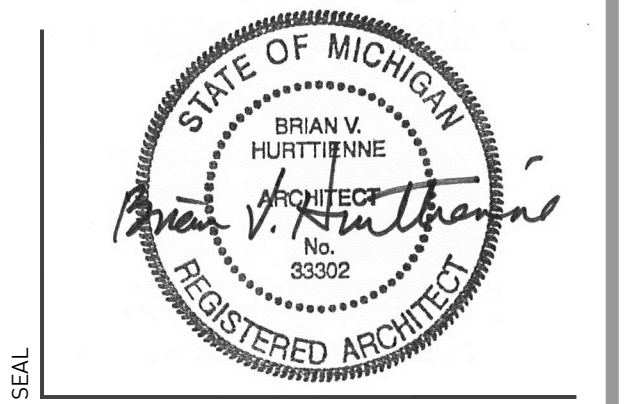
ROOF  
ELEVATION: +4'-6" (ABOVE GRADE)  
VERIFY IN FIELD PRIOR TO CONSTRUCTION



3 RATED FLOOR PENETRATION  
ORIGINAL IMAGE SCALE: 3" = 1'-0"

4 RATED FLOOR PENETRATION  
ORIGINAL IMAGE SCALE: 1" = 1'-0"

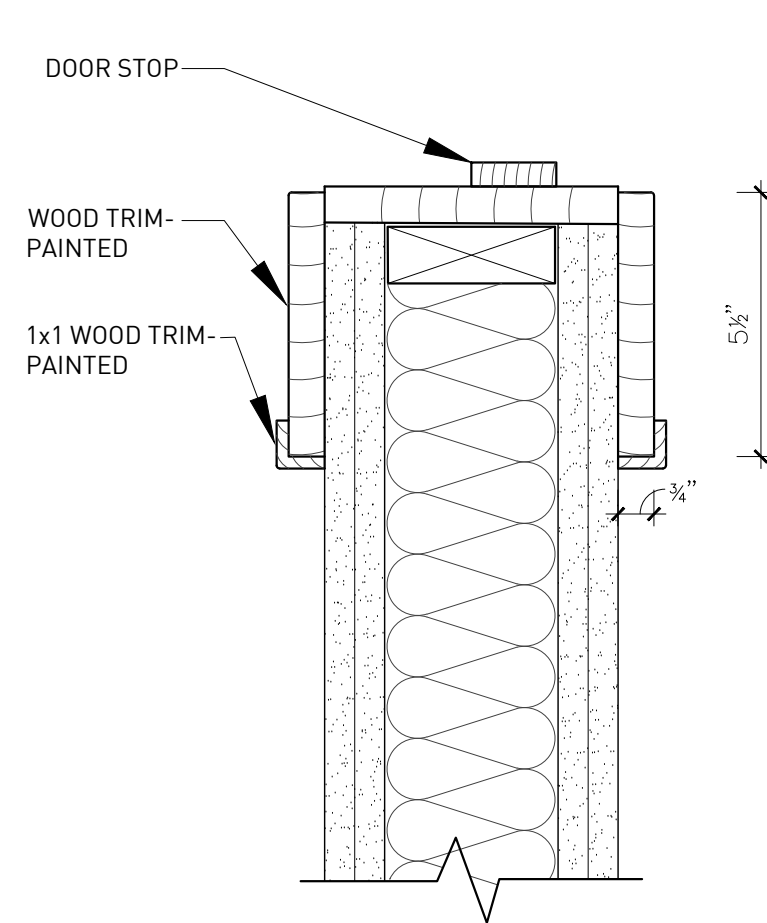
REVISIONS	DESCRIPTION	DATE
1	OWNER'S REVIEW	20200225
2	PERMIT REVIEW	20200228



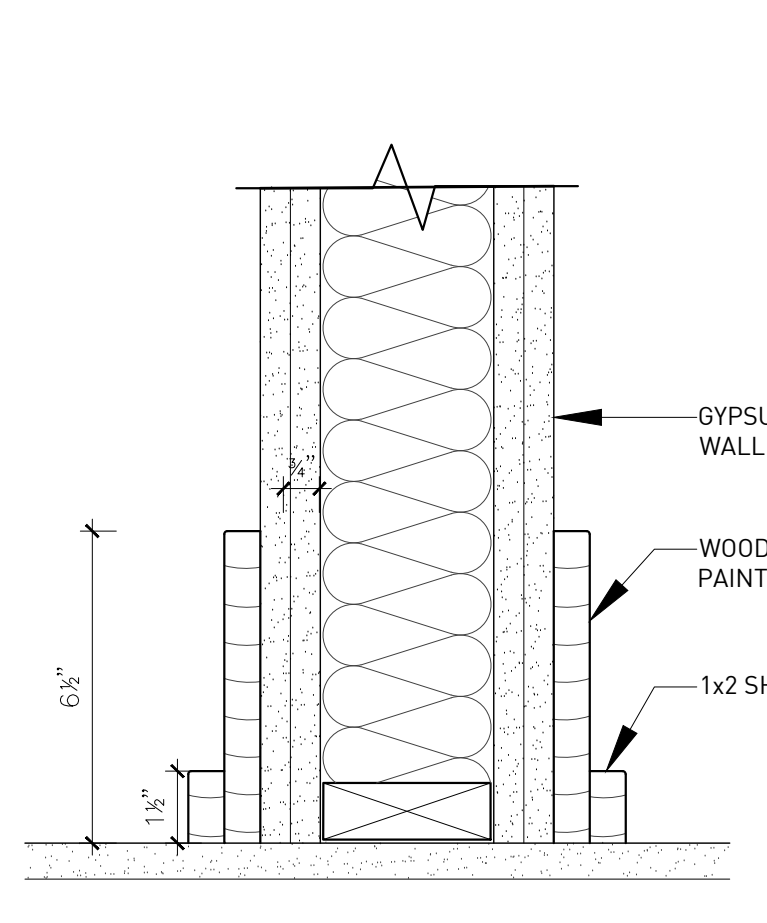
WALL SECTIONS

DETAILS GENERAL NOTES

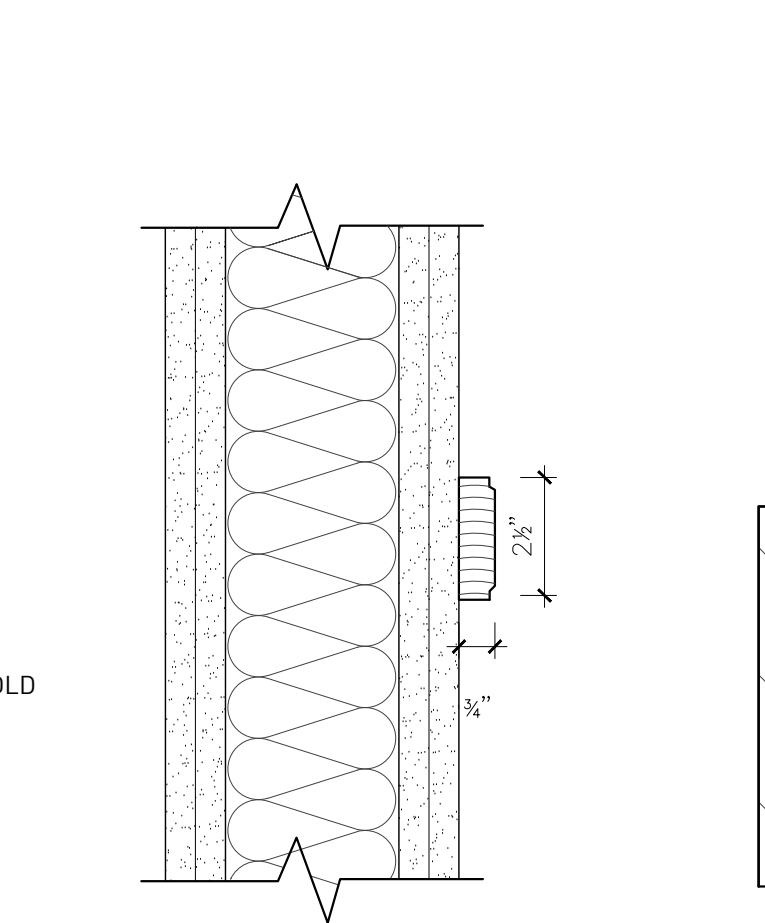
- 1. IF ANY GENERAL NOTE CONFLICTS WITH ANY DETAIL, OR NOTE ON THE PLANS OR IN THE SPECIFICATIONS, THE STRICTEST PROVISION SHALL GOVERN.
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- 7. GENERAL CONTRACTOR PROVIDE BLOCKING WHERE REQUIRED TO SUPPORT MILLWORK, EQUIPMENT OR OTHER FINISHES.



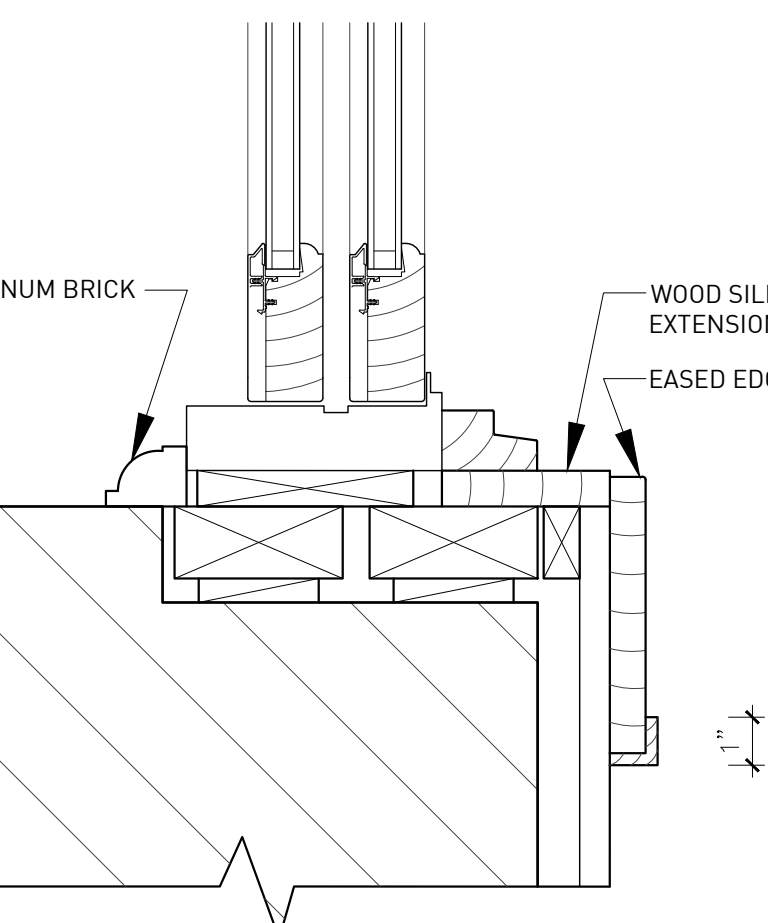
1 DOOR JAMB DETAIL  
ORIGINAL IMAGE SCALE: 3" = 1'-0"



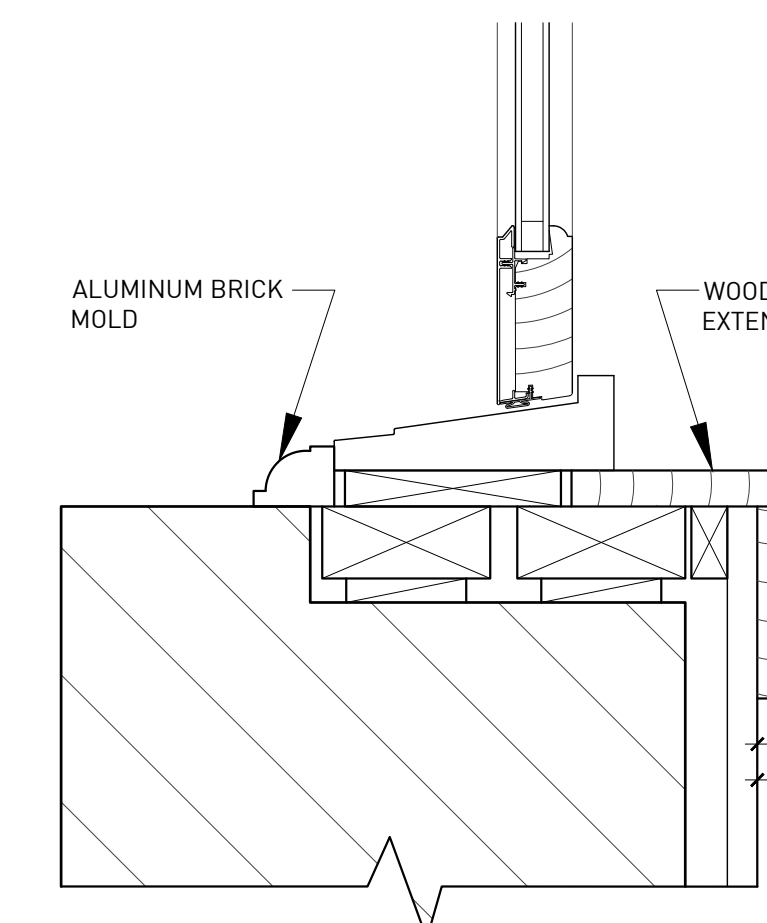
2 BASEBOARD DETAIL  
ORIGINAL IMAGE SCALE: 3" = 1'-0"



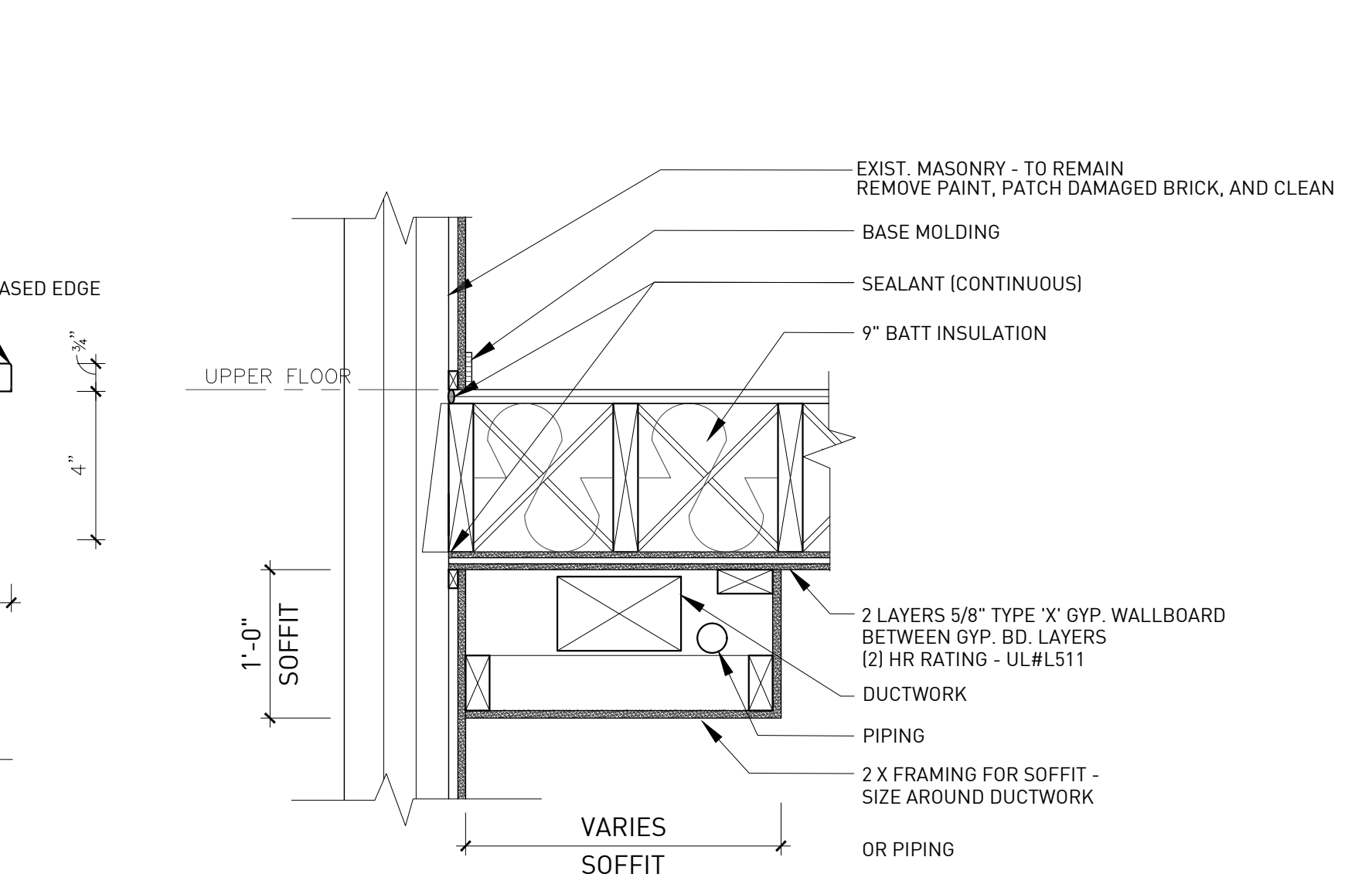
3 CHAIR RAIL TRIM  
ORIGINAL IMAGE SCALE: 3" = 1'-0"



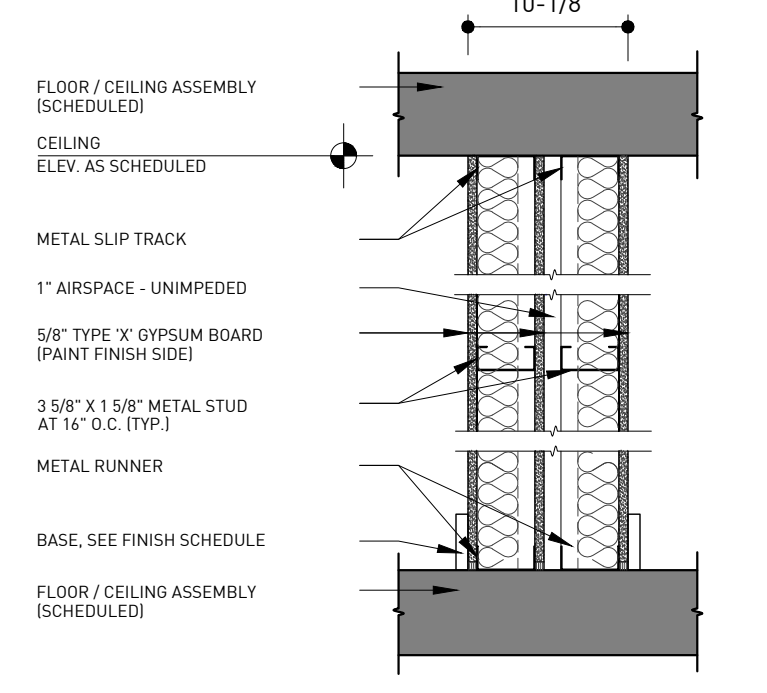
4 WINDOW TRIM DETAIL  
ORIGINAL IMAGE SCALE: 3" = 1'-0"



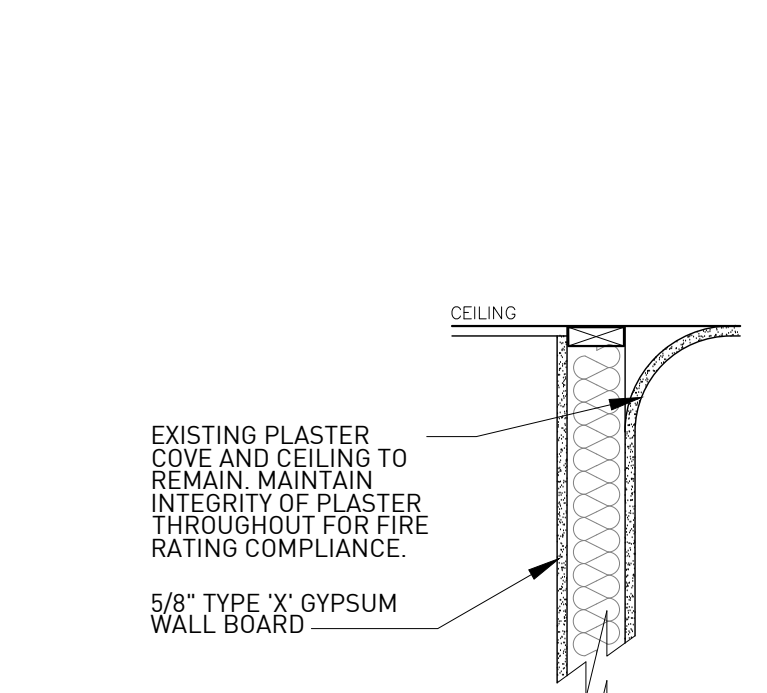
5 WINDOW SILL DETAIL  
ORIGINAL IMAGE SCALE: 3" = 1'-0"



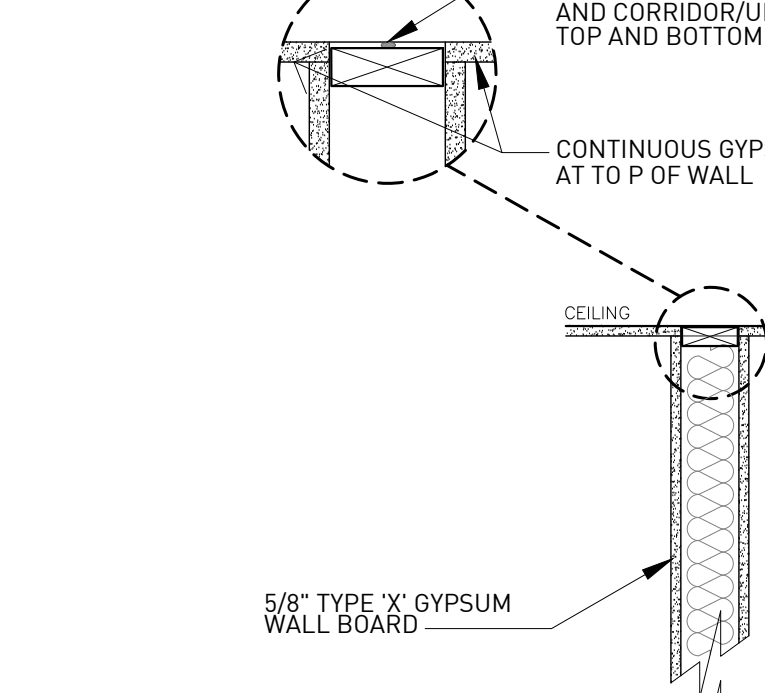
6 INTERIOR SOFFIT  
ORIGINAL IMAGE SCALE: 1" = 1'-0"



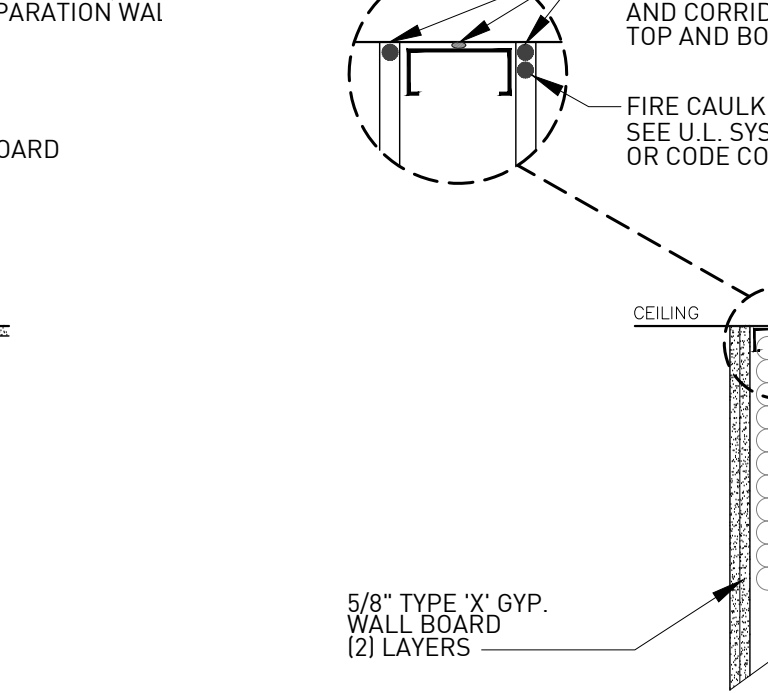
7 UNIT PARTY WALL  
ORIGINAL IMAGE SCALE: 1" = 1'-0"



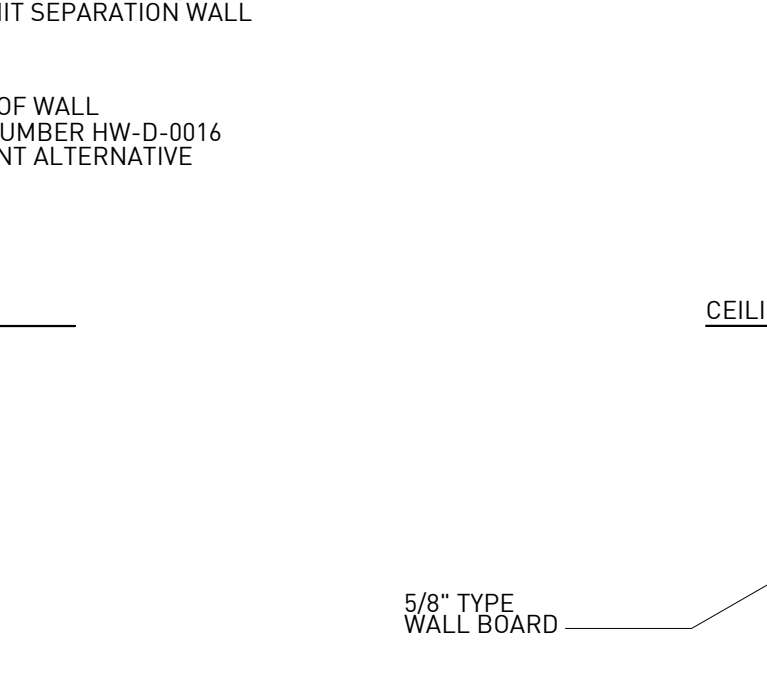
8 RATED CORRIDOR WALL  
ORIGINAL IMAGE SCALE: 1" = 1'-0"



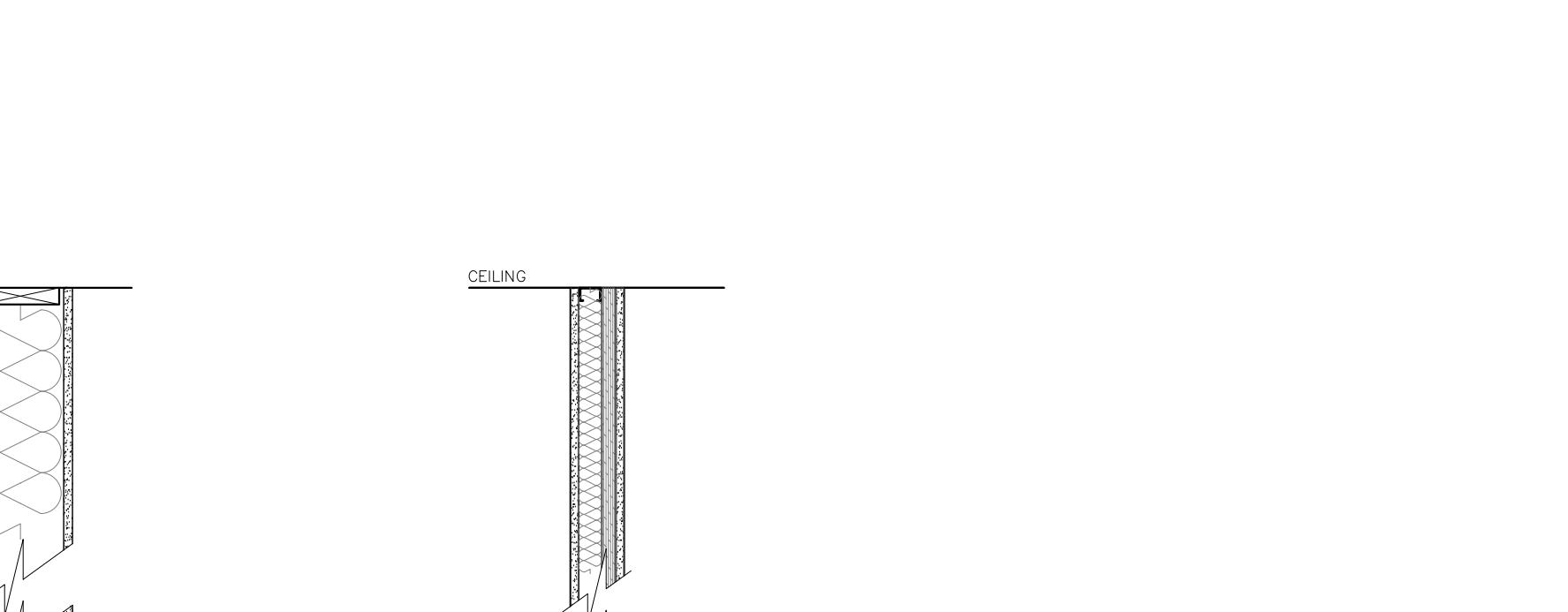
9 RATED INTERIOR WALL  
ORIGINAL IMAGE SCALE: 1" = 1'-0"



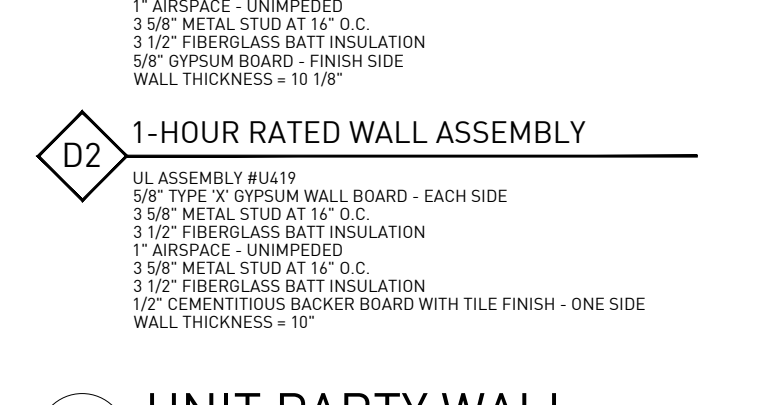
10 RATED INTERIOR WALL  
ORIGINAL IMAGE SCALE: 1" = 1'-0"



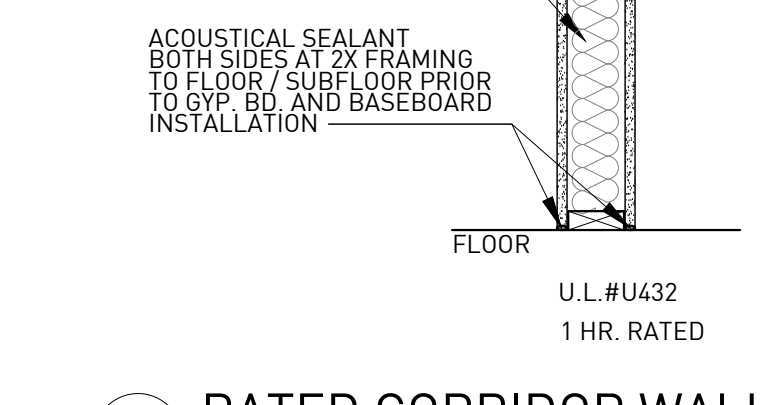
11 PLUMBING WALL  
ORIGINAL IMAGE SCALE: 1" = 1'-0"



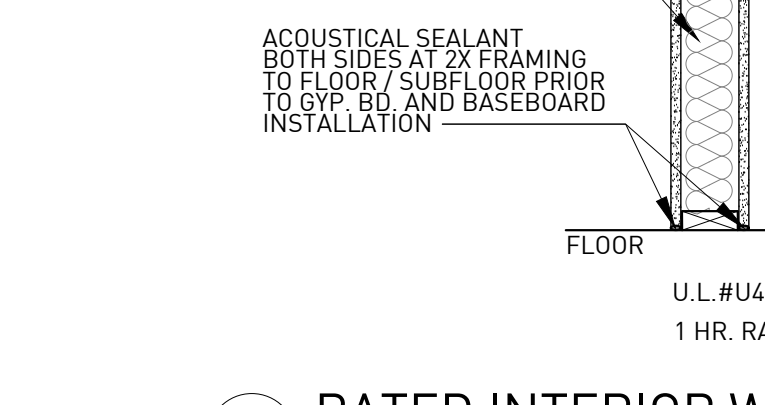
12 SHAFT WALL  
ORIGINAL IMAGE SCALE: 1" = 1'-0"



13 NEW INTERIOR WALL  
ORIGINAL IMAGE SCALE: 1" = 1'-0"



14 RATED INTERIOR FLOOR SYSTEM  
ORIGINAL IMAGE SCALE: 1" = 1'-0"



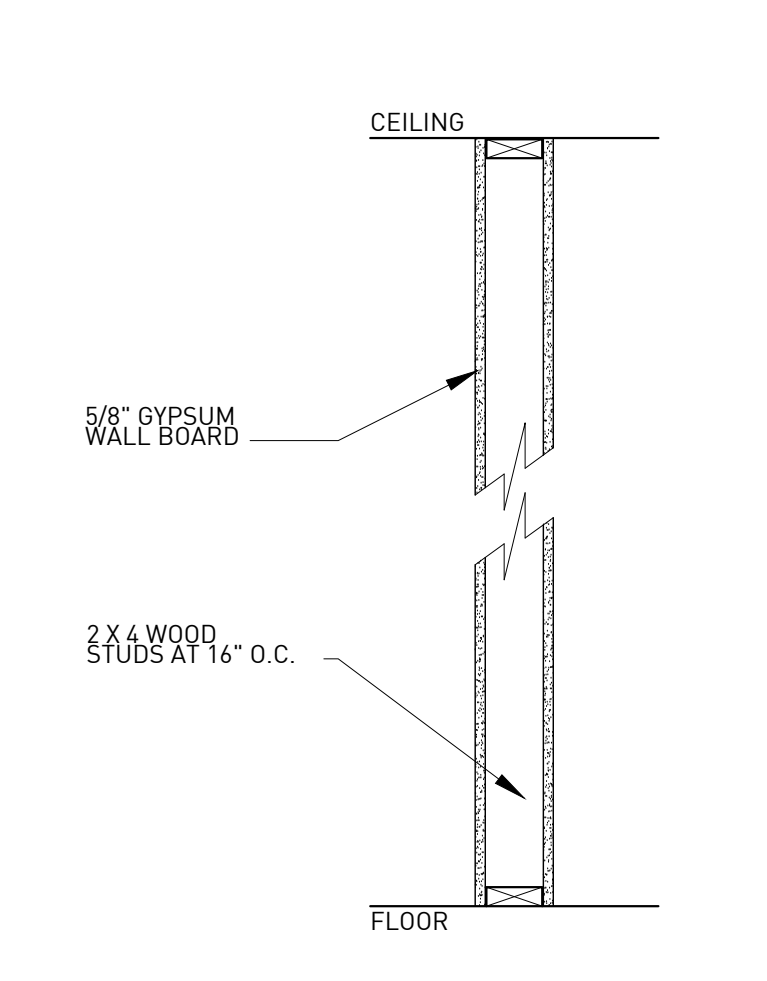
15 RATED FLOOR PENETRATION  
ORIGINAL IMAGE SCALE: 1" = 1'-0"



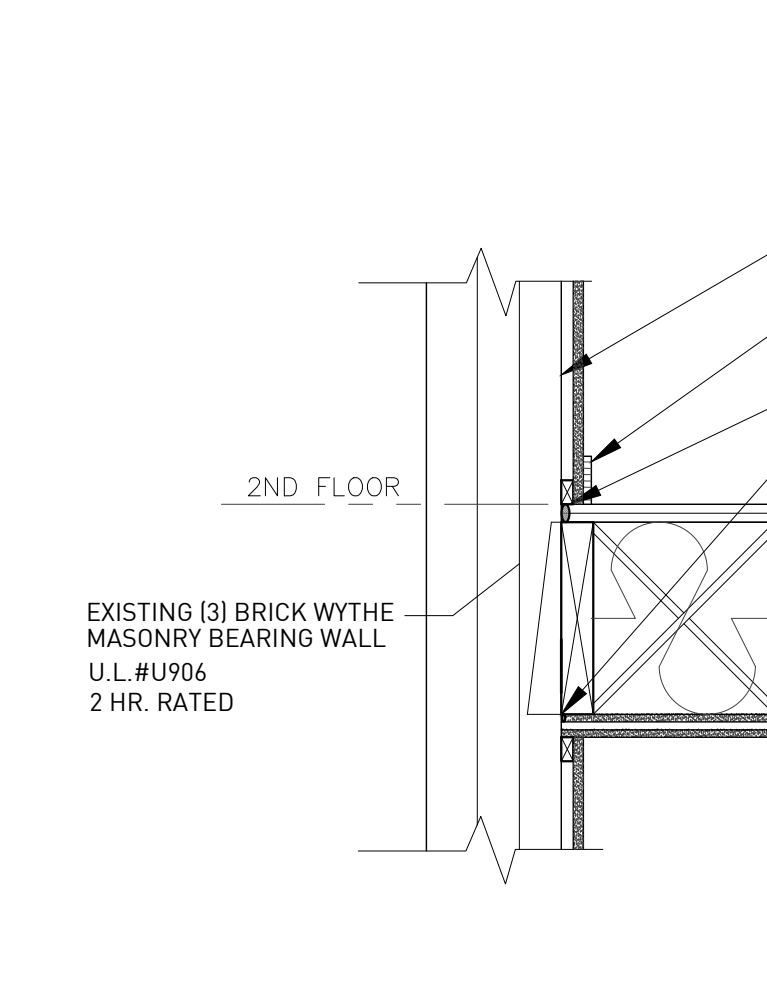
16 RATED FLOOR PENETRATION  
ORIGINAL IMAGE SCALE: 1" = 1'-0"



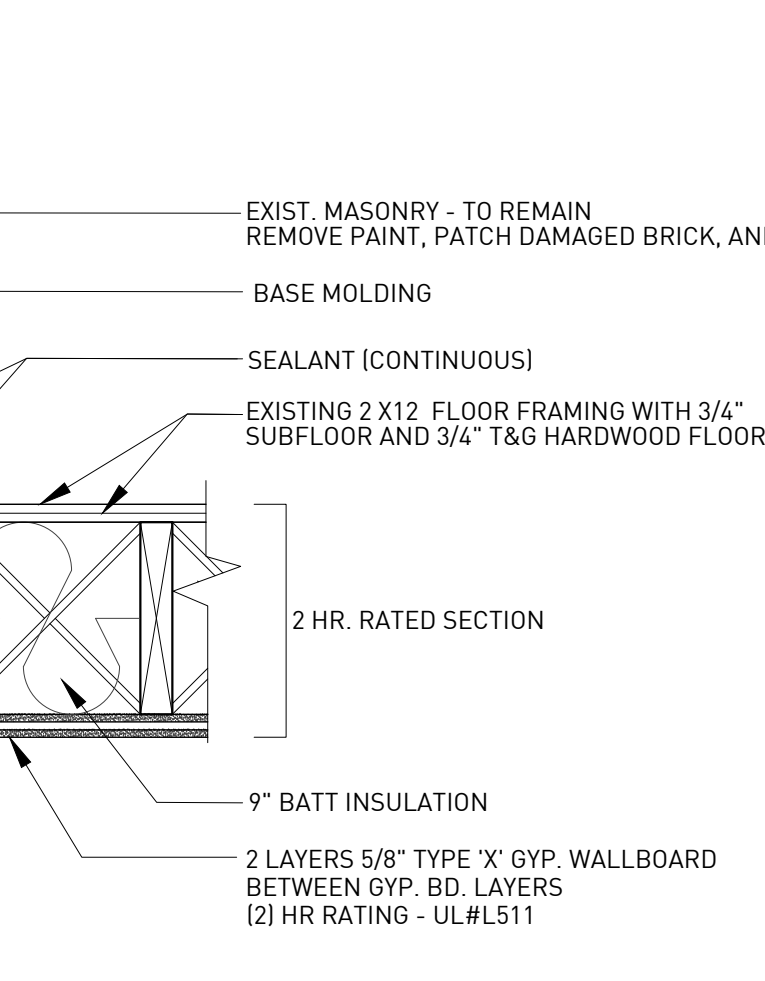
17 RATED FLOOR PENETRATION  
ORIGINAL IMAGE SCALE: 1" = 1'-0"



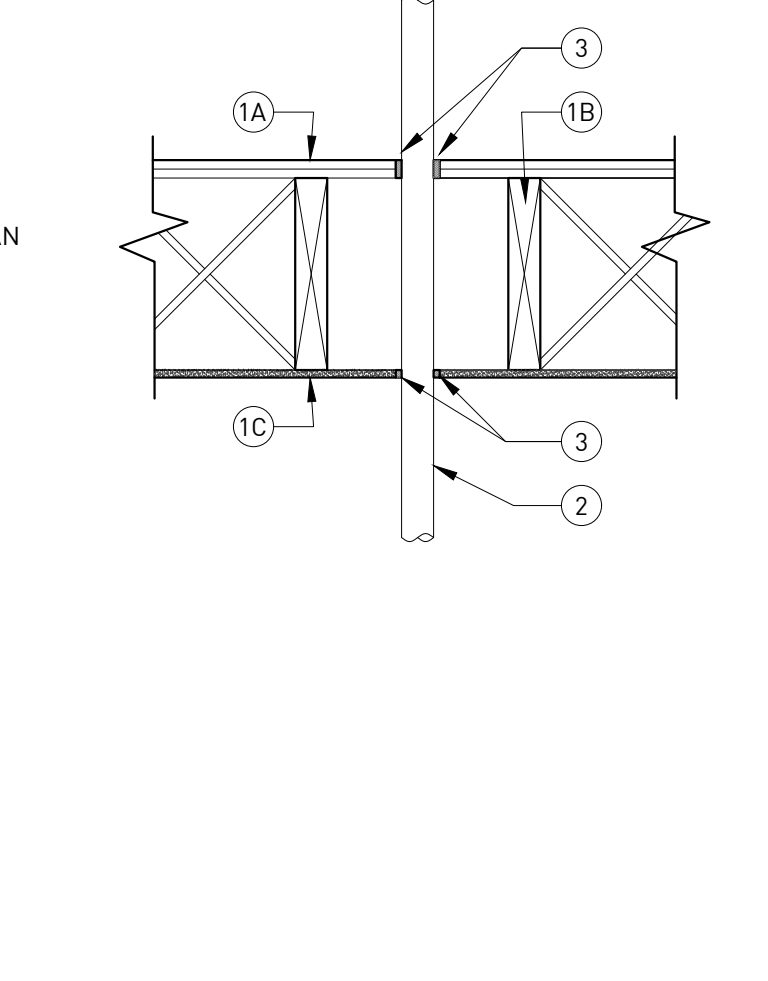
18 RATED FLOOR PENETRATION  
ORIGINAL IMAGE SCALE: 1" = 1'-0"



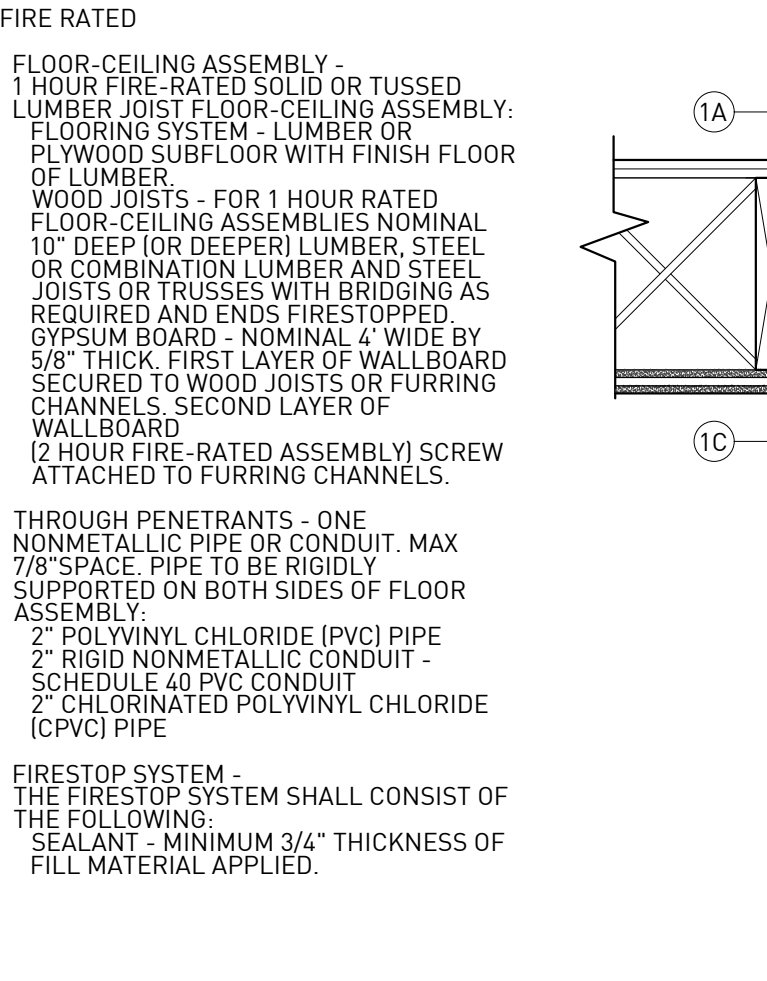
19 RATED WALL PENETRATION  
ORIGINAL IMAGE SCALE: 1" = 1'-0"



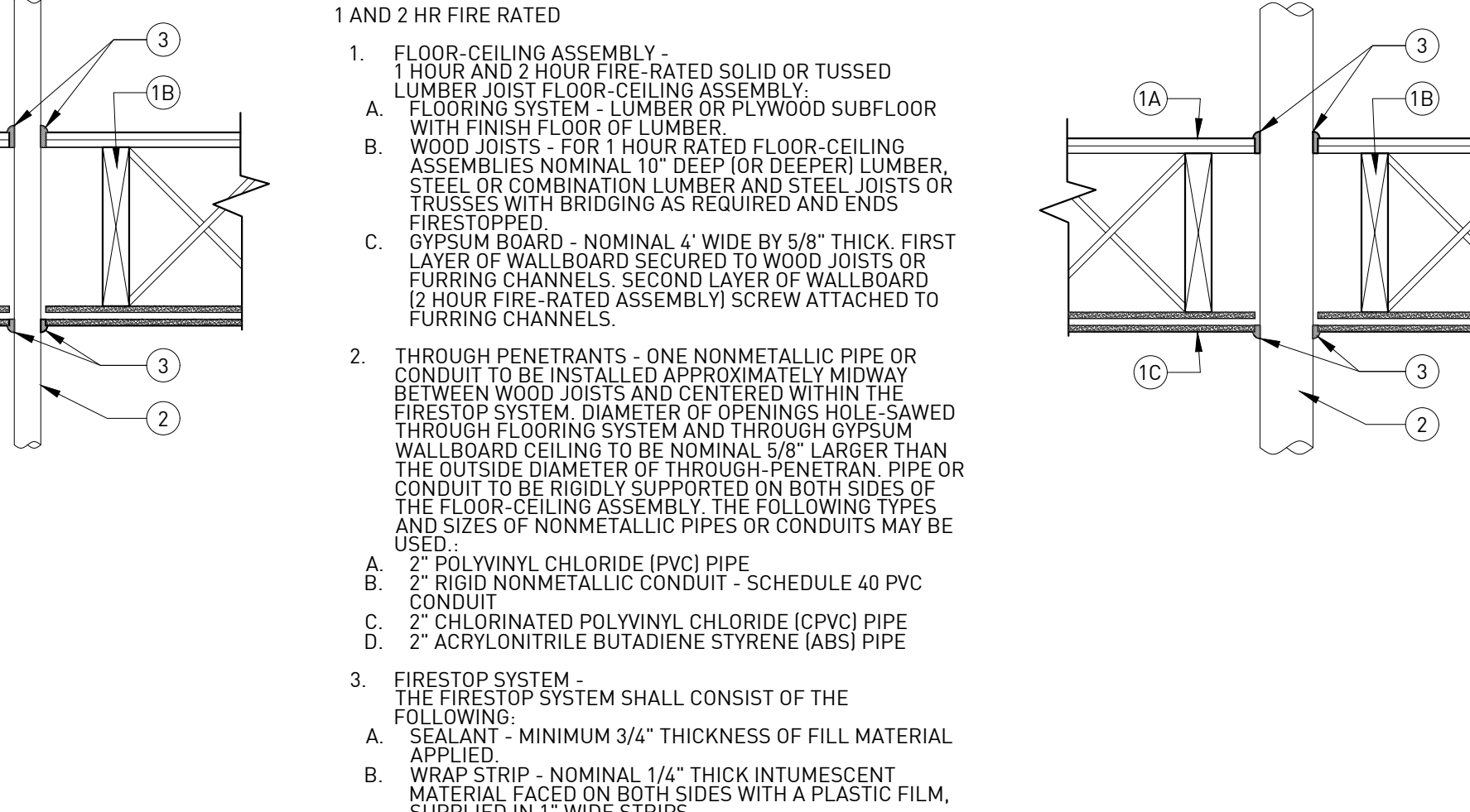
20 TYPICAL ROOF PENETRATION  
ORIGINAL IMAGE SCALE: 3" = 1'-0"



21 ROOF PENETRATION  
ORIGINAL IMAGE SCALE: 3" = 1'-0"



22 TYPICAL ROOF CURB  
ORIGINAL IMAGE SCALE: 3" = 1'-0"

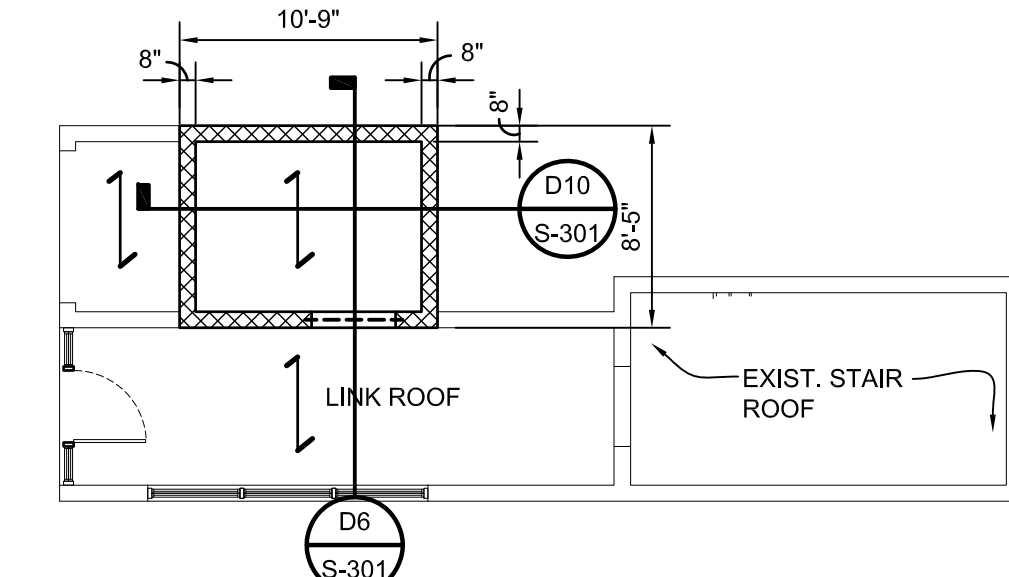


23 TYPICAL ROOF CURB  
ORIGINAL IMAGE SCALE: 3" = 1'-0"

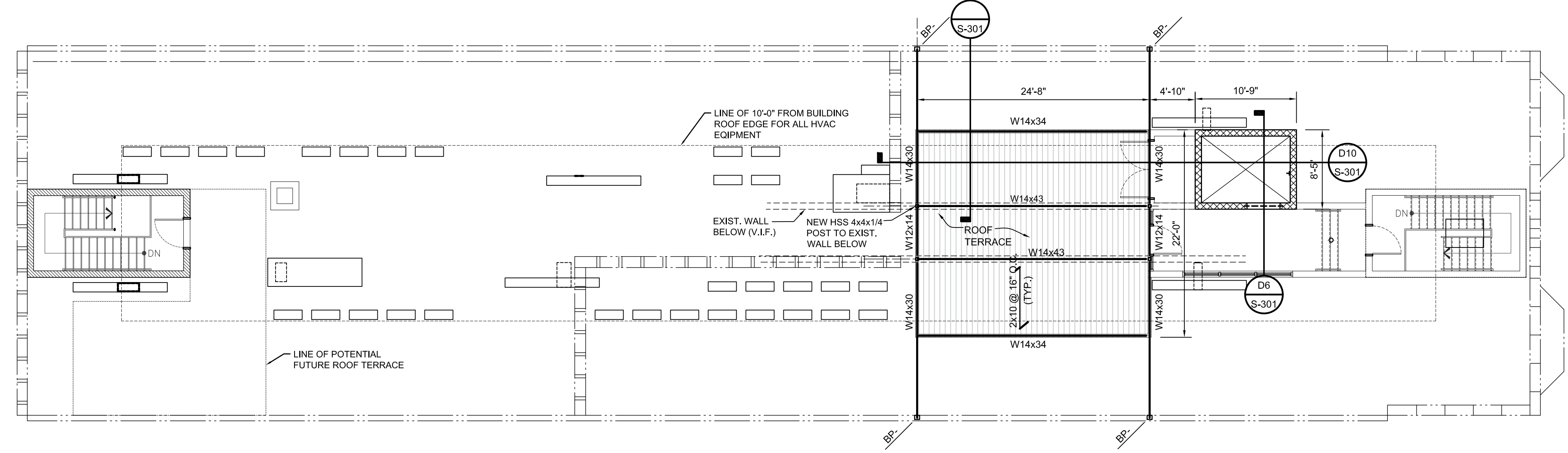
CONTRACTOR NOTE  
ALL CONTRACTORS GENERAL CONTRACTOR, SUB-CONTRACTORS, MEMBERS OR AGENTS OF EITHER OR BOTH ARE TO VERIFY AND COORDINATE ALL CONDITIONS, DIMENSIONS, QUANTITIES AND DETAILS, STATED OR NOT, WITHIN THESE DRAWINGS AND WITHIN THE SPECIFICATIONS BEFORE COMMENCING WITH THE WORK. IF A DIMENSIONAL ERROR OR CONFLICT OCCURS BETWEEN THESE DRAWINGS, THE SPECIFICATIONS OR THE EXISTING PHYSICAL CONDITIONS, IT SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. ANY PARTY GENERAL CONTRACTOR, SUB-CONTRACTORS, MEMBERS OR AGENTS OF EITHER OR BOTH WHO FAIL TO DO SO TAKE FULL RESPONSIBILITY OF ANY ERRORS, OMISSIONS, AND/OR CONFLICTS AND/OR IMPLICATIONS.

**SYSTEMS SOLUTION CONSULTANT**  
4890 Rochester Road, Suite A, Troy, MI 48065  
313.221.9933 ss@systemsolution.net

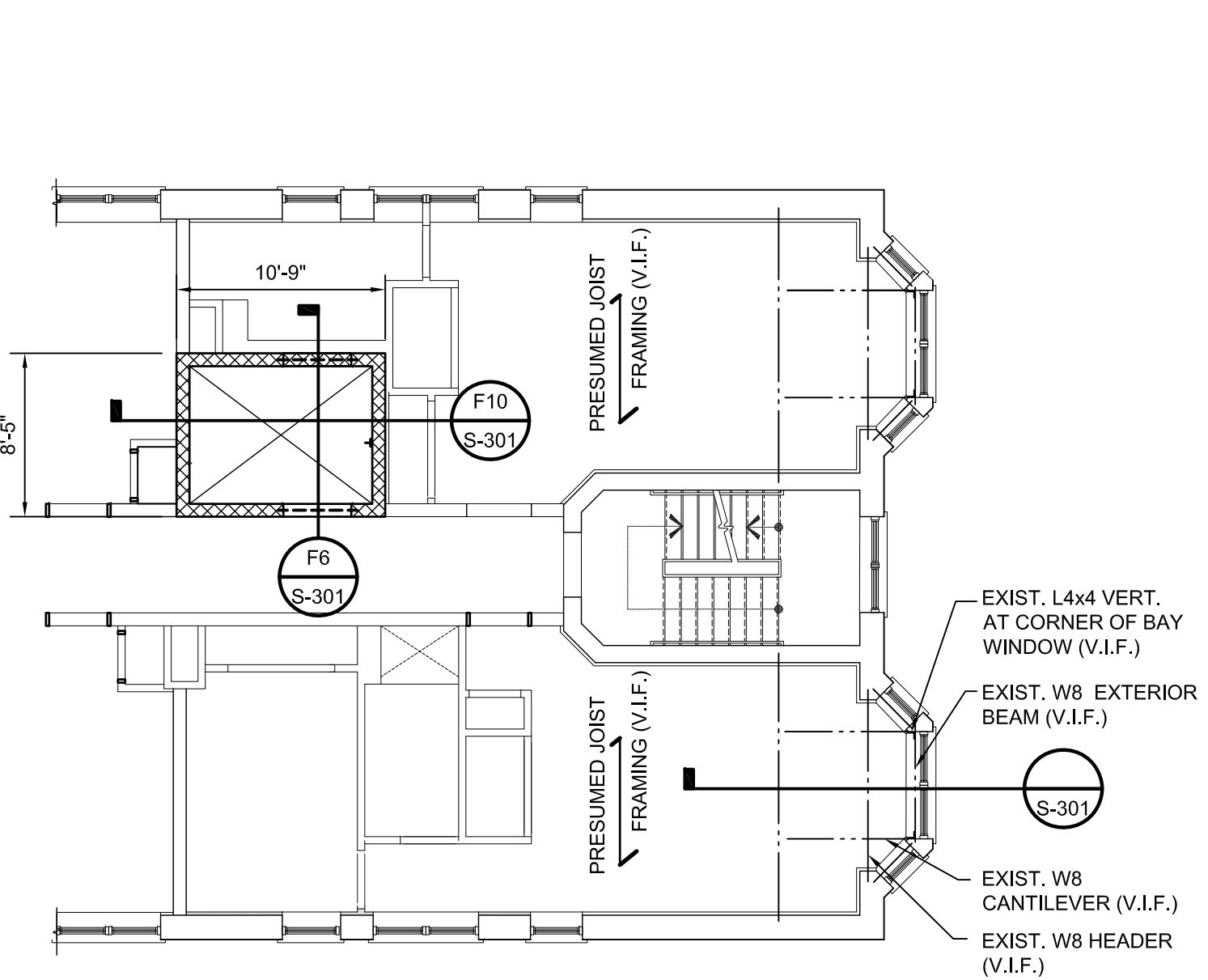
**DESAI NASR CONSULTING ENGINEERS**  
3760 DAILY ROAD WEST BLOOMFIELD, MI 48302-4595  
TEL: 313.882.8200 FAX: 313.882.8288 JOB NO. 19-102



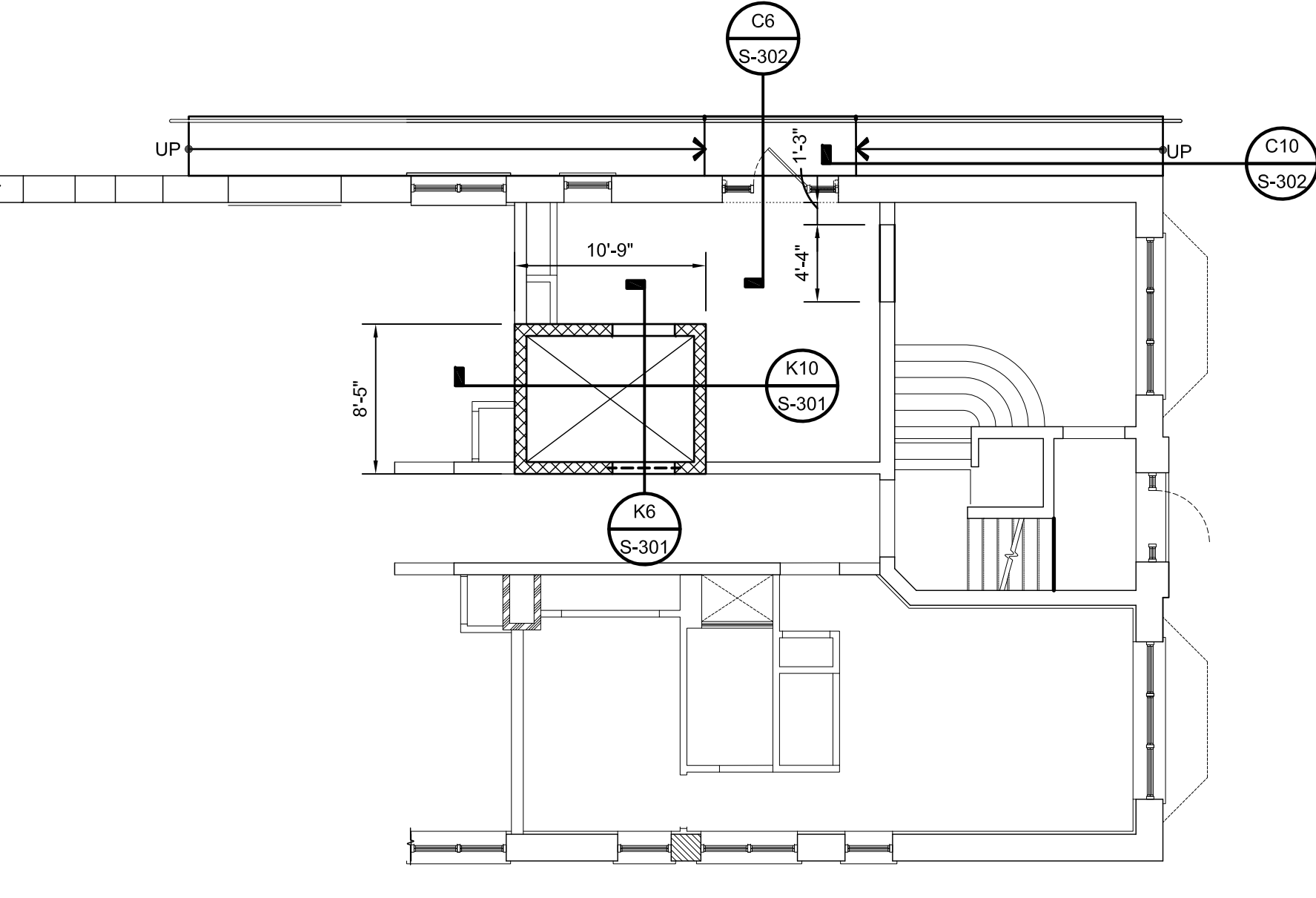
**NEW ELEVATOR ROOF FRAMING PLAN**  
Scale: 1/8" = 1'-0"



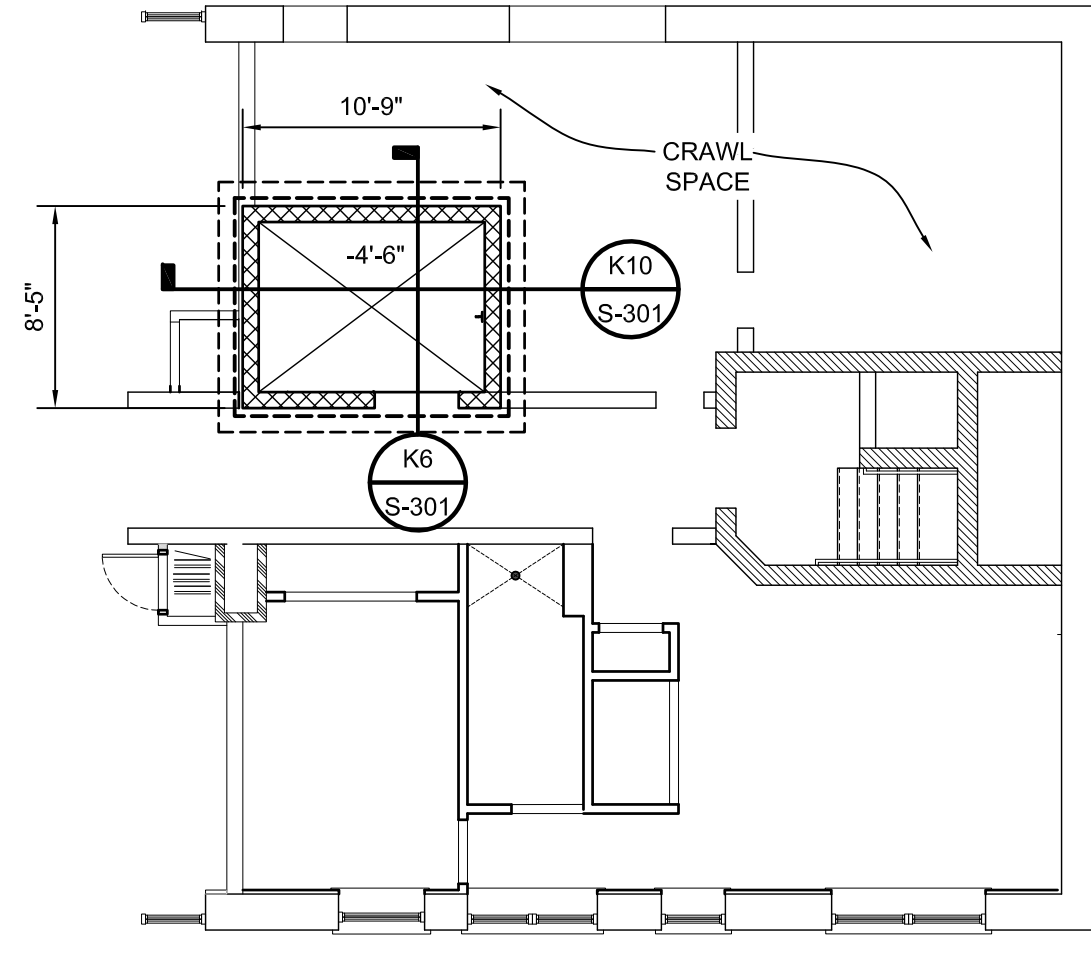
**EXISTING ROOF FRAMING PLAN**  
Scale: 1/8" = 1'-0"



**EXIST. PARTIAL TYPICAL FLOORS FRAMING PLAN (2ND THRU 4TH)**  
Scale: 1/8" = 1'-0"



**EXIST. PARTIAL FIRST FLOOR FRAMING PLAN**  
Scale: 1/8" = 1'-0"



**EXIST. PARTIAL BASEMENT FLOOR PLAN**  
Scale: 1/8" = 1'-0"

**BONITA APARTMENTS**  
69 SEWARD AVE, DETROIT, MI, 48202  
OWNER REVIEW

REVISIONS	DESCRIPTION	DATE
1.	PERMIT REVIEW	02.28.2020



PLANS & DETAILS

**S-101**



CHRISTIAN HURTTIENNE ARCHITECTS  
2111 WOODWARD AVENUE, #201, MI 48201  
313.825.2005 CHA-C.COM

CONTRACTOR NOTE  
ALL CONTRACTORS GENERAL CONTRACTOR, SUB-CONTRACTORS, MEMBERS OR AGENTS OF EITHER OR BOTH ARE TO VERIFY AND COORDINATE ALL CONDITIONS, DIMENSIONS, QUANTITIES AND DETAILS, STATED OR NOT, WITHIN THESE DRAWINGS AND WITHIN THE SPECIFICATIONS BEFORE COMMENCING WITH THE WORK. IF A DIMENSIONAL ERROR OR CONFLICT OCCURS BETWEEN THESE DRAWINGS, THE SPECIFICATIONS OR THE EXISTING CONDITIONS, THE SPECIFICATION OR THE EXISTING CONDITIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. ANY PARTY GENERAL CONTRACTOR, SUB-CONTRACTORS, MEMBERS OR AGENTS OF EITHER OR BOTH WHO FAIL TO DO SO TAKE FULL RESPONSIBILITY OF ANY ERRORS, OMISSIONS, AND/OR CONFLICTS.

MEP ENGINEER  
**SYSTEMS SOLUTION**  
4895 Rochester Road, Suite A, Troy, MI 48065  
313.221.9933 ss@systemsolution.net

STRUCTURAL ENG.  
**DESAI NASR**  
CONSULTING ENGINEERS  
5700 DAILY ROAD  
WEST BLOOMFIELD, MI 48224-4595  
TEL: 248.862.0100  
FAX: 248.862.0388  
JOB NO. 19-102

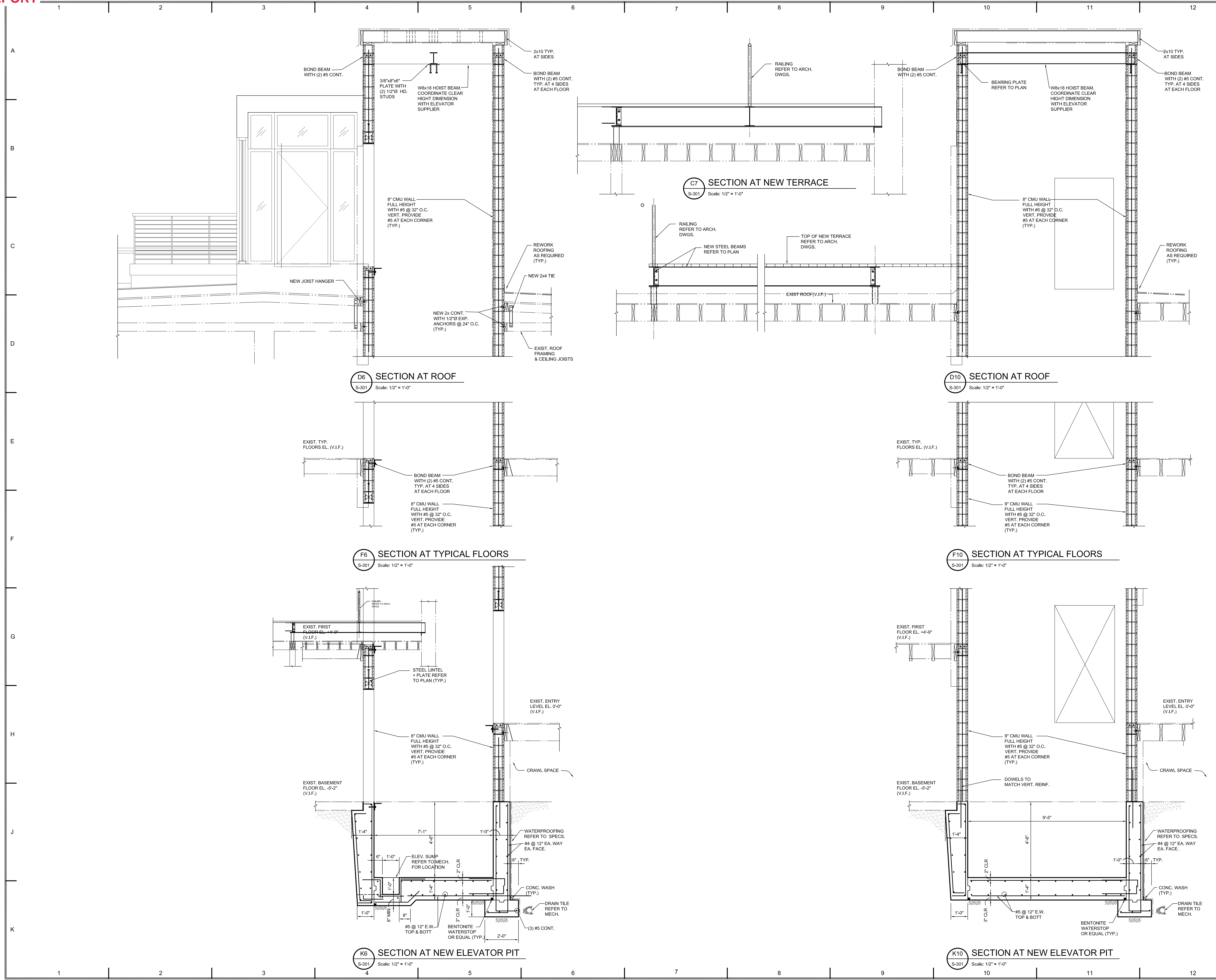
BONITA APARTMENTS  
69 SEWARD AVE, DETROIT, MI, 48202  
OWNER REVIEW

REVISIONS	DESCRIPTION	DATE
1.	PERMIT REVIEW	02.28.2020



SECTIONS & DETAILS

S-301



CONTRACTOR NOTE  
ALL CONTRACTORS (GENERAL CONTRACTOR, SUB-CONTRACTORS, MEMBERS OR AGENTS OF EITHER OR BOTH) ARE TO VERIFY AND COORDINATE ALL CONDITIONS, DIMENSIONS, QUANTITIES AND DETAILS, STATED OR NOT, WITHIN THESE DRAWINGS AND WITHIN THE SPECIFICATIONS BEFORE COMMENCING WITH THE WORK. IF A DIMENSIONAL ERROR OR CONFLICT OCCURS BETWEEN THESE DRAWINGS, THE SPECIFICATIONS OR THE EXISTING PHYSICAL CONDITIONS, IT SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT, BEFORE PROCEEDING WITH THE WORK. ANY PARTY (GENERAL CONTRACTOR, SUB-CONTRACTORS, MEMBERS OR AGENTS OF EITHER OR BOTH) WHO FAIL TO DO SO TAKE FULL RESPONSIBILITY OF ANY CONSEQUENCES, DAMAGES AND LOSSES.

**SYSTEMS SOLUTION CONSULTANT**  
4895 Rochester Road, Suite A, Troy, MI 48065  
313.221.9933 ssc@SystemsSolution.net

**DESAI NASR CONSULTING ENGINEERS**  
6700 DAILY ROAD WEST BLOOMFIELD, MI 48302-4585  
TEL: 248.852.8100 FAX: 248.852.2588 JOB NO. 19-103

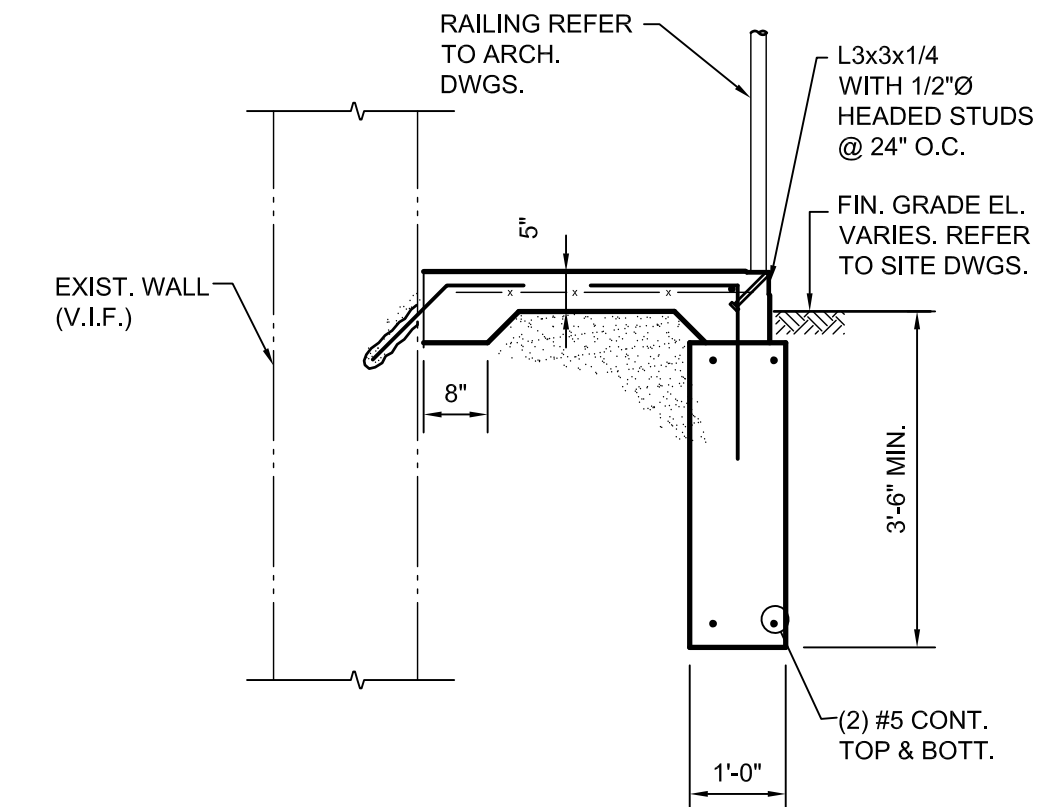
**BONITA APARTMENTS**  
69 SEWARD AVE, DETROIT, MI, 48202  
OWNER REVIEW

REVISIONS	DESCRIPTION	DATE
1.	PERMIT REVIEW	02.26.2020

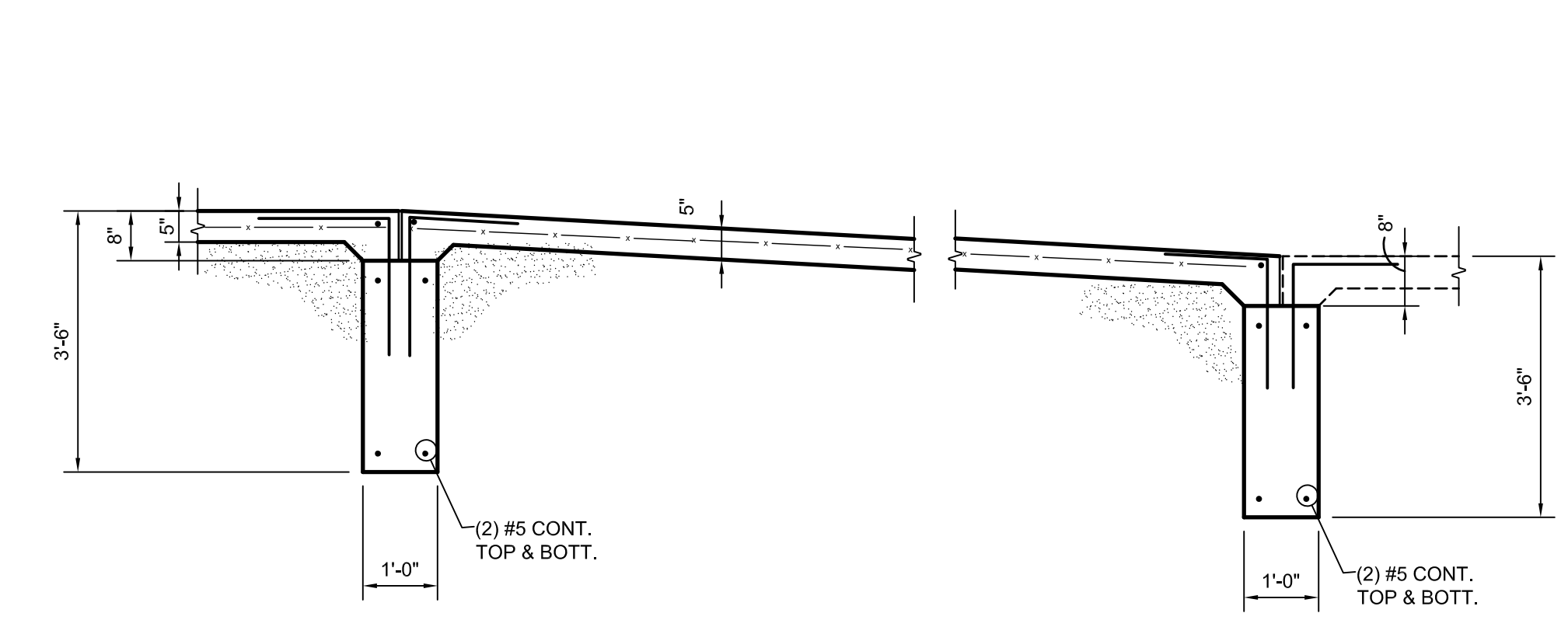


SECTIONS & DETAILS

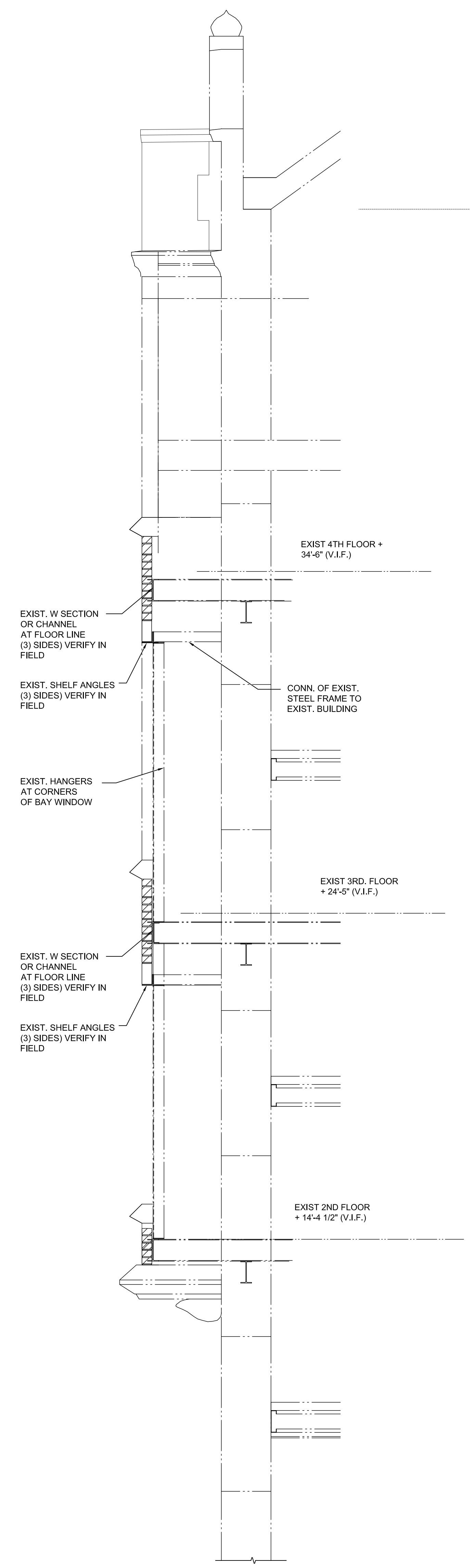
**S-302**



**C6 SECTION AT NEW RAMP**  
Scale: 1/2" = 1'-0"



**C10 SECTION AT NEW RAMP**  
Scale: 1/2" = 1'-0"



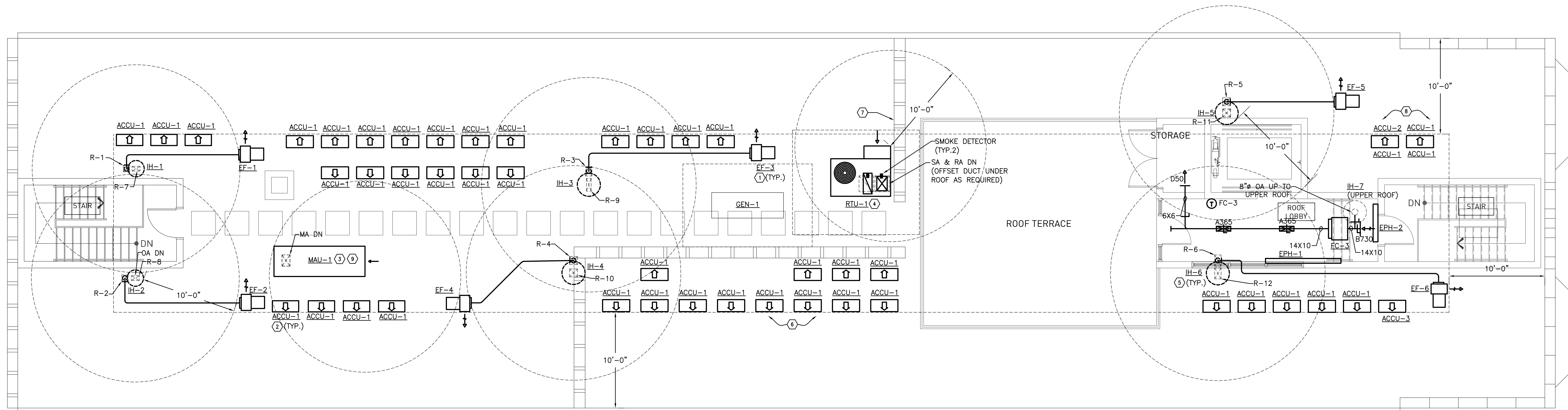
**K2 BAY WINDOW SECTION ON FIELD OBSERVATION**  
Scale: 1/2" = 1'-0"



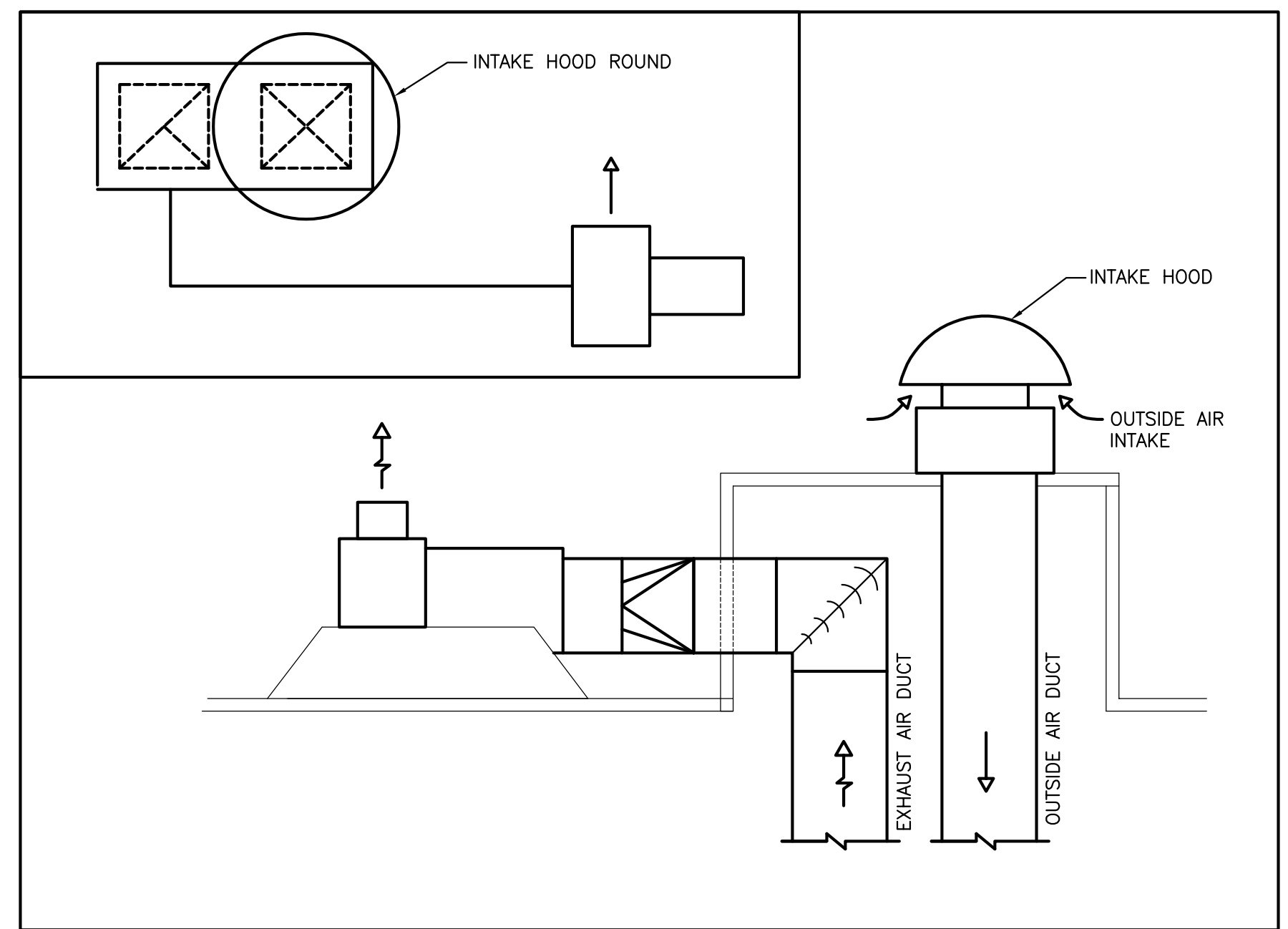
ALL CONTRACTORS, GENERAL CONTRACTOR, SUB CONTRACTORS, MEMBERS OR AGENTS OF EITHER OR BOTH ARE TO VERIFY AND CORRECT ALL CONTRACTORS, DIMENSIONS, QUANTITIES AND DETAILS SHOWN ON THESE DRAWINGS AND WITHIN THE SPECIFICATIONS BEFORE COMMENCING WORK. IN THE EVENT OF A DISCREPANCY OR CONFLICT BETWEEN THESE DRAWINGS AND THE SPECIFICATIONS OR BETWEEN THESE DRAWINGS AND THE SPECIFICATIONS OR BETWEEN THESE DRAWINGS AND THE SPECIFICATIONS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESOLVING THE DISCREPANCY OR CONFLICT. IT SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT, BEFORE PROCEEDING WITH THE WORK. ANY PARTY GENERAL CONTRACTOR, SUB CONTRACTORS, MEMBERS OR AGENTS OF EITHER OR BOTH ARE TO SIGN OFF ON THE FULL RESOLUTION OF ANY DISCREPANCY, SCHEDULE AND COST IMPLICATIONS.



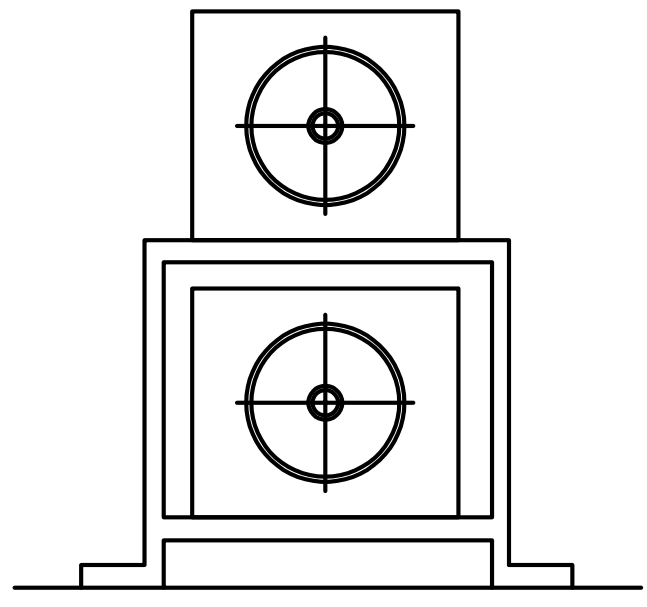
CONTRACTOR NAME: MECHANICAL ENGINEER: STRUCTURAL ENGINEER:



**MECHANICAL HVAC ROOF LEVEL PLAN**  
SCALE: 3/16"=1'-0"  
NORTH



**EXHAUST FAN AND INTAKE HOOD DETAIL:**



**ACCU STAND DETAIL:**

- GENERAL NOTES:**
- GN1. SEE M0-00 & M6-00 FOR LEGENDS, SCHEDULES AND NOTES.
  - GN2. NO PIPING OR DUCTWORK SHOULD RUN IN STAIR TOWERS.
  - GN3. SEE ARCHITECTURAL DRAWING FOR LIFE SAFETY TO PROVIDE APPROPRIATE DAMPERS.
  - GN4. PROVIDE 2" FOAM INSULATION WITH PVC JACKET FOR ALL DUCTS RUN ON ROOF. JACKET COLOR TO MATCH THE ROOF.
  - GN5. MAINTAIN MINIMUM 10' DISTANCE FROM ROOF EDGE FOR ALL HVAC UNITS. OTHERWISE PROVIDE HANDRAIL.
  - GN6. CO-ORDINATE NEW AND EXISTING ROOF OPENINGS WITH ARCHITECT/STRUCTURAL ENGINEER.

- KEY DRAWING NOTES:**
- ① PROVIDE EXHAUST FAN AS SHOWN ON PLAN. SEE SCHEDULE FOR DETAIL. MAINTAIN MINIMUM 10'-0" DISTANCE FROM ANY OUTSIDE AIR INTAKE.
  - ② PROVIDE AIR COOLED CONDENSING UNIT AS SHOWN ON PLAN. SEE SCHEDULE FOR DETAILS. MAINTAIN SPACING AROUND UNITS PER MANUFACTURERS RECOMMENDATIONS.
  - ③ PROVIDE MAKE UP AIR UNIT AS SHOWN ON PLAN. SEE SCHEDULE FOR DETAILS.
  - ④ PROVIDE ROOFTOP UNIT AS SHOWN ON PLAN. SEE SCHEDULE FOR DETAILS.
  - ⑤ PROVIDE INTAKE HOOD AS SHOWN ON PLAN. SEE SCHEDULE FOR DETAILS. OUTSIDE AIR DUCT UP FROM LOWER LEVEL AND CONNECT TO INTAKE HOOD AS SHOWN ON PLAN. PROVIDE TRANSITION AS REQUIRED.
  - ⑥ PROVIDE STANDS FOR ACCU MIN 24" ABOVE ROOF LEVEL IN THE AREA AROUND WALL. PROVIDE HIGHER STANDS SO ACCU AIRFLOW WILL NOT BE RESTRICTED BY THE WALL.
  - ⑦ COORDINATE ROOF CURB HEIGHT WITH WALL HEIGHT.
  - ⑧ INSTALL UNITS IN THIS AREA ON STANDS AS SHOWN ON DETAIL IN THIS SHEET. SO EQUIPMENT IS 10 FT. FROM ROOF EDGE. SEE ACCU STAND DETAIL.
  - ⑨ MAU SHALL BE ORIENTED THAT WAY SO FLUE DISCHARGE IS NOT IN CIRCLE DASH AREA.

**BONITA APARTMENTS**

69 SEWARD AVE, DETROIT, MI, 48202

BUILDING PERMIT

DESCRIPTION	DATE
BUILDING PERMIT	20200221

REVISIONS: REVISIONS: REVISIONS: SEAL: DRAWING NO.:



MECHANICAL HVAC ROOF LEVEL PLAN

**M1-06**

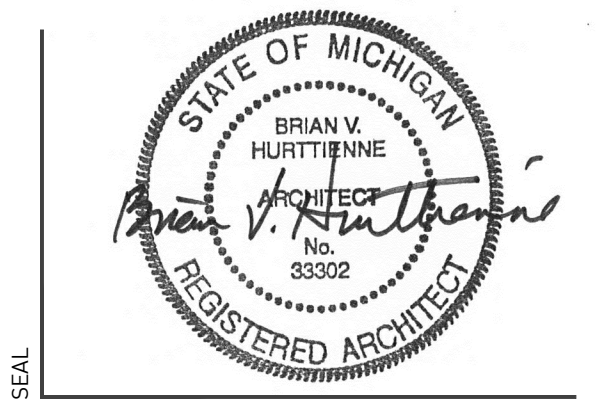
ALL CONTRACTORS, GENERAL CONTRACTOR, SUB-CONTRACTORS, MEMBERS OR AGENTS OF EITHER OR BOTH ARE TO VERIFY AND CORRECT ALL CONDITIONS, DIMENSIONS, QUANTITIES AND DETAILS, STATED OR NOT, WITHIN THESE DRAWINGS AND WITHIN THE SPECIFICATIONS BEFORE COMMENCING WITH THE WORK. A DIMENSIONAL ERROR OR CONFLICT OCCURS BETWEEN THESE DRAWINGS, THE SPECIFICATIONS OR THE EXISTING PROPOSED CONDITIONS, IT SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT, BEFORE PROCEEDING WITH THE WORK. ANY PARTY GENERAL CONTRACTOR, SUB-CONTRACTOR, MEMBER OR AGENTS OF EITHER OR BOTH WHO FAIL TO DO SO SHALL BE RESPONSIBLE FOR ANY ERRORS, CONFLICTS, SCHEDULE AND COST IMPLICATIONS.

**SYSTEMS SOLUTION**  
MEP ENGINEER  
4993 Rochester Road, Suite A, Troy, MI 48065  
313.221.9933; ss@SystemsSolution.net

CONTRACTOR NOTE  
MEP ENGINEER  
STRUCTURAL ENG.

**BONITA APARTMENTS**  
69 SEWARD AVE, DETROIT, MI, 48202  
OWNER REVIEW

REVISIONS	DESCRIPTION	DATE
1.	OWNER'S REVIEW	20200225
2.	PERMIT REVIEW	20200228



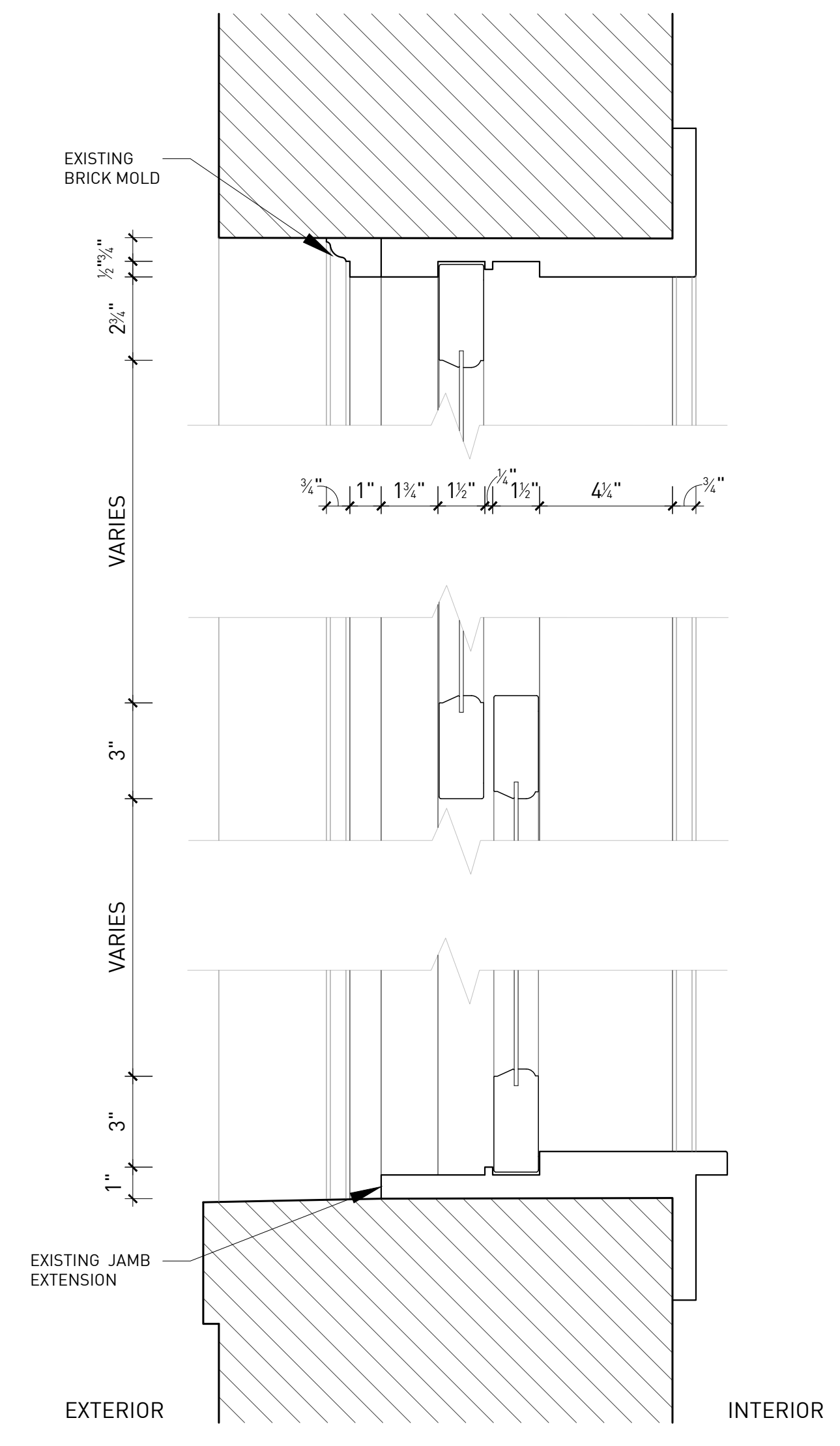
WINDOW PROFILES

A-502

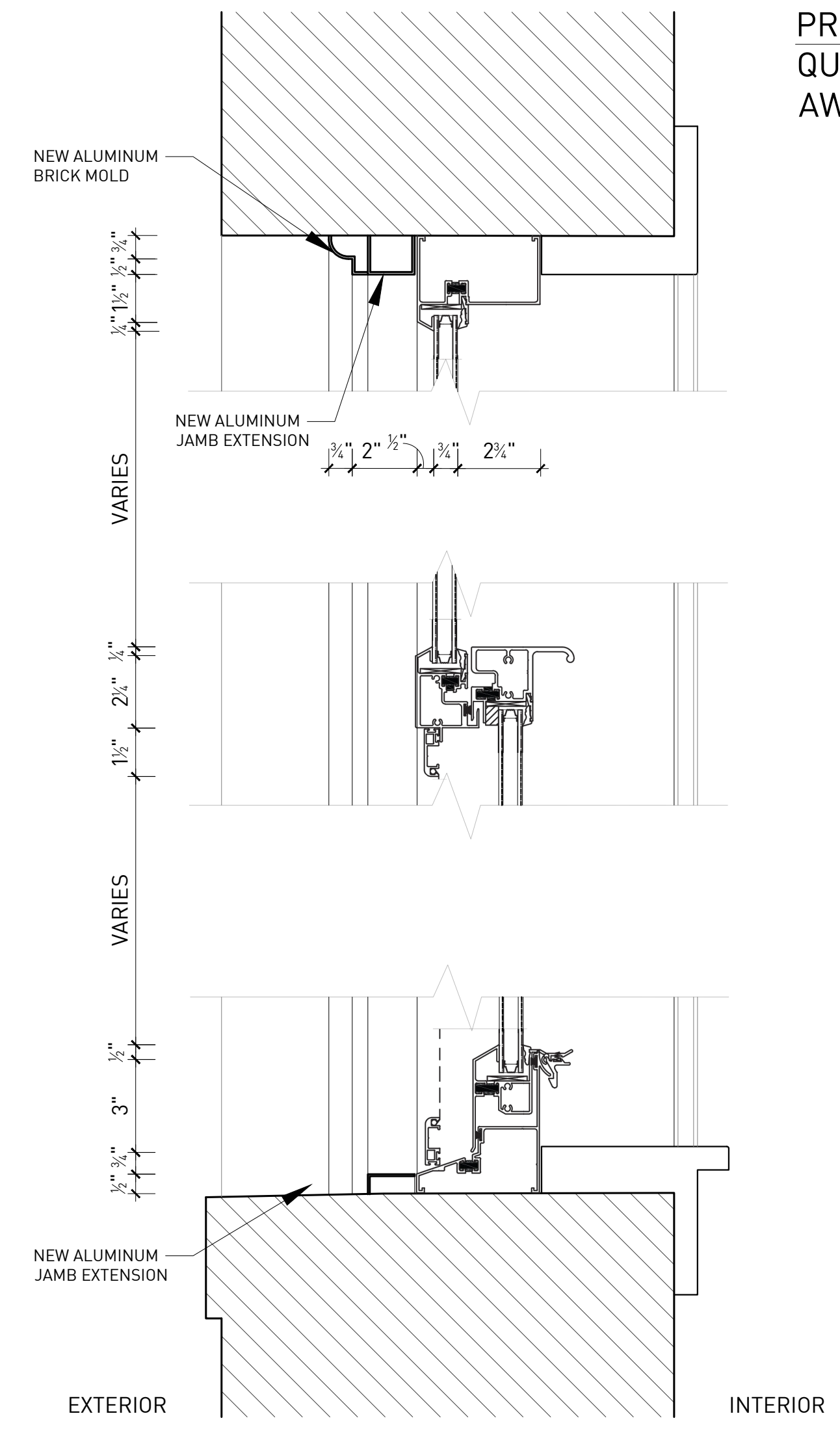
**DETAILS GENERAL NOTES**

- IF ANY GENERAL NOTE CONFLICTS WITH ANY DETAIL, OR NOTE ON THE PLANS OR IN THE SPECIFICATIONS, THE STRICTEST PROVISION SHALL GOVERN.
- DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO APPROVAL BY THE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL SAFETY PRECAUTIONS AND REGULATIONS DURING THE WORK.
- ALL ASTM AND OTHER REFERENCES ARE PER THE LATEST EDITIONS OF THESE STANDARDS, UNLESS OTHERWISE NOTED.
- THE ARCHITECT AND ENGINEER ASSUME NO RESPONSIBILITY FOR THE DESIGN OR PROPER INSTALLATION OF TEMPORARY BUILDING BRACING OR SHORING REQUIRED TO COMPLETE THE PROJECT. THE CONTRACTOR AND HIS ENGINEER ARE RESPONSIBLE FOR THE DESIGN AND PROPER INSTALLATION OF ALL TEMPORARY SHORING REQUIRED FOR A SAFE AND STRUCTURALLY SOUND PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGES INCURRED DUE TO IMPROPER SHORING AND BRACING DURING THE CONSTRUCTION PROJECT.
- WHERE A NEW ASSEMBLY IS TO COORDINATE WITH AN EXISTING ASSEMBLY, MAKE ALL NECESSARY PREPARATIONS TO ENSURE SMOOTH, CONSISTENT AND UN-NOTICABLE FINISH ACROSS ENTIRE SURFACE.
- ALL LOCATIONS OF CEMENTITIOUS TILE BACKER BOARD ARE TO BE COORDINATED WITH THE OWNER AND SCHEDULED WALL ASSEMBLY MAINTAIN ALL REQUIRED FIRE RATINGS ACCORDING TO WALL ASSEMBLY DETAILS, ASSOCIATED UL RATINGS AND SPECIFICATIONS.
- GENERAL CONTRACTOR PROVIDE BLOCKING WHERE REQUIRED TO SUPPORT MILLWORK, EQUIPMENT OR OTHER FINISHES.

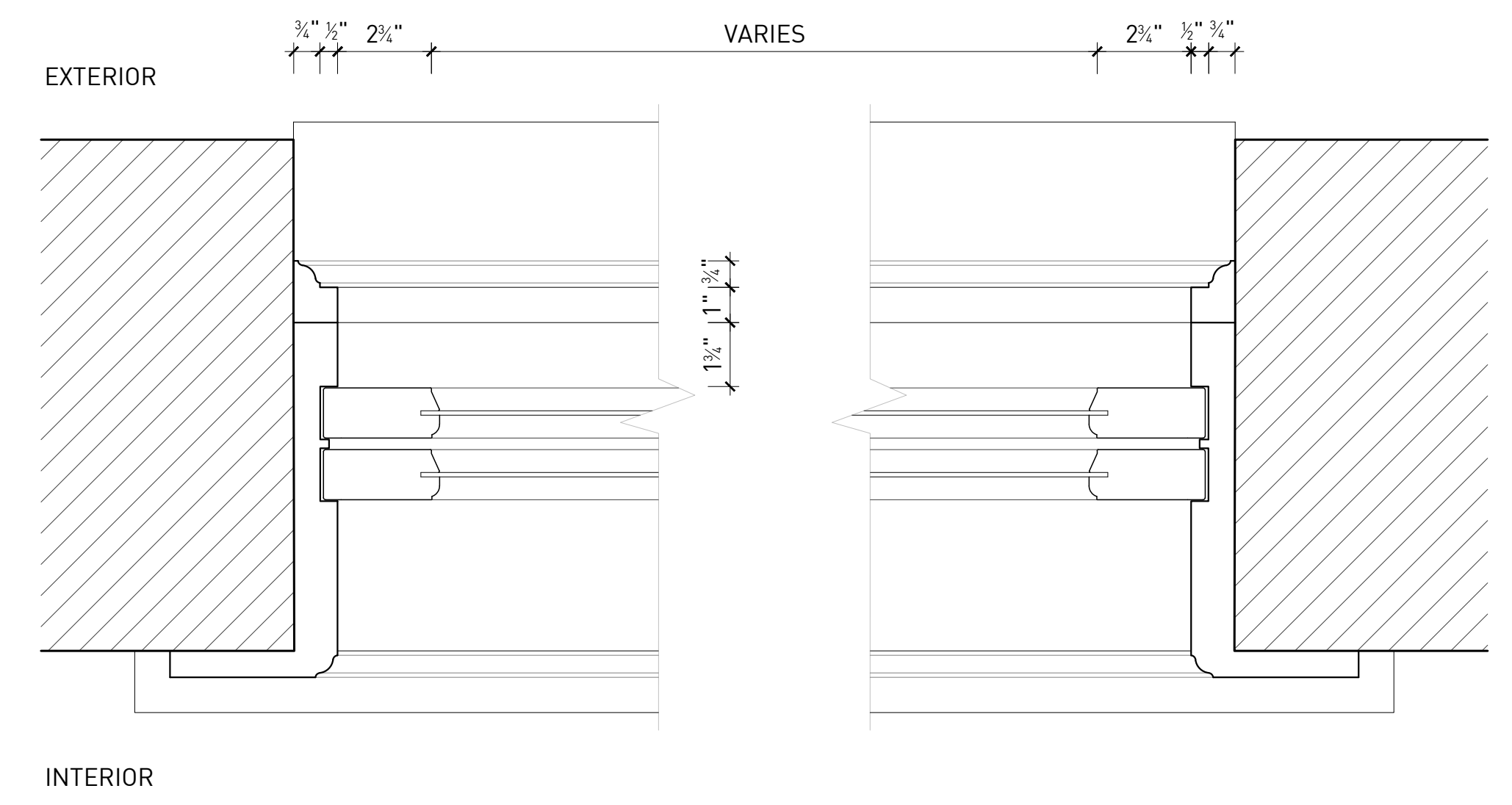
**PROPOSED WINDOWS  
QUAKER H500 SERIES  
AW-PG50**



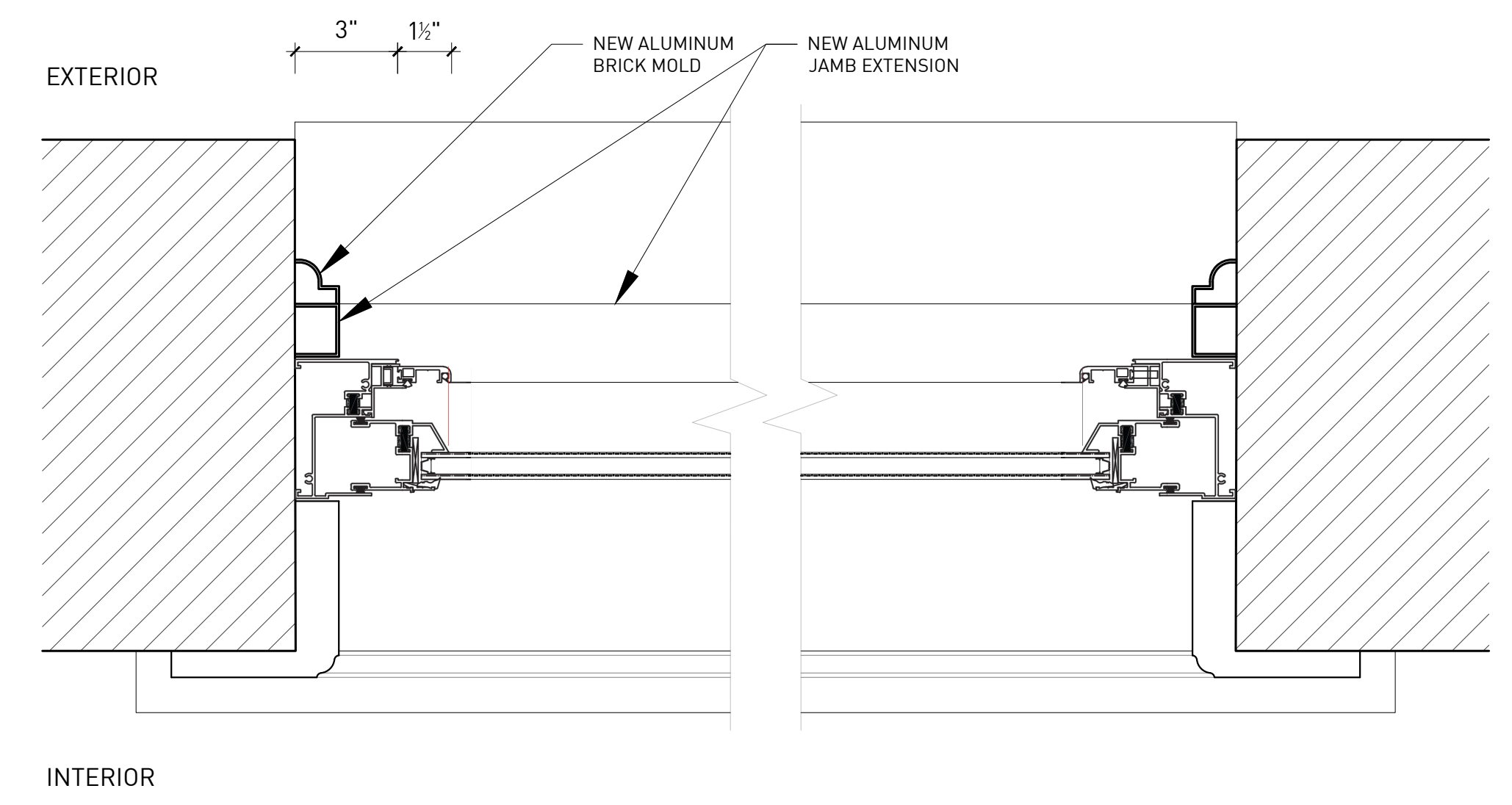
**1** EXISTING VERTICAL SECTION  
ORIGINAL IMAGE SCALE: 3" = 1'-0"



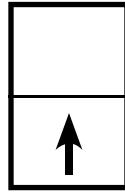
**3** PROPOSED VERTICAL SECTION  
ORIGINAL IMAGE SCALE: 3" = 1'-0"



**2** EXISTING HORIZONTAL SECTION  
ORIGINAL IMAGE SCALE: 3" = 1'-0"



**4** PROPOSED HORIZONTAL SECTION  
ORIGINAL IMAGE SCALE: 3" = 1'-0"



**H500 Series  
AW-PG50  
3 1/4" Frame Depth  
Single Hung**

# H500 SERIES SINGLE HUNG

The Quaker Historical H500 Series Single Hung window is ideal for a variety of applications including - Historical, Landmarks, Institutions, Education, Apartments and Assisted Living.

## FEATURES

- ◇ Commercial Framing System
  - 3 1/4" main frame
  - 0.062" wall thickness of interior and exterior walls
- ◇ Thermally Enhanced Design
  - Azon pour and debridge thermal break is 1/2" wide in all main frame and vent rail extrusions
- ◇ Glazing
  - 5/8" insulated glass
- ◇ Hardware
  - Gravity latch
- ◇ Screen
  - Extruded aluminum screen frame with BetterVue™ mesh

## BENEFITS

- ◇ The capacity to match exterior colors for unique project facades
- ◇ The ability to facilitate large sizes for taller and wider window openings
- ◇ Historically accurate panning and trim styles to help your project meet Historic Preservation codes

## PERFORMANCE

- ◇ Structural & Thermal (test reports or thermal simulations available upon request)

Model	Single Hung
AAMA/WDMA/CSA 101/IS.2/A440-08 Rating	AW-PG50
Structural Load P.S.F.	75.19
Air at 50 MPH (cfm/ft <sup>2</sup> )	0.17
Water (No Penetration) P.S.F.	10.03
U-Value (with Low-E and Argon)	0.40 - 0.49
SHGC (with Low-E and Argon)	0.14 - 0.31

Window test size: 60" x 99"

Operating Force: 25.3 lbf (maintain motion), 14 lbf (latches)

## OPTIONS

- ◇ Available Configurations
  - Single Hung
  - Oriel single hung
- ◇ Muntin Choices
  - Internal or simulated divided lites available
- ◇ Limited travel hardware
- ◇ Screen
  - Extruded aluminum screen frame with aluminum wire mesh
  - Extruded aluminum screen frame with sunscreen mesh
  - Extruded aluminum screen frame with stainless steel 0.009" thickness mesh
  - Security screen
- ◇ Glazing
  - Capillary tubes
  - Argon gas
  - Wide variety of glazing, tinting and thickness options
- ◇ Panning & Trim Choices
  - Wide variety of panning, receptor and trim available
- ◇ Mulling
  - Wide variety of structural mulls
- ◇ Specialty
  - Attached exterior or interior storm window
  - Extension jambs
  - Screen track cut-out
  - Ogee lugs



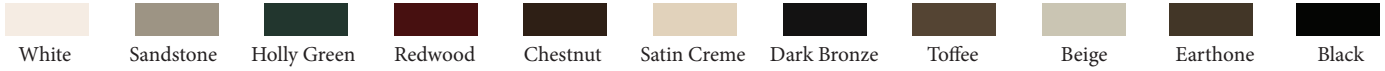
Our products are tested to the standards of and certified by the American Architectural Manufacturer's Association, the National Fenestration Rating Council and the Window & Door Manufacturers Association.



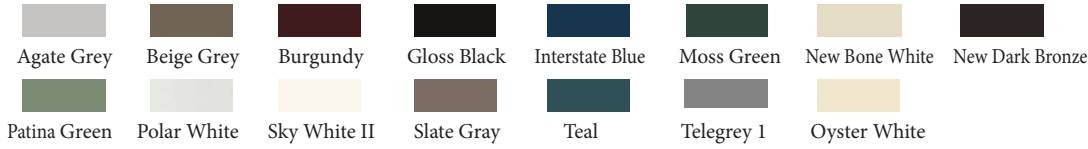
## ARCHITECTURAL PAINT COATINGS AND FINISHES

◇ Baked on powder coat finish meets ANSA/AAMA 2604 specs and is available in unlimited colors

- 11 Popular Colors



- 15 Impressive Colors



- 7 Resemble Colors (painted finish resembling anodized)



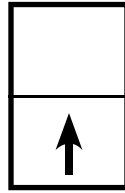
- Unlimited Custom Colors

◇ ANSA/AAMA 2605 powder coat finishes

◇ AAMA 611-98 Class I clear and tinted anodized finishes

\* Printed colors shown here may not accurately depict actual painted colors. Color samples are available upon request.

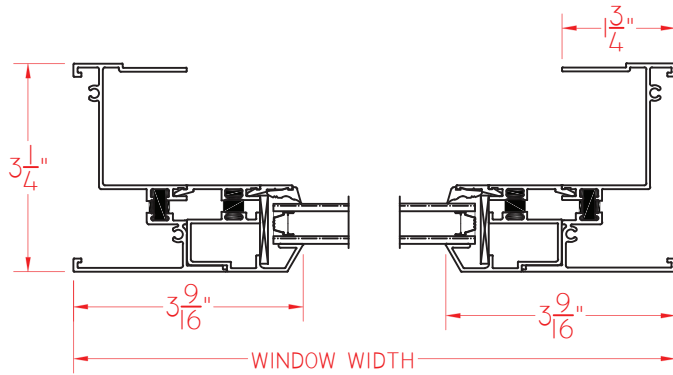




**H500 Series  
AW-PG50  
3 1/4" Frame Depth  
Single Hung**

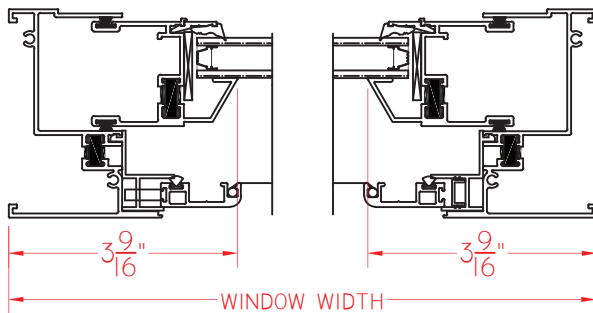
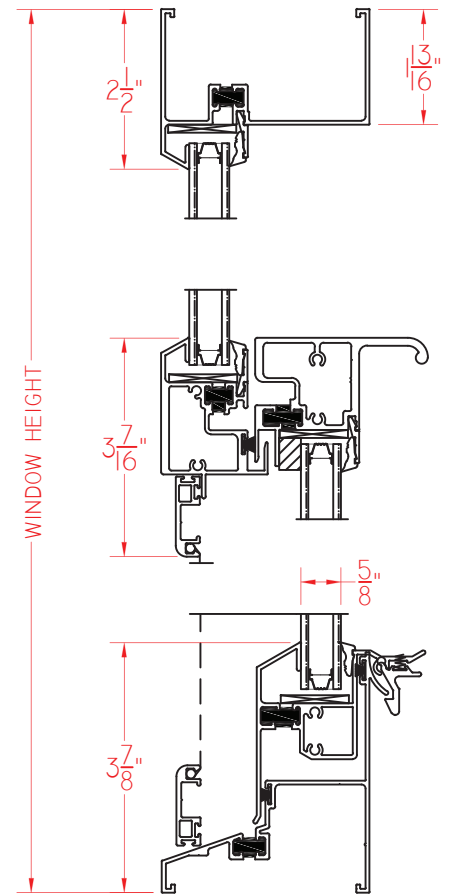
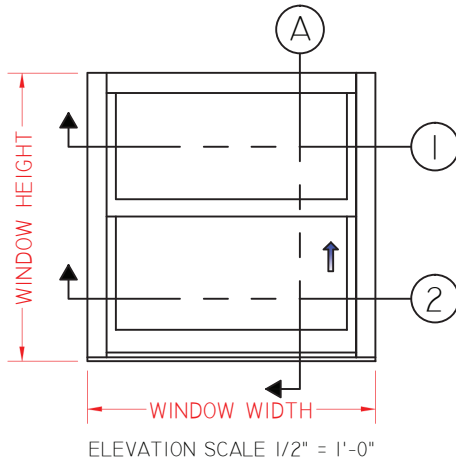
**H500 SH**

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① HORIZONTAL CROSS SECTION

Ⓐ VERTICAL CROSS SECTION



② HORIZONTAL CROSS SECTION

H500 SINGLE HUNG 02.04.2015 VERSION 1.0

SCALE 1:3

Our products are tested to the standards of and certified by the American Architectural Manufacturer's Association, the National Fenestration Rating Council and the Window & Door Manufacturers Association.



**QUAKER**  
COMMERCIAL WINDOWS AND DOORS

CITY OF DETROIT  
HISTORIC DISTRICT COMMISSION

2 WOODWARD, SUITE 808  
DETROIT, MICHIGAN 48226  
PHONE 313-224-6536  
FAX 313-224-1310

June 22, 2016

### CERTIFICATE OF APPROPRIATENESS

Robert Jacobson  
LC Companies  
35 Research Drive, Suite 300  
Ann Arbor MI 48103

**RE: Application Number 16-4658; 69 Seward; New Center Historic District**

Dear Mr. Jacobson,

At the regular scheduled meeting that was held on June 8, 2016, the Detroit Historic District Commission reviewed the above-referenced application for building permit. Pursuant to Section 5(10) of the Michigan Local Historic District Act, as amended, being MCL 399.205(10), MSA 5-3407(5)(10); Section 25-2-57(b) of the 1984 Detroit City Code; Detroit Historic District Commission Resolution 97-01 (adopted August 13, 1997); Detroit Historic District Commission Resolution 97-02 (adopted October 8, 1997); and Detroit Historic District Commission Resolution 98-01 (adopted February 11, 1998), the staff of the Detroit Historic District Commission has reviewed the above-referenced application for building permit and hereby issues a Certificate of Appropriateness, which is effective as of June 22, 2016.

This COA has been issued because the rehabilitation of the building and site, located at 69 Seward, as described in the submitted materials and drawings, meets the Secretary of the Interior's Standards for Rehabilitation Standard Number 6) *Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence;* Standard Number 7) *Chemical or physical treatments that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible;* and Standard Number 9) *New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*

This COA has also been issued for the parking lot immediately west of 69 Seward. The proposed landscaped parking lot, based on the site plan submitted by the applicant, meets the Secretary of the Interior's Standard for Rehabilitation Standard Number 9) *New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment*

#### Site

The public sidewalk will be replaced with a new concrete sidewalk that will be slightly narrower to create small planting beds in front of the building. It is proposed to fill in the below grade exterior stair on the west elevation and construct a concrete walkway that runs the length of the building. The walkway will be sloped near the front of the building to provide barrier free access to the building at a new door in the west elevation. A new metal railing will run along a section of the ramp. The two overgrown trees will be removed. It is proposed to convert the vacant lot on the west side of the building into a paved parking lot. The lot will have curb cuts leading to Seward and to the alley and will have landscaping along the front, rear, and west edges. At the rear of the building a new concrete walkway will be constructed between the rear door and the alley. A new dumpster

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enclosure will be constructed and faced with metal siding. A mechanical pad will be placed at the rear of the building. The mechanical pad enclosure will match the material and finish of the dumpster enclosure. (The mechanical equipment is thirteen feet high, which necessitates a thirteen foot high enclosure.)

### **Roof**

The existing roof is primarily flat with low profile slopes to the east and west and is covered with asphalt. There is a brick parapet wall with stone coping at the front, a brick parapet wall with clay tile coping at the rear of the building and a brick firewall with clay tile coping in the center. A brick stair tower and two brick chimneys are located at the rear of the building and a brick elevator penthouse is located in center toward the front. There are gutters running along the sides of the building which are in poor condition with missing or clogged downspouts. The roof and masonry structures on the roof are in poor condition.

It is proposed to replace the asphalt roof with a membrane roof. The stone and tile coping on the parapet walls will be removed, inspected, cleaned and reinstalled. Any deteriorated pieces will be replaced with matching pieces. The brick chimney next to the rear stair tower is proposed to be demolished down to the roof line and covered over. The brick elevator penthouse is proposed to be demolished and a new one-story tall metal siding clad (color to be determined) elevator penthouse is proposed above the new elevator location. The gutters and downspouts will be replaced with new aluminum gutters and downspouts.

### **Exterior walls/masonry**

The exterior walls are clad in brick with cast stone and limestone trim and sills. The brick of the facade and first bay of the side elevations is red-orange, the remainder of the building is clad in red common brick. Brick and stone have fallen off the bay windows on the front facade which are in poor condition. In general the stone and brick is in fair to poor condition depending on location.

The existing brick and stone will be repaired to match the existing. The brick and cast stone bays on the front facade will be reconstructed to match the existing. New lintels and sills will be replaced where required at window openings, the surrounding brick will be repaired to match the existing. Tuckpointing with mortar that matches the existing in color, texture, profile and hardness will be completed as needed. The building will be cleaned using a non-ionic detergent and low pressure wash - less than 100 p.s.i. A new barrier free door and with a canvas awning above is proposed for the west elevation. Two basement window openings and one door on the west elevation are proposed to be infilled with brick that will be recessed 3/4".

### **Windows:**

The existing windows have wood frames and are deteriorated beyond repair. The majority of the sash are missing or broken. The facade has the remains of six-over-nine double hung windows in the upper floors. The windows in the projecting bays have three light transoms. The first floor has wood frame casement windows with leaded glass lights. The second floor window in the center stair has a multi-light casement window with an arched top. The sides and rear of the building have the remains of one-over-one double-hung windows.

It is proposed to replace all of the windows with new aluminum clad wood windows that match the size, profile and configuration of the existing windows. The first floor facade windows will have the divided lights replicated in wood instead of metal. Exterior trim and brick mold will be replicated. Metal grills will be installed over the basement window openings for security.

### **Doors:**

The front door is a non-original flush metal door with sidelights and an original fanlight transom. The rear ground floor door has been replaced with plywood. One of the upper openings in the stair has the remains of a pair of multi-light French doors with a multi-light transom.

A new wood and glass door with wood framed sidelights is proposed for the front door. The existing transom will be repaired to match the existing. The rear ground floor door will be a flush metal door and frame.

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Aluminum clad multi-light windows with transom that replicate the original door and transom configuration will be installed in the upper openings of the rear stair. A new aluminum and glass door with aluminum frame sidelights and transom is proposed for the west elevation for the new barrier free entry.

However, the following condition should be met:

All new concrete will be composed of an aggregate mix, be tinted gray or finished with a clear curing compound so that it is not bright white

Please retain this Certificate of Appropriateness for your files. You should now proceed to the City of Detroit Buildings Safety and Engineering Department to obtain a building permit. The Detroit Historic District Commission's approval and issuance of a Certificate of Appropriateness does not waive the applicant's responsibility to comply with any other applicable ordinances or statutes. If you have any questions regarding this letter, please contact me at (313) 224-6543.

For the Commission:

Audra Dye  
Staff  
Detroit Historic District Commission



HISTORIC RENOVATION & REUSE FOR

BONITA LOFTS

69 SEWARD AVENUE  
DETROIT, MI 48202

ARCHITECT'S PROJECT # 0372-15

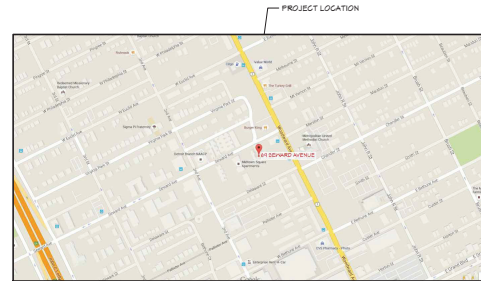
FOR PERMITS

APRIL 26, 2016

ABBREVIATIONS

Table of abbreviations for construction terms, including categories like ABOVE FINISH FLOOR, BASEMENT, CABINET, etc., with corresponding codes.

SITE LOCATION MAP (DETROIT, MI)



INDEX OF DRAWINGS

- T1.01 TITLE SHEET
T2.01 CODE COMPLIANCE PLANS & DETAILS
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ALTA SURVEY
C0.01 DEMOLITION SITE PLAN
C1.01 SITE PLAN
C2.00 GRADING & SITE UTILITIES PLAN
C3.00 SOIL EROSION & SEDIMENTATION PLAN
C4.00 SITE DETAILS
L1.01 LANDSCAPE PLAN

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S1.02 SECOND & THIRD FLOOR FRAMING
S1.03 FOURTH, FIFTH & ROOF FRAMING
S3.01 DETAILS
S5.01 SOUTH & NORTH ELEVATION REPAIRS
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A1.04 ENLARGED FLOOR PLANS
A2.01 DOOR, FRAME, & ROOM FINISH SCHEDULES
A2.02 WINDOW SCHEDULE
A2.03 WINDOW DETAILS
A3.01 EXTERIOR ELEVATIONS
A3.02 EXTERIOR ELEVATIONS
A4.01 BUILDING SECTIONS
A4.02 ELEVATOR & STAIR SECTIONS
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A8.02 REFLECTED CEILING PLAN

FIRE PROTECTION

- FP1.01 FIRE PROTECTION FIRST & SECOND FLOOR
FP1.02 FIRE PROTECTION THIRD & FOURTH FLOOR
FP1.03 FIRE PROTECTION FIFTH FLOOR & DETAILS

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- P1.01 PLUMBING PLAN FOUNDATION & FIRST FLOOR
P1.02 PLUMBING PLAN SECOND & THIRD FLOORS
P1.03 PLUMBING PLAN FOURTH & FIFTH FLOORS
P2.01 ENLARGED PLAN AND TYP. UNDER FLOOR SANITARY & VENT PLAN
P2.02 RISER DIAGRAMS AND ISOMETRICS
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- M1.01 FIRST & SECOND FLOOR HVAC PLANS
M1.02 THIRD & FOURTH FLOOR HVAC PLANS
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M2.01 ENLARGED PLAN AND SECTIONS
M3.01 HYDRONIC PLANS
M3.02 MECHANICAL DETAILS
M4.01 MECHANICAL SCHEDULES

ELECTRICAL

- E1.01 FIRST FLOOR LIGHTING & POWER PLAN AND SCHEDULES
E1.02 SECOND FLOOR LIGHTING & POWER PLAN
E1.03 THIRD THRU FIFTH FLOOR AND ROOF LIGHTING & POWER PLAN
E1.04 ENLARGED LIGHTING & POWER PLAN - UNITS A THRU C
E1.05 ENLARGED LIGHTING & POWER PLAN - UNITS D THRU F
E3.01 ELECTRICAL ONE-LINE
E3.02 ELECTRICAL DETAILS
E3.03 TECHNOLOGY

BUILDING DATA:

1ST FLOOR LEVEL: COMMUNITY ROOM, FITNESS, LAUNDRY, IT CLOSET, MECHANICAL, ELECTRICAL, STAIRS, ELEVATOR AND CORRIDOR
(2) - TWO BEDROOM UNITS
TOTAL = 6,205 SF
2ND FLOOR LEVEL: LOBBY, OFFICE, MEETING ROOM, STAIRS, ELEVATOR AND CORRIDOR
(3) - ONE BEDROOM UNITS
(2) - TWO BEDROOM UNITS
TOTAL = 6,205 SF
3RD - 5TH FLOORS: STAIRS, ELEVATOR, AND CORRIDOR
(3) - ONE BEDROOM UNITS
(3) - TWO BEDROOM UNITS
TOTAL = 6,250 SF PER FLOOR
TOTAL BUILDING S.F.: 31,160 S.F.
TOTAL UNITS: (11) - ONE BEDROOM UNITS (11) - TWO BEDROOM UNITS TOTAL = 22 UNITS

GENERAL CONTRACTOR

Wolverine Building Group
4045 Barden S.E.
Grand Rapids, MI 49512
(616) 949-3360

STRUCTURAL

Nehill - Sivak
414 S. Burdick, Suite 300
Kalamazoo, MI 49001
(269) 383-3111

MECH. & PLUMBING

Chris Nolan P.E., LEED AP
Ability MEP LLC
14174 Kalber Road NE
Greenville, MI 48830
(616) 232-5611

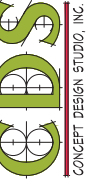
ELECTRICAL

Lynn Surdock, P.E.
MPPF Engineering, LLC
5200 Peachtree Ave. NE
Roseland, MI 48841
(616) 340-9627

CIVIL

Clement Audu, P.E.
Audu Engineering
3654 Alpine NW, Suite 102
Grand Rapids, MI 49521
(616) 647-2231

CONCEPT DESIGN STUDIO, INC.
500 E. LILL ROAD SUITE 500
GRAND RAPIDS, MI 49503
PH: (269) 794-4830
FAX: (269) 794-4837



RENOVATION / ADAPTIVE REUSE FOR:
BONITA LOFTS LDHA LLC
DETROIT, MI

PROJECT # 0372-15

ISSUANCES

50% REVIEW 02.11.2016

FOR PRICING 04.05.2016

FOR PERMITS 04.26.2016

REVISIONS

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SHEET TITLE
TITLE SHEET

SHEET NO.

T1.01

CONCEPT DESIGN STUDIO, INC.  
 300 E. CHASE ROAD, SUITE 500  
 ANN ARBOR, MI 48106  
 PH: (248) 784-4335  
 FAX: (248) 784-4337



RENOVATION / ADAPTIVE REUSE FOR:  
**BONITA LOFTS LDHA LLC**  
 DETROIT, MI

PROJECT #	0372-15
ISSUANCES	
50% REVIEW	02.11.2016
FOR PRICING	04.05.2016
FOR PERMITS	04.26.2016

REVISIONS	

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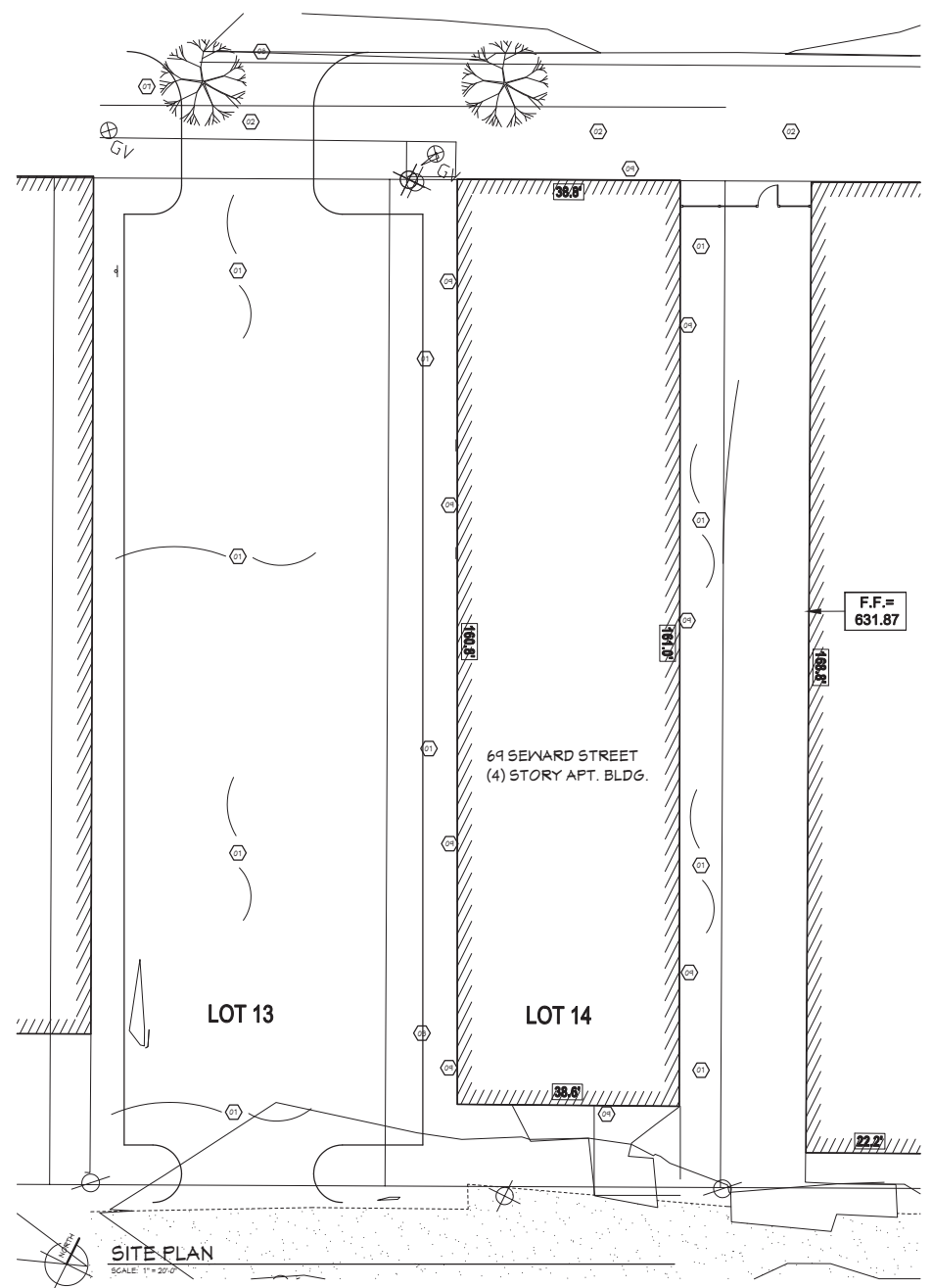
SHEET TITLE:  
 SITE DEMOLITION PLAN

SHEET NO.:

**C0.01**

- SITE DEMOLITION NOTES**
- (V1) MODIFY GRADES THIS AREA, REFER TO SHEET C2.00.
  - (V2) REMOVE EXISTING CONCRETE SIDEWALK THIS AREA. COORDINATE ALL WORK WITH CITY. REFER TO SITE DRAWINGS FOR COORDINATION OF NEW CONSTRUCTION.
  - (V3) REMOVE EXISTING STAIRS, STAIR FOUNDATION WALLS AND FOOTING THIS AREA.
  - (V4) DISCONNECT EXISTING GAS LINE AND METER, COORDINATE WITH CITY AND UTILITY PROVIDER. REFER TO SITE DRAWINGS FOR NEW GAS LINE LOCATION.
  - (V5) DISCONNECT EXISTING ELECTRICAL SERVICE TO BUILDING. COORDINATE WITH CITY AND DTE ENERGY. REFER TO SITE DRAWING FOR NEW ELECTRICAL SERVICE LOCATION.
  - (V6) DISCONNECT EXISTING WATER AND SEWER SERVICE TO BUILDING. COORDINATE WITH CITY. REFER TO SITE DRAWING FOR NEW SERVICE LOCATION.
  - (V7) REMOVE EXISTING TREE THIS AREA. REFER TO SITE DRAWINGS AND LANDSCAPE PLAN FOR COORDINATION WITH NEW CONSTRUCTION.
  - (V8) REMOVE SECTION OF EXISTING CURB THIS AREA AND PREP FOR NEW CURB CUT. INSTALL PER CITY OF DETROIT SPECIFICATIONS.
  - (V9) REMOVE SOILS AT PERIMETER FOUNDATION WALLS AND FOOTING. CLEAN FOUNDATION WALLS AND FOOTING AND INSTALL WATERPROOFING. COORDINATE TOP OF WATERPROOFING WITH NEW FINISH GRADE LINE.

- GENERAL DEMOLITION NOTES:**
1. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS BEFORE DEMOLITION.
  2. DISCONNECT AND REMOVE ALL ELECTRICAL DEVICES, CONDUITS, WIRE, PANEL BOARD, DISCONNECTS, LIGHTS AND OTHER ELECTRICAL OR ELECTRONIC SYSTEMS INCLUDING BUT NOT LIMITED TO PHONES, CABLES, SECURITY ALARMS, FIRE ALARMS, ETC.
  3. CONTRACTOR TO VERIFY WITH OWNER IDEG APPROVAL FOR ALL DEMOLITION AREAS.



**SITE PLAN**  
 SCALE: 1" = 20'-0"

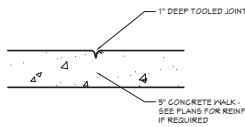
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GENERAL SITE NOTES

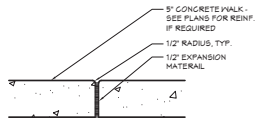
1. CONTRACTOR SHALL REPAIR AND PUT BACK TO THEIR ORIGINAL CONDITION ALL AREAS OUTSIDE THE CONSTRUCTION LIMIT LINE WHICH WERE DISTURBED DURING CONSTRUCTION.
2. SEE SPECIFICATIONS FOR AGGREGATE BASE AND FILL MATERIALS AND INSTALLATION INSTRUCTIONS.
3. CONCRETE PAVES SHALL BE NON REINFORCED IN A THICKNESS AS SPECIFIED. SPACE CONTROL JOINTS MINIMUM OF 1X THE PAVEMENT WIDTH OR AS SHOWN ON THE DRAWINGS. BROOM FINISH AND APPLY 2" BORDER. PROVIDE DETECTABLE MARKING AT RAMP.
4. INSTALLATION OF SLEEVES FOR ELECTRICAL, IRRIGATION, ETC., SHALL BE COMPLETED PRIOR TO THE INSTALLATION OF BASE ASPHALT PAVING COURSE. SLEEVES TO BE FURNISHED BY INDIVIDUAL TRADES FOR THE INTENDED USE.
5. GRADING AT BUILDING TO SLOPE AWAY FROM STRUCTURE A MINIMUM OF 6" OF FALL IN THE FIRST 10'-0" AND A MINIMUM OF 2% THEREAFTER.
6. REFER TO ARCHITECTURAL SURVEY SHEET FOR BENCH MARK INFORMATION.
7. REFER TO GEOTECHNICAL EVALUATION IN THE SPECIFICATION FOR SOIL BORINGS AND RECOMMENDATIONS FOR SUB GRADE PREPARATIONS FOR FOUNDATIONS, GRADE SLABS, AND CONSTRUCTION CONSIDERATIONS.

LEGEND

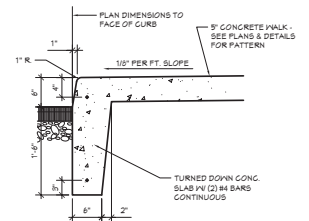
- CONCRETE SIDEWALK
- BITUMINOUS PAVING
- NEW CATCH BASIN PAD 8'-0"x8'-0" CONCRETE PAD



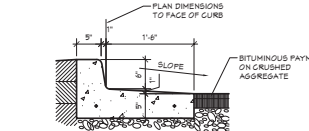
01 WALK CONTROL JOINT  
SCALE: 1 1/2" = 1'-0"



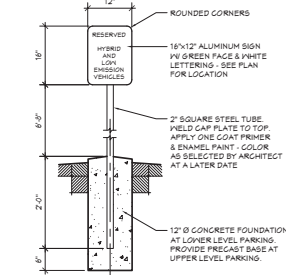
02 WALK EXPANSION JOINT  
SCALE: 1 1/2" = 1'-0"



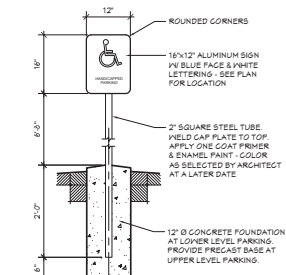
03 SIDEWALK CURB DETAIL  
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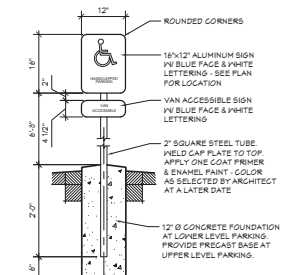
04 CURB & GUTTER DETAIL  
SCALE: 1" = 1'-0"



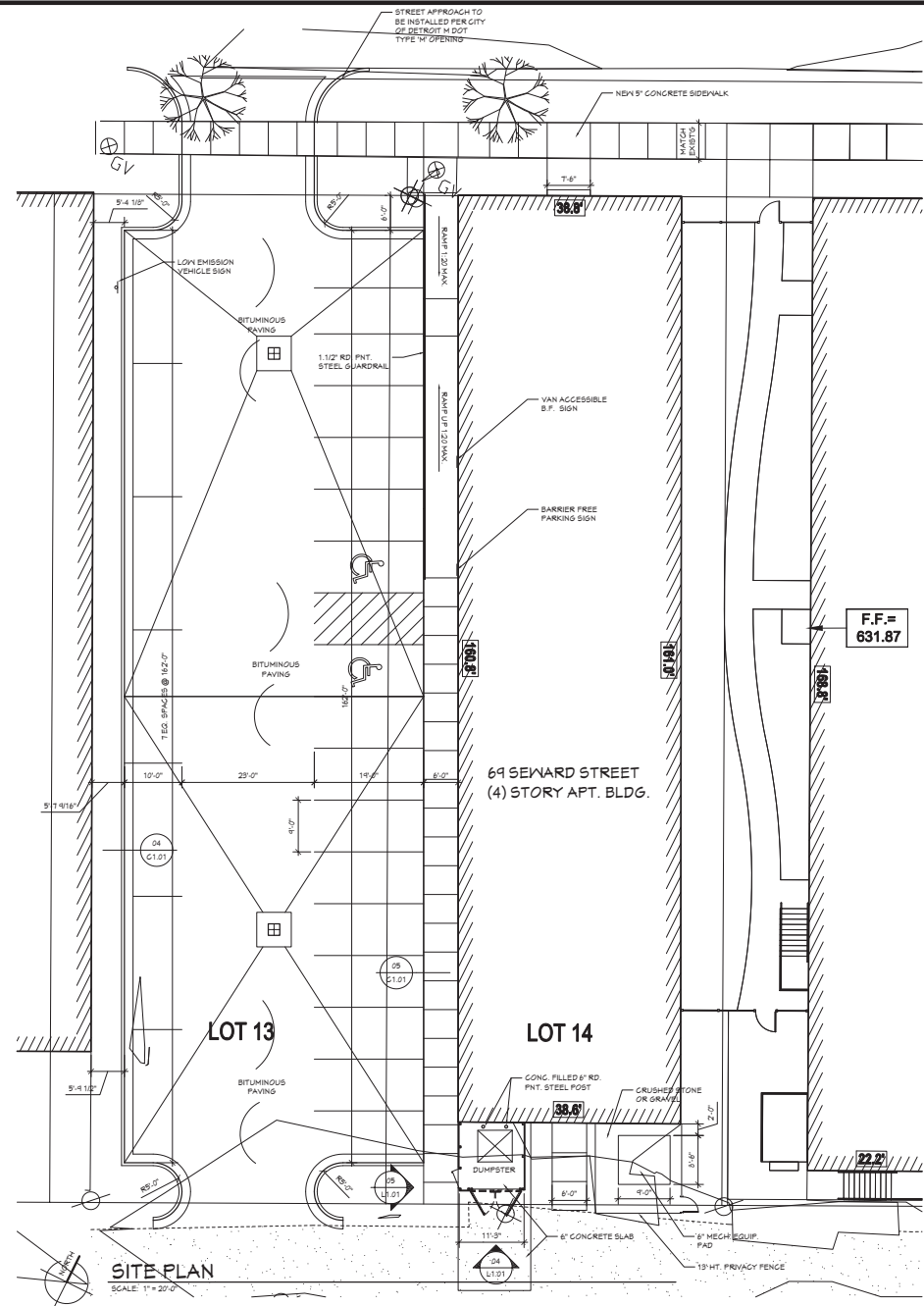
05 LOW EMISSION SIGN  
SCALE: 3/4" = 1'-0"



06 B.F. SIGN  
SCALE: 3/4" = 1'-0"



07 B.F. SIGN (VAN)  
SCALE: 3/4" = 1'-0"



CONCEPT DESIGN STUDIO, INC.  
300 E. HUBBARD ROAD SUITE 500  
ANN ARBOR MI 48106  
PH: (248) 784-4353  
FAX: (248) 784-4357

RENOVATION / ADAPTIVE REUSE FOR:  
**BONITA LOFTS LDHA LLC**  
DETROIT, MI

PROJECT #	0372-15
ISSUANCES	
50% REVIEW	02.11.2016
FOR PRICING	04.05.2016
FOR PERMITS	04.26.2016
REVISIONS	
Copyright © 2015 Concept Design Studio, Inc. All Rights Reserved.	
DRAWN BY	XXX
SHEET TITLE	SITE PLAN

SHEET NO.  
**C1.01**

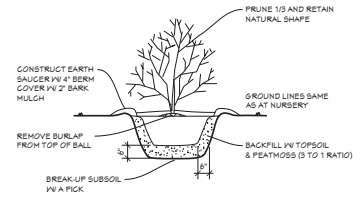
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**LANDSCAPE NOTES**

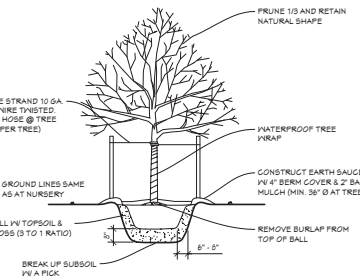
1. ALL PLANTS BEDS SHALL BE MULCHED WITH 3" DEPTH SHREDED HARDWOOD BARK MULCH. THE EXACT LOCATION OF ALL TREES AND SHRUBS SHALL BE DETERMINED IN THE FIELD. PLANTINGS SHALL BE GUARANTEED FOR A PERIOD OF ONE FULL YEAR AFTER COMPLETION. REPLACEMENT PLANTS SHALL CARRY SAME GUARANTEE.
2. ALL LAWN AREAS SHALL BE TREATED AS NOTED ON THE PLAN BY SODDING WITH CLASS 'A' SOD.
3. TREAT ALL SOILS IN PLANTING BEDS WITH APPROVED HERBICIDE PRIOR TO INSTALLATION OF ANY BARK MULCH. ANY NIPED GROWTH DURING 45 DAY PERIOD FOLLOWING COMPLETION SHALL ALSO BE TREATED BY THE LANDSCAPE CONTRACTOR.
4. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO VISIT THE SITE AND VERIFY ALL SITE CONDITIONS AND DIMENSIONS PRIOR TO SUBMITTING BID.
5. THE LOCATION OF UTILITY LINES AND OTHER UNDERGROUND PIPES, WIRES, ETC. SHALL BE VERIFIED BY THE LANDSCAPE CONTRACTOR PRIOR TO PLANTING.
6. ALL TREES, SHRUBS, GROUND COVER AND PERENNIALS USED ON THIS PROJECT SHALL BE OF SPECIES AND QUALITY CALLED FOR UNLESS APPROVED BY ARCHITECT PRIOR TO PLANTING AND SHALL BE HANDLED AND PLANTED IN A MANNER SO RECOGNIZED AS PROPER HORTICULTURAL PROCEDURE BY THAT TRADE.
7. LANDSCAPE CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE THE SIDEWALK, ASPHALT PAVING AND/OR PARKING LOT STRIPS AND SHALL BE RESPONSIBLE FOR THE CLEANING UP OF ALL LANDSCAPE MATERIALS.
8. THE LANDSCAPE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, TRANSPORTATION, EQUIPMENT AND SUPERVISION AND SHALL EXECUTE, CONSTRUCT AND COMPLETE WORK IN AN EXPEDITIOUS AND PROFESSIONAL, WORKMANLIKE MANNER TO THE SATISFACTION OF THE OWNER. THE COMPLETE SITE LANDSCAPING FOR THE PROJECT AS SHOWN AND IMPLIED ON THIS SHEET.
9. LAWN AREA: SOD ON 4" DEEP TOP SOIL (TYPICAL)

**PLANT LIST**

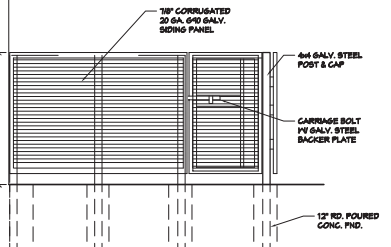
SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE
A	THORNLESS HONEY LOCUST	GLEDITSIA TRIACANTHOS	3" CAL
B	REDSPIRE PEAR	PYRUS CALLERYANA	3" CAL
C	DENSE YEW	DENSIFORMIS DENSE SPREADING	NO. 2
D	GEORGIA PEACH CORAL BELL	HELGHERA VILLOSA	NO. 2
E	BLUE HILL MEADOWSAGE	SILVIA X SYLVESTRIS 'BLUE HILL'	NO. 2
F	HOSTA 'SUM AND SUBSTANCE'		NO. 2



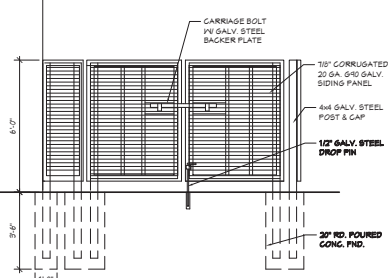
**03 SHRUB PLANTING DETAIL**  
L1.01 SCALE: 3/8" = 1'-0"



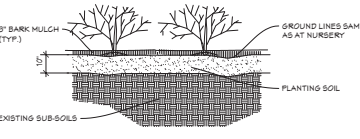
**02 TREE PLANTING DETAIL**  
L1.01 SCALE: 3/8" = 1'-0"



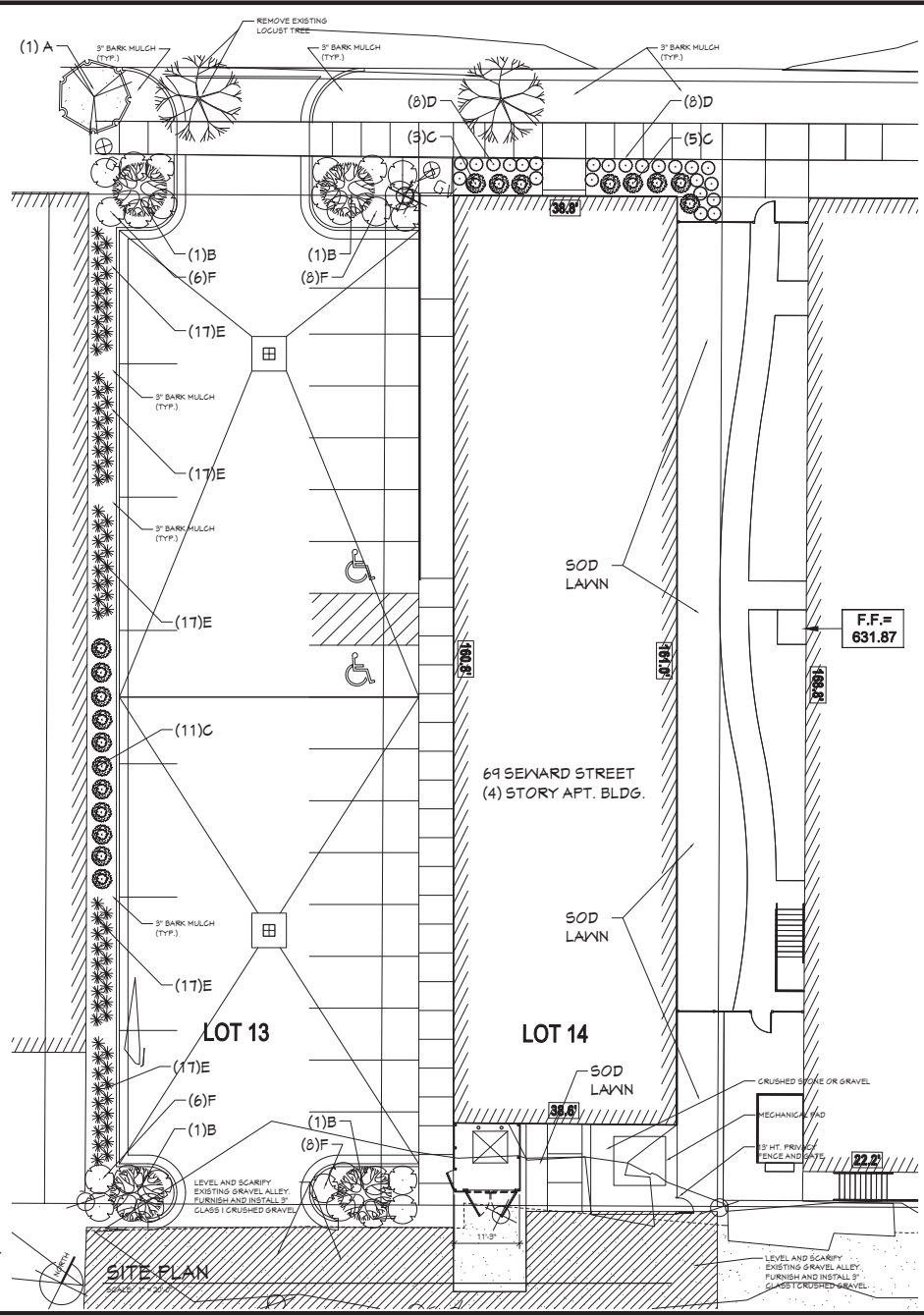
**05 FENCE DETAIL**  
L1.01 SCALE: 1/4" = 1'-0"



**04 STRAIGHT CURB DETAIL**  
L1.01 SCALE: 3/8" = 1'-0"



**01 GROUND COVER & PERENNIAL PLANTING DETAIL**  
L1.01 SCALE: 3/8" = 1'-0"



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SHEET TITLE: LANDSCAPE PLAN

SHEET NO.

**L1.01**

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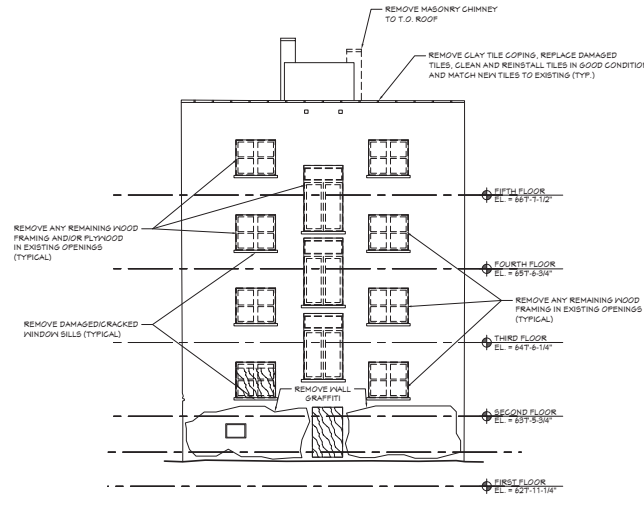
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SHEET TITLE  
**EXTERIOR DEMOLITION ELEVATIONS**

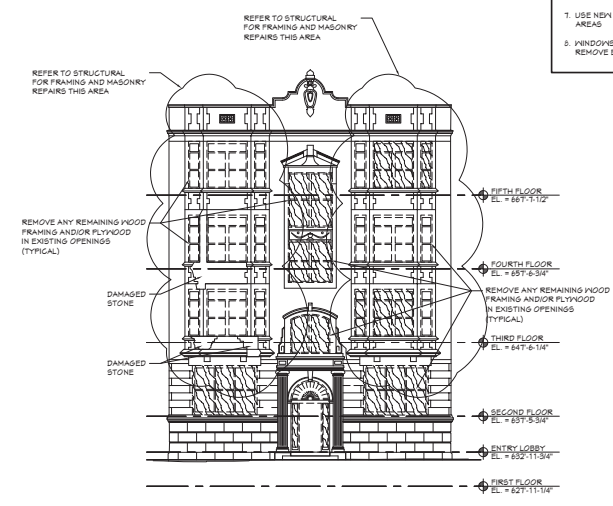
SHEET NO.

**A0.10**

- GENERAL NOTES**
- REFER TO STRUCTURAL SHEETS FOR MASONRY REPAIRS
  - CLEAN EXISTING EXTERIOR EXPOSED BRICK. REFER TO SPECIFICATIONS.
  - REFER TO STRUCTURAL SHEETS FOR SILL REPAIRS AND/OR REPLACEMENT.
  - REFER TO STRUCTURAL SHEETS RE POINTING MORTAR BED JOINTS.
  - RECESS NEW BRICK IN EXISTING OPENINGS. RECESS 3/4" IN EXISTING WINDOW OR DOOR OPENINGS. USE NEW BRICK ONLY, COLOR AND SIZE AS SELECTED BY ARCHITECT.
  - USE EXISTING / RECLAIMED BRICK OR MATCH BRICK IN REPAIR AREAS.
  - USE NEW BRICK AT WINDOW OR DOOR IN-FILL AREAS
  - WINDOWS HAVE BEEN REMOVED. CONTRACTOR TO REMOVE EXISTING WINDOW FRAMING.



**SOUTH EXTERIOR DEMOLITION ELEVATION**  
 SCALE: 1/8" = 1'-0"



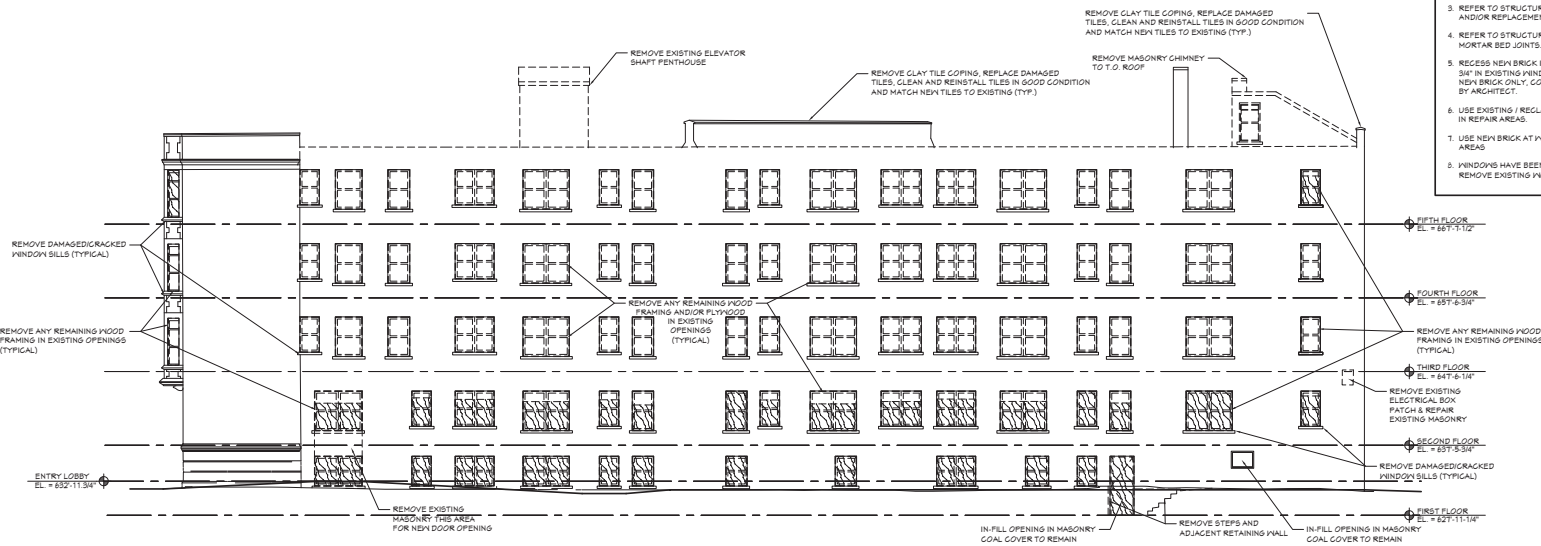
**NORTH EXTERIOR DEMOLITION ELEVATION**  
 SCALE: 1/8" = 1'-0"





**EAST EXTERIOR DEMOLITION ELEVATION**

SCALE: 1/8" = 1'-0"



**WEST EXTERIOR DEMOLITION ELEVATION**

SCALE: 1/8" = 1'-0"

- GENERAL NOTES**
1. REFER TO STRUCTURAL SHEETS FOR MASONRY REPAIRS
  2. CLEAN EXISTING EXTERIOR EXPOSED BRICK. REFER TO SPECIFICATIONS.
  3. REFER TO STRUCTURAL SHEETS FOR SILL REPAIRS AND/OR REPLACEMENT.
  4. REFER TO STRUCTURAL SHEETS RE POINTING MORTAR BED JOINTS.
  5. RECESS NEW BRICK IN EXISTING OPENING, RECESS 3/4" IN EXISTING WINDOW OR DOOR OPENINGS. USE NEW BRICK ONLY, COLOR AND SIZE AS SELECTED BY ARCHITECT.
  6. USE EXISTING / RECLAIMED BRICK OR MATCH BRICK IN REPAIR AREAS.
  7. USE NEW BRICK AT WINDOW OR DOOR IN-FILL AREAS.
  8. WINDOWS HAVE BEEN REMOVED. CONTRACTOR TO REMOVE EXISTING WOOD FRAMING.

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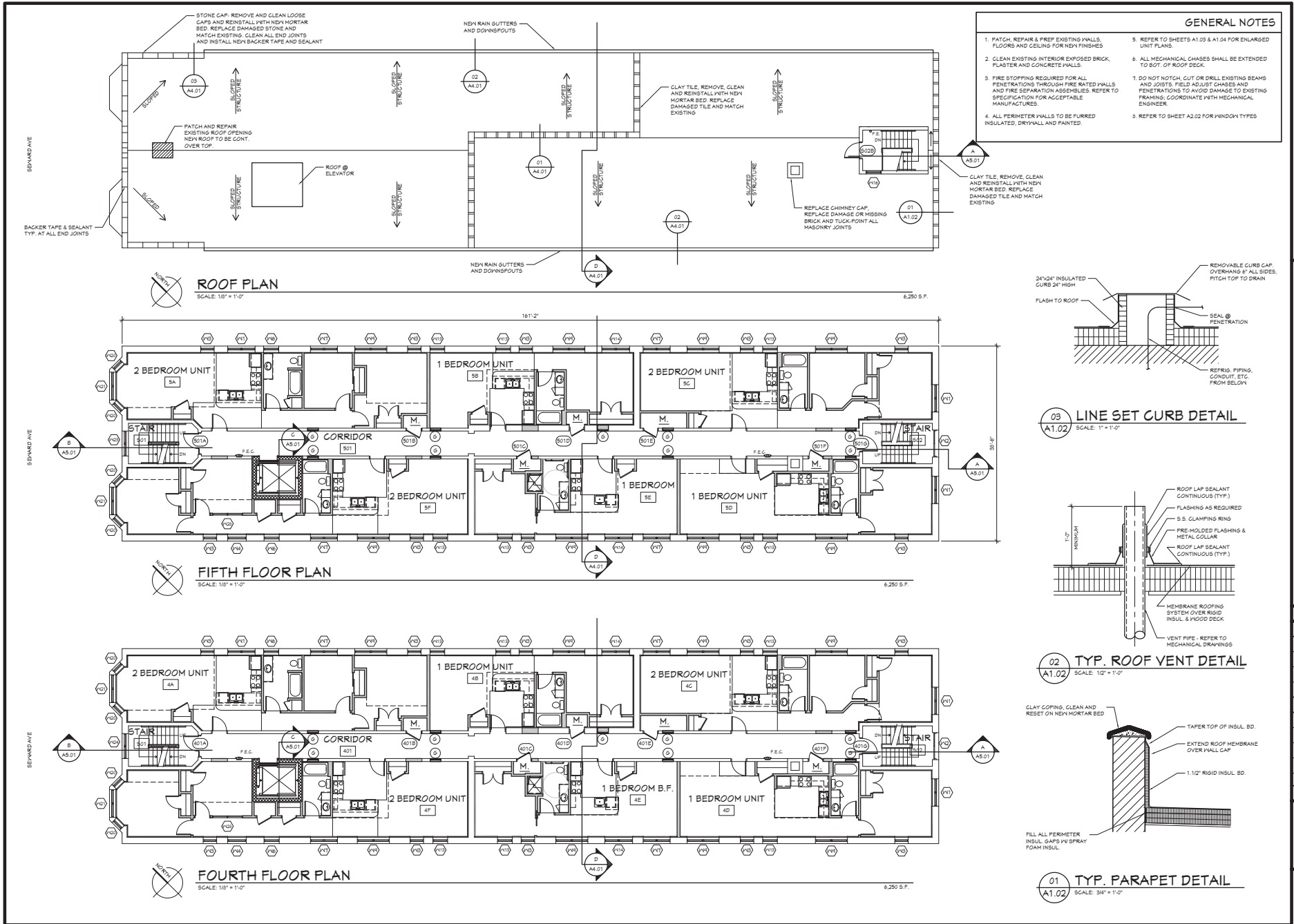
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SHEET TITLE	EXTERIOR DEMOLITION ELEVATIONS

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**A0.11**

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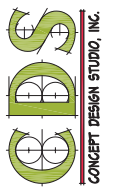
FLOOR PLANS

SHEET NO.

**A1.02**

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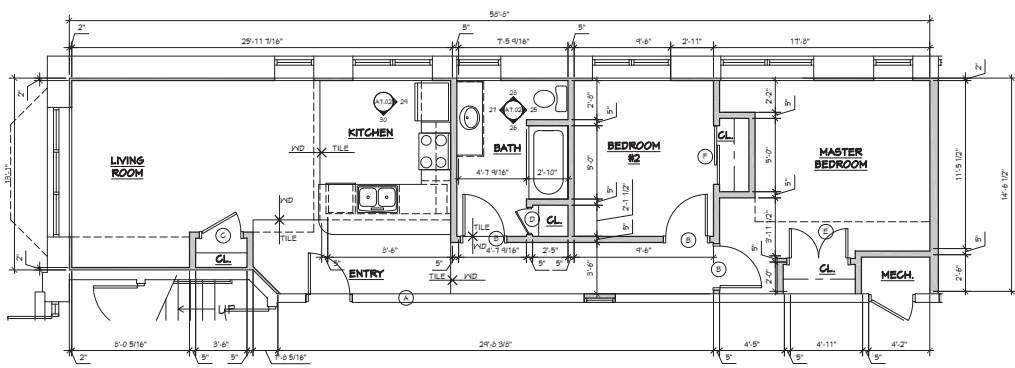
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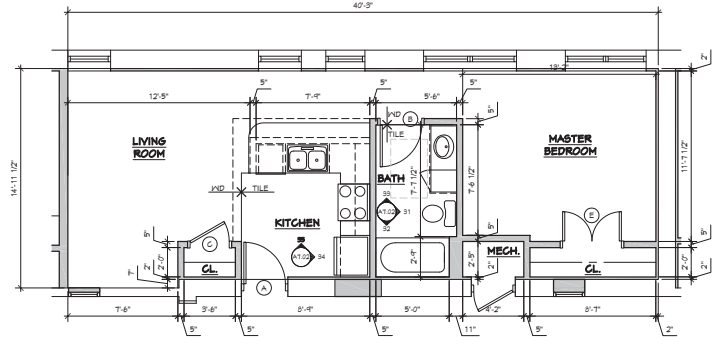
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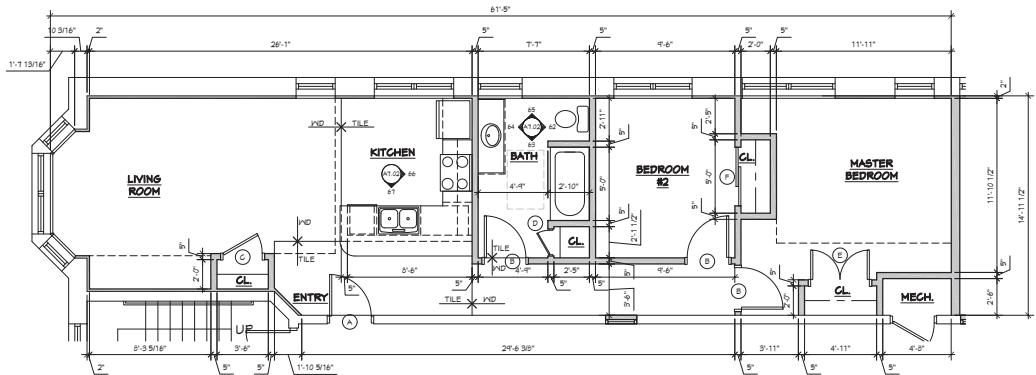
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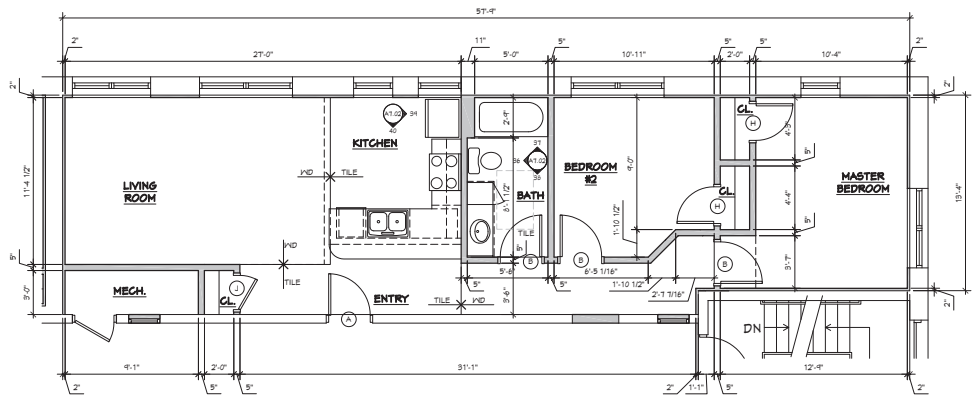
**2 BEDROOM - UNIT 2A**  
SCALE: 1/4" = 1'-0"



**1 BEDROOM - UNITS 3B - 5B**  
SCALE: 1/4" = 1'-0"

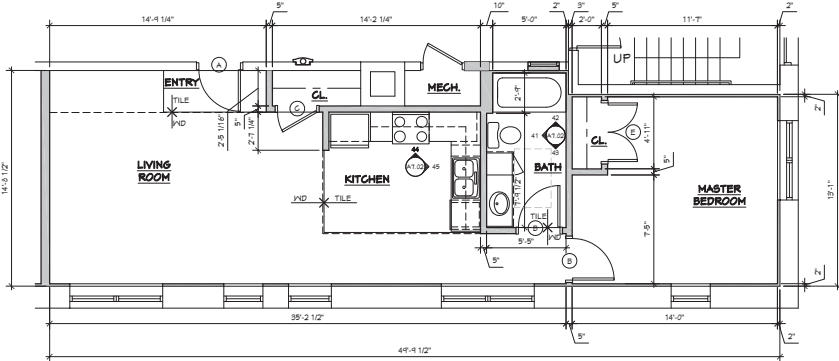


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SCALE: 1/4" = 1'-0"

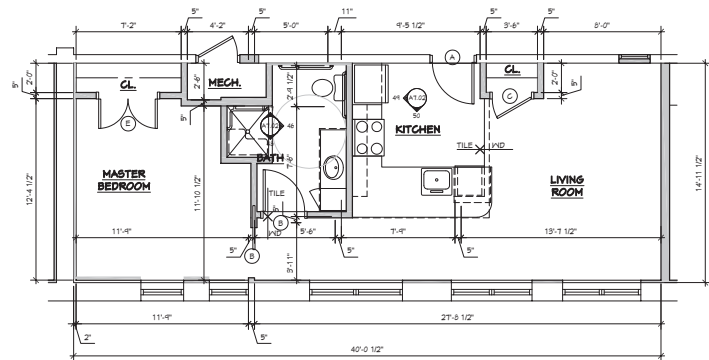


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SCALE: 1/4" = 1'-0"

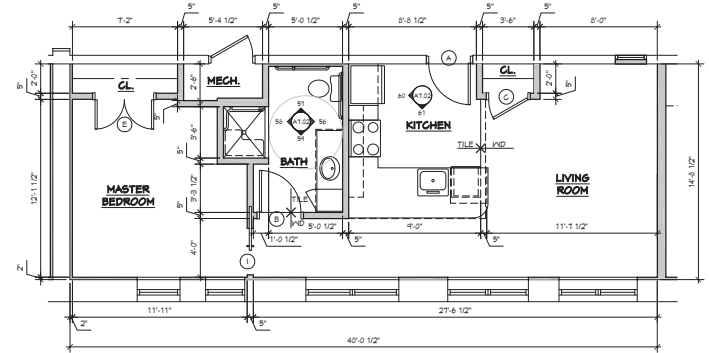
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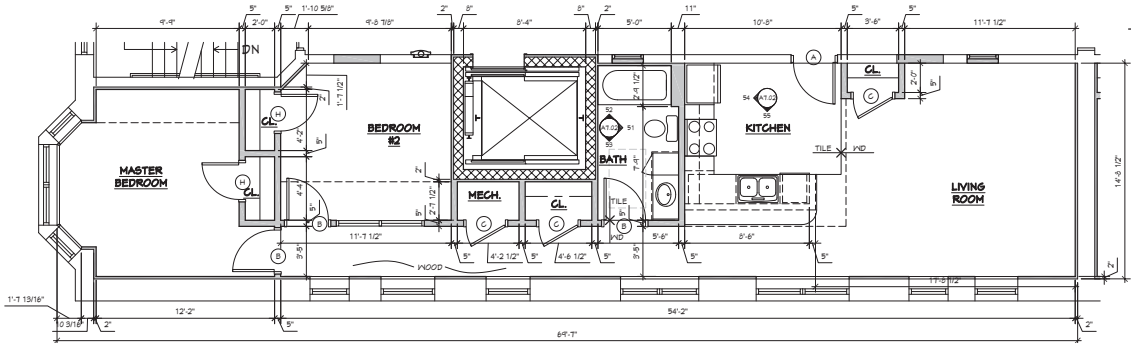
**1 BEDROOM - UNITS 2D - 5D**  
SCALE: 1/8" = 1'-0"



**1 BEDROOM - UNITS 5E**  
SCALE: 1/8" = 1'-0"



**1 BEDROOM (BARRIER FREE) - UNITS 2E, 3E, & 4E**  
SCALE: 1/8" = 1'-0"



**2 BEDROOM - UNITS 3F - 5F**  
SCALE: 1/8" = 1'-0"

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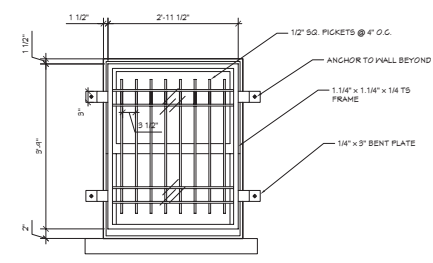
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SHEET NO.	

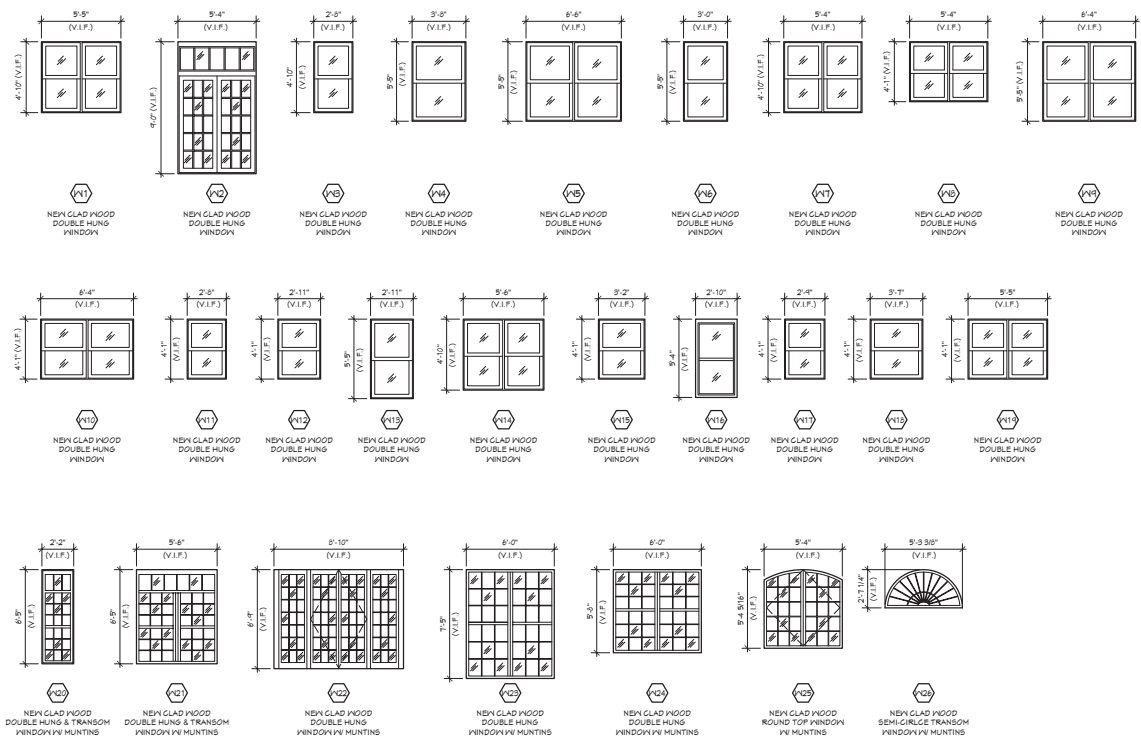
**A1.04**

4/11/2016 4:00 PM Z:\PROJECTS\03-15 Bonita Lofts\03 Drawings\03-15\A1.04.dwg





01 TYPICAL WINDOW GUARD DETAIL  
A2.02 SCALE: 3/4" = 1'-0"  
NOTE: 1. FIELD MEASURE WINDOWS PRIOR TO FABRICATION



WINDOW TYPES  
SCALE: 1/4" = 1'-0"

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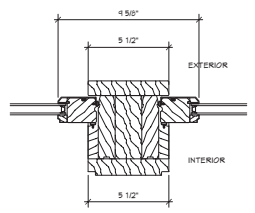
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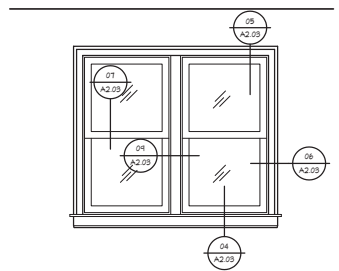
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SHEET TITLE	WINDOW TYPES

SHEET NO.  
**A2.02**

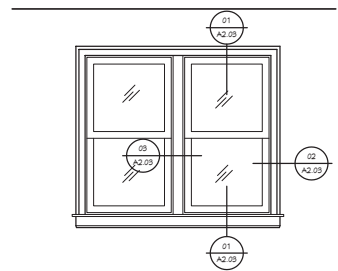
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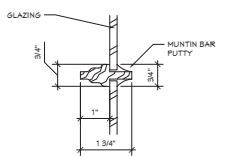
09 EXISTING CENTER POST/MULLION DETAIL  
A2.03 SCALE: 3" = 1'-0"



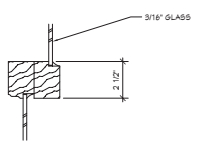
10 TYPICAL EXISTING WINDOW ELEVATION  
A2.03 SCALE: 1/2" = 1'-0" NOTE: 1. FIELD MEASURE WINDOWS PRIOR TO FABRICATION



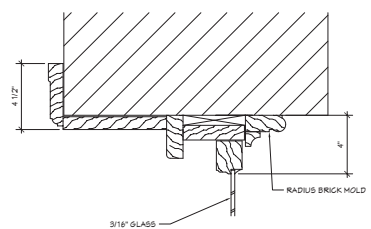
11 TYPICAL NEW WINDOW ELEVATION  
A2.03 SCALE: 1/2" = 1'-0" NOTE: 1. FIELD MEASURE WINDOWS PRIOR TO FABRICATION



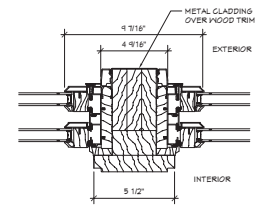
08 EXISTING WOOD WINDOW MUNTIN BAR DETAIL  
A2.03 SCALE: 8" = 1'-0" (TYP. @ NORTH ELEV. WINDOWS)



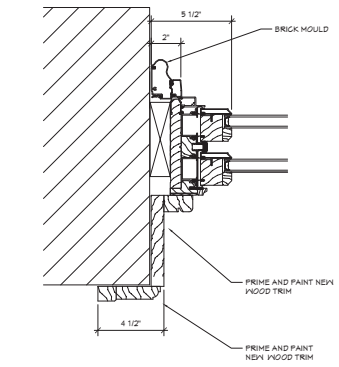
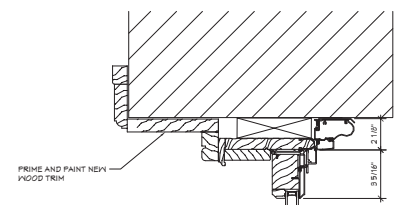
07 EXISTING WOOD WINDOW INTERMEDIATE RAIL DETAIL  
A2.03 SCALE: 3" = 1'-0"



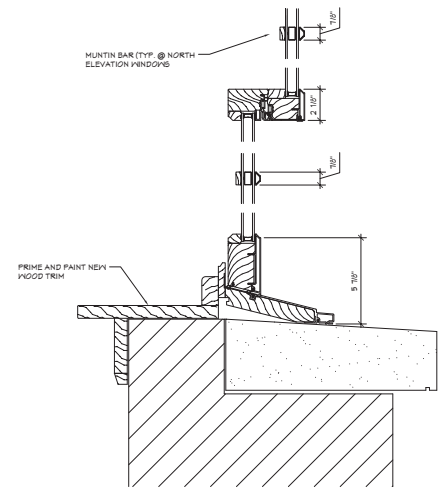
05 EXISTING WOOD WINDOW HEAD DETAIL  
A2.03 SCALE: 3" = 1'-0"



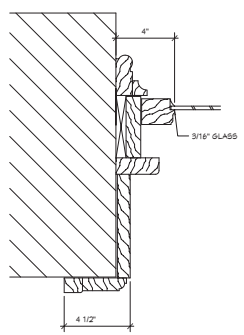
03 NEW CENTER POST/MULLION DETAIL  
A2.03 SCALE: 3" = 1'-0"



04 EXISTING WOOD WINDOW SILL  
A2.03 SCALE: 3" = 1'-0"

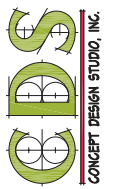


01 NEW WOOD CLAD WINDOW AND TRIM REPLACEMENT SECTION  
A2.03 SCALE: 3" = 1'-0"



06 EXISTING WOOD WINDOW JAMB DETAIL  
A2.03 SCALE: 3" = 1'-0"

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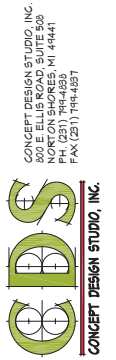
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SHEET TITLE: WINDOW DETAILS

SHEET NO.

**A2.03**





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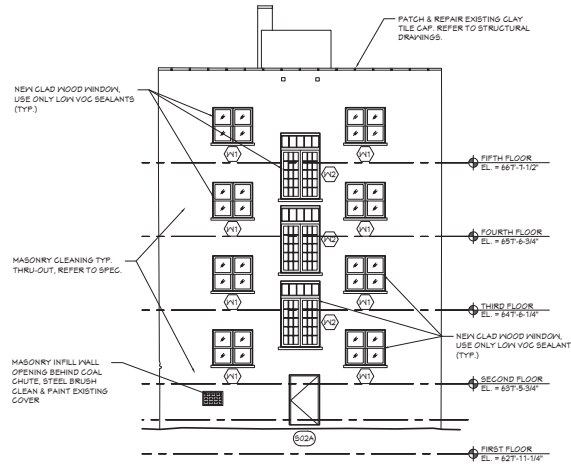
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SHEET TITLE  
**ELEVATIONS**

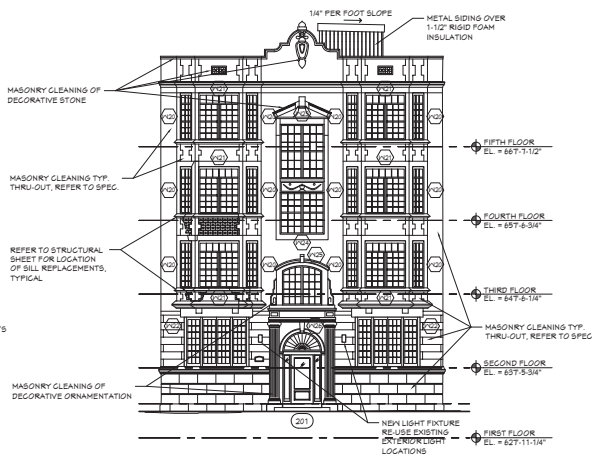
SHEET NO.

**A3.01**



**SOUTH ELEVATION**

SCALE: 1/8"=1'-0"



**NORTH ELEVATION**

SCALE: 1/8"=1'-0"

- GENERAL NOTES**
1. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THIS PROJECT'S ASBESTOS AND LEAD BASE PAINT ABATEMENT SPECIFICATIONS AS PREPARED BY PM ENVIRONMENTAL & ENGINEERING SERVICES.
  2. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF OWNER FURNISHED EQUIPMENT, INCLUDING THE DIMENSIONS OF SUCH AS THEY RELATE TO HISHER OWN WORK.
  3. REPLACE DAMAGED AND/OR MISSING BRICK WITH EXISTING BRICK FROM DEMOLITION AREAS OR MATCH WITH NEW.
  4. REPLACE DAMAGED WINDOW SILLS AND REPLACE WITH MATCHING RECAST SILLS.
  4. TUCK POINT MASONRY JOINTS ONLY AS REQUIRED, MATCH ADJACENT MORTAR COLOR, TEXTURE AND USE LIKE BASE MORTAR.
  6. CLEAN ALL BRICK MASONRY INCLUDING FOUNDATION STONE, SILLS AND METALS IN ACCORDANCE WITH NATIONAL PAINT SERVICE STANDARDS, REFER TO SPECIFICATION.
  7. WINDOW CONTRACTOR TO FIELD VERIFY ALL WINDOW AND ROUGH OPENING SIZES.
  8. REPLACE DAMAGE CLAY TILE CAPS, CAP STONES, CLEAN AND REPAIR EXISTING CLAY GAPS IN GOOD CONDITION. MATCH NEW TO EXISTING COLOR AND PROFILE.
  9. PAINT ALL EXISTING MISC. METALS TO REMAIN.

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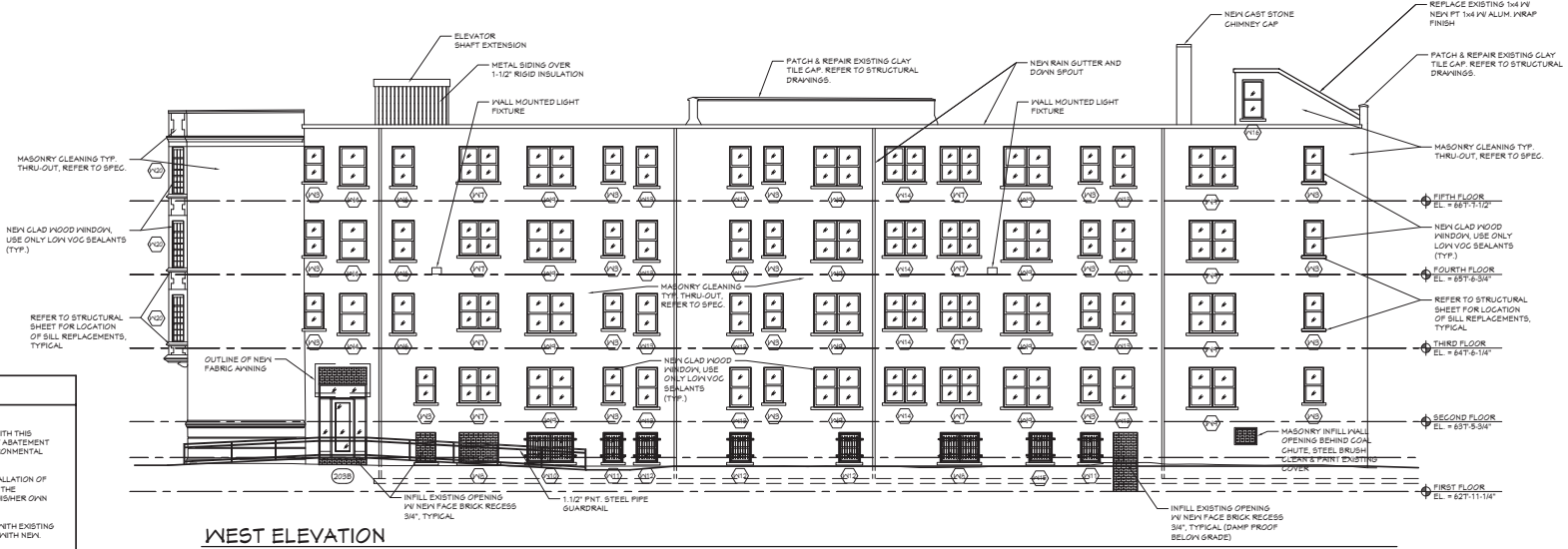
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SHEET TITLE

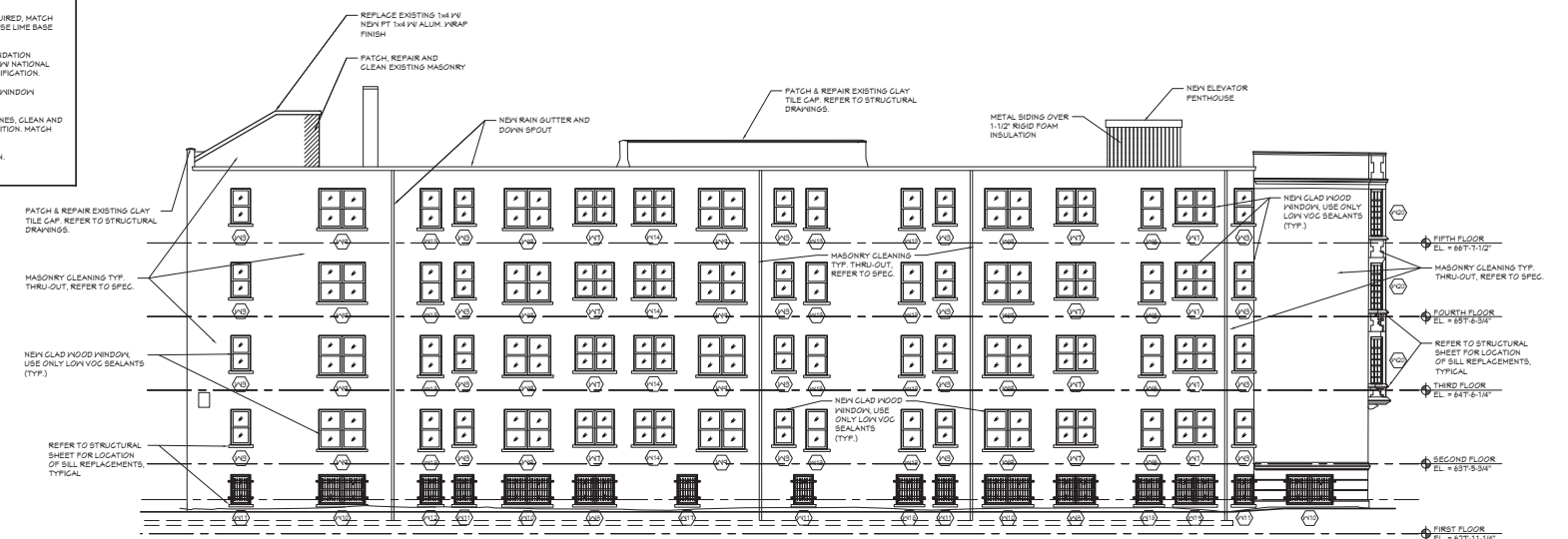
**ELEVATIONS**

SHEET NO.

**A3.02**



**WEST ELEVATION**  
SCALE: 1/8"=1'-0"



**EAST ELEVATION**  
SCALE: 1/8"=1'-0"

- GENERAL NOTES**
1. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THIS PROJECT'S ASBESTOS AND LEAD BASE PAINT ABATEMENT SPECIFICATIONS AS PREPARED BY PM ENVIRONMENTAL & ENGINEERING SERVICES.
  2. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF OWNER FURNISHED EQUIPMENT, INCLUDING THE DIMENSIONS OF SUCH AS THEY RELATE TO HIS/HER OWN WORK.
  3. REPLACE DAMAGED AND/OR MISSING BRICK WITH EXISTING BRICK FROM DEMOLITION AREAS OR MATCH WITH NEW.
  4. REPLACE DAMAGED WINDOW SILLS AND REPLACE WITH MATCHING RECAST SILLS.
  4. TUCK-POINT MASONRY JOINTS ONLY AS REQUIRED, MATCH ADJACENT MORTAR COLOR, TEXTURE AND USE LIME BASE MORTAR.
  6. CLEAN ALL BRICK MASONRY INCLUDING FOUNDATION, STONE, SILLS AND METALS IN ACCORDANCE WITH NATIONAL PARK SERVICE STANDARDS, REFER TO SPECIFICATION.
  7. WINDOW CONTRACTOR TO FIELD VERIFY ALL WINDOW AND ROUGH OPENING SIZES.
  8. REPLACE DAMAGE CLAY TILE CAPS, CAP STONES, CLEAN AND REPAIR EXISTING CLAY TILE CAPS IN GOOD CONDITION. MATCH NEW TO EXISTING COLOR AND PROFILE.
  9. PAINT ALL EXISTING MISC. METALS TO REMAIN.

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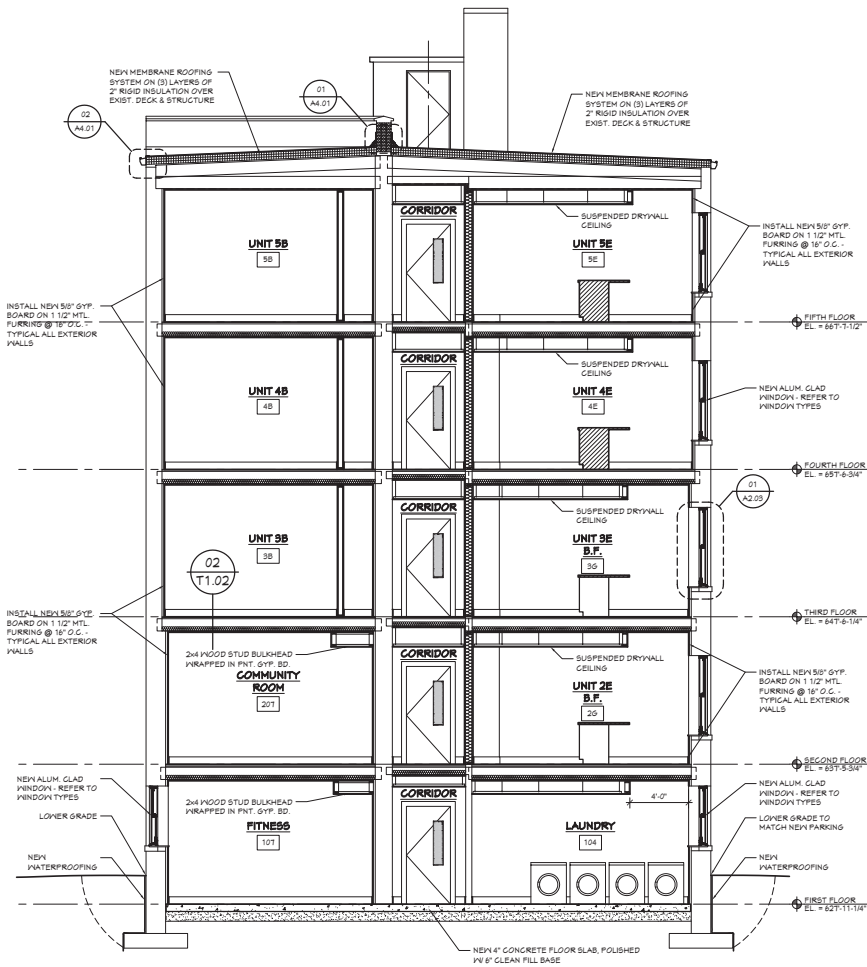
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DRAWN BY: **SMY**

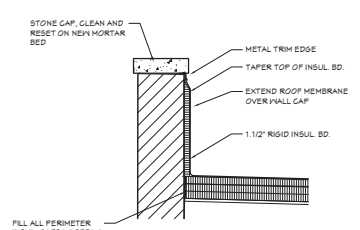
SHEET TITLE  
**BUILDING SECTION & DETAILS**

SHEET NO.

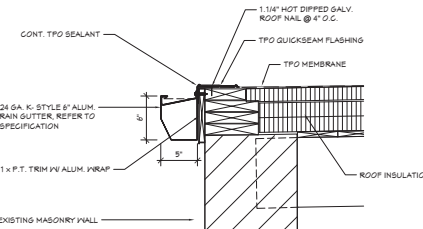
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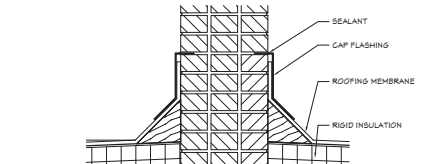
**D BUILDING SECTION**  
A4.01 SCALE: 1/4" = 1'-0"



**03 TYP. PARAPET DETAIL**  
A4.01 SCALE: 3/4" = 1'-0"



**02 ROOF EDGE W/ RAIN GUTTER**  
A4.01 SCALE: 1/12" = 1'-0"



**01 MASONRY FIREWALL PARAPET DETAIL**  
A4.01 SCALE: 1/12" = 1'-0"

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## Sec. 21-2-129. - New Center Area Historic District.

- (a) An historic district to be known as the New Center Area Historic District is hereby established in accordance with the provisions of this article.
- (b) This historic district designation is hereby certified as being consistent with the Detroit Master Plan of Policies.
- (c) The boundaries of the New Center Area Historic District, as shown on the map on file in the Office of the City Clerk, are as follows:

Beginning at the intersection of the center lines of Lothrop and Second Avenue and proceeding northerly along the center line of Second Avenue to its intersection with the center line of Bethune; thence westerly along the center line of Bethune to its intersection with the center line of Bethune Court to its intersection with the center line of Delaware; thence easterly along the center line of Delaware to its intersection with the center line of Second; thence southerly along said center line of Second Avenue to its intersection with the center line of the east-west alley between Delaware and Pallister; thence easterly along said east-west alley to its intersection with the center line of the north-south alley between Woodward Avenue and Second; thence northerly along the center line of said north-south alley to its intersection with the southerly boundary of Lot 92 of Peerless Addition No. 1 of part of quarter section 56 of the 10,000-acre tract (L18/P38) extended westward; thence easterly along the southern boundary of said Lot 92, extended eastward, to its intersection with the center line of Woodward Avenue; thence northerly along the center line of Woodward Avenue to its intersection with the center line of the east-west alley between Virginia Park and Euclid, extended eastward, this being the same as the northern boundary of Lot 1 the aforementioned Peerless Addition No. 1, extended eastward; thence westerly along the center line of said east-west alley to its intersection with the center line of the east service drive of the John C. Lodge Freeway; thence southerly along the center line of said east service drive to its intersection with the center line of the east-west alley between Seward and Virginia Park; thence easterly along the center line of the said east-west alley between Seward and Virginia Park to its intersection with the center line of Third Avenue; thence southerly along said center line of Third Avenue to its intersection with the center line of Seward; thence west along said center line of Seward to its intersection with a line drawn parallel to and 13 feet west of the western boundary of Lot 14, Block 7, of Beck's Subdivision of part of quarter sections 55 and 56, 10,000-acre tract (L4/P59); thence southerly along said line to its intersection with the center line of the east-west alley lying between Seward and Delaware; thence westerly along the center line of said alley to its intersection with western boundary of Lot 38 (extended northward) of Block 4 of Henry Weber's Subdivision of part of quarter sections 55 and 56, 10,000-acre tract (L2/P40); thence southerly along said western boundary of Lot 38 extended southward to its intersection with the center line of Delaware; thence easterly along the center line of Delaware to its intersection with the center line of Third Avenue; thence southerly along the center line of Third Avenue to its intersection with the center line of Lothrop; thence easterly along the center line of Lothrop to the point of the beginning. (These boundaries include: Peerless Addition No. 1 of part of quarter section 56, TTAT (L18/P38), Lots 1-14 and 79-92; Peerless Addition No. 2 of part of quarter section 56, TTAT (L18/P39), Lots 15-30 and 63-78; Peerless Addition No 3 of part of quarter section 56, TTAT (L18/P40), Lots 31-41 and 52-62; Leggett's Sub of part of Henry Weber's Sub of part of sections 55 and 56, TTAT (L21/P53), Lots 22-32 and part of Lot 21 and Lots 65-75 and west 30 feet of Lot 76; Stone, Todd and Company's Sub of Lots 1, 2, and 3 of center part of quarter sections 55 and 56, TTAT, and Lots 41, 42, 43 and 44 of Henry Weber's Sub of quarter sections 55 and 56, TTAT (L18/P99), Lots 5-18 and Lots 25-70; Lothrop and Duffield's Sub of part of quarter sections 55 and 56, TTAT (L17/P22), Lots 70-85, 110-125, and 28-37 and west 45 feet of 27; Beck's Sub of part of quarter sections 55 and 56, TTAT (L4/P59), Block 2, Lots 5-10 and vacated Beck Street; Block 3, Lots 4-9 and vacated Beck Street, Block 4, Lots 1-6 and vacated Otto inclusive, Block 5, Lots 1-6 and vacated Otto inclusive, Block 6, Lots 1-7 and east 16.5 feet of Lot 8; and Block 7, Lots 14-24 and east 13 feet of Lot 13; Henry Weber's Sub of Lots 5-7 and 9, part of Leggett and Miller's Sub of part of sections 55 and 56, TTAT, (L2/P40), Lots 5, 6 and east 40 feet of Lot 7 and Lots 38, 39, and the west 30 feet of Lot 40; and Schmidt's Sub of part of quarter sections 55 and 56, TTAT (L19/P66), Lots 1-16).

- (d) The elements of design, as defined in Section 21-2-2 of this Code, shall be as follows:
- (1) *Height.* All houses that were originally single- or two-family have two full stories plus an attic or finished third floor within the roof; these are generally called "two-and-a half-story" houses. The few terraces in the district are two or 2½ stories tall. Apartment buildings range in height from three to ten stories; the majority are four stories tall. Additions to existing buildings shall be related to the existing structure; new building in New Center Commons (Delaware, Pallister and Bethune) and on Virginia Park shall meet the following standards:
    - a. The six adjoining structures on the same face, excluding churches and commercial structures, shall be used to determine an average height. If six structures are not available on the same block face, then one or more structures as close as possible to being directly across the street from the proposed structure may be used. The height of the two adjoining houses shall be added into the total twice, with a divisor of eight used to determine the average. Any new building must have a height of the main roof of at least 80 percent of the resulting average; in no case shall a new building be taller than the tallest roof height included in the computation. In determining the height of existing structures and proposed structures, the highest point of the main roof shall be used, even where towers, or other minor elements may be higher.
    - b. The level of the eaves of a proposed new structure having as much or more significance for compatibility as the roof height, an average eave or cornice height shall be determined by the same process as that described in Subsection (e)(1)a of this section. The proposed new structure shall have a height at the eaves, or cornice, of not less than 90 percent of the average determined from existing structures, and in no case shall eaves or cornice of the proposed structure be lower than the lowest eave or cornice height used in the computation, or higher than the highest.
  - (2) *Proportion of buildings' front façades.* Proportion varies in the district, depending on use, style, and size of buildings. While single-family dwellings may appear taller than wide or wider than tall, the overall appearance is neutral. Terraces or rowhouse buildings are wider than tall; apartment buildings appear taller than wide although some are wider than tall due to projecting and receding wall surfaces that emphasize the vertical.
  - (3) *Proportion of openings within the façades.* Areas of voids generally constitute between 15 percent and 35 percent of the front façade, excluding the roof. Most window openings are taller than wide, but are frequently grouped into combinations wider than tall. Where there are transom windows above doors, they are wider than tall; a few round windows exist on upper stories or attics. A great variety of sizes, shapes, and groupings of openings exist in the district.
  - (4) *Rhythm of solids to voids in front façades.* Queen Anne and Arts-and-Crafts style buildings display freedom in the arrangement of openings within the façades, but usually result in a balanced composition. In buildings derived from classical precedents, voids are usually arranged in a symmetrical and evenly spaced manner within the façade.
  - (5) *Rhythm of spacing of buildings on streets.* The spacing of buildings has generally been determined by the setback from the side lot lines. The spacing of buildings tends to be consistent, except where vacant lots occur. On Virginia Park, where lots are approximately 50 feet wide, some buildings are placed closer to one side lot line, creating room for a side driveway. On smaller lots in the district, the buildings occupy most of the width of their lots, while complying with the side lot setback restrictions.
  - (6) *Rhythm of entrance and/or porch projections.* Steps and porches exist on all of the single-unit and

multiple-unit 2½-story dwellings in the district; the progression of porches lends to the consistency of the streetscape. Entrances and porches are either placed centrally on the façade, as is usually the case with Classically-inspired buildings, or are placed to one side of the front façade, and the porch sometimes wraps around to the side. Rear porches are common on single-family residences; few side porches exist due to narrow lot sizes. On Virginia Park, there is an occasional porte cochere.

- (7) *Relationship of materials.* The district exhibits a wide variety of building materials characteristic of single- and multiple-unit residential buildings dating from the last decade of the 19th Century and first quarter of the 20th Century. The majority of buildings are faced with brick; a brick veneer first story and a stucco, clapboard, or wood shingle second story is not unusual. All-stone, all-stucco, and all-wood buildings exist but are few in number. Later replacement siding is uncommon in the district; when it does exist, much of it changes the original visual relationship of the siding to the building. Stone sills and wood trim are common. Roofing includes slate, tile, and asphalt shingles. It is common for apartment buildings to have limestone or concrete high basements or first stories and stone ornamental detail and trim.
- (8) *Relationship of textures.* The most common relationship of textures in the district is that of the low-relief pattern of mortar joints in brick contrasted to the smooth surface of wood trim and masonry sills. The brick is sometimes textured. Also common is the contrast in textures created by the juxtaposition of different materials used for the first and second stories; frequently, a brick first story is contrasted with a stucco or wood-sheathed second story. Half-timbering adds textural interest to the stucco where it exists on Neo-Tudor houses. In apartment buildings, stone, either rough cut or smooth and/or cut to appear like rustification at the basement and/or first-story level, contrasts with the main material, brick. Slate and tile roofs contribute to the textural interest, whereas asphalt shingles generally do not.
- (9) *Relationship of colors.* Paint colors generally relate to style. Natural brick colors (red, brown, yellow, orange, buff) predominate in wall surfaces. Natural stone colors also exist. Stucco and concrete are usually left in their natural state or are painted in a shade of cream; half-timbering is frequently stained or painted brown or brownish-red. Classically inspired buildings, particularly Neo-Georgian and Colonial Revival, frequently have wood trim painted white, cream, or in a range of these colors. Where shutters exist, they are either dark green, black, or another appropriate dark color. Colors known to have been in use on buildings of this type in the 18th Century or 19th Century on similar buildings may be considered for suitability. Buildings of Medieval and/or Arts-and-Crafts inspiration generally have painted wood trim of dark brown; black and red is also present. Queen Anne and Late Victorian style houses may have several colors painted on the same façade. Storm windows are sometimes a different color from the window frames and sashes; window sashes are most often the same color as the window frames, with a few exceptions. Colors used on trim of apartment buildings are frequently brown, gray, black or green. The original color scheme of any building, as determined by professional analysis, is always acceptable for the building, and may provide suggestions for similar buildings. Roofs are in natural colors; slate is predominantly gray, gray-green and black; tile is green or red. Asphalt shingles display a variety of colors, most derived from colors of natural materials (tile, slate and wood colors).
- (10) *Relationship of architectural details.* Architectural details generally relate to style. Porches, window frames, cornices, dormers and gables are frequently treated. Neo-Georgian and Colonial Revival buildings display classic details in wood; buildings influenced by the Arts-and-Crafts movement have wood details, such as half-timbering, heavy vergeboards, and other wood elements. The vernacular "four-square" buildings usually show restraint in detail. In general, the houses on Virginia Park are more ornate than those in the rest of the district. Some of the apartment buildings display carved stone ornament set in panels, string courses, spandrels and cornices.

- (11) *Relationship of roof shapes.* A multiplicity of roof types exist, and frequently within the same building. Predominant are hip and gabled, frequently punctuated with dormers. A few buildings have engaged towers or bays with complex roofs. Other buildings have less complex roofs, appropriate to their architectural style.
- (12) *Walls of continuity.* The major wall of continuity is created by the building façades when their setbacks are uniform within each block face. Where lighting poles and trees exist in sufficient numbers, they contribute to a minor wall of continuity along the tree lawns.
- (13) *Relationship of significant landscape features and surface treatments.* The typical treatment of individual properties is a flat or slightly graded front lawn area in grass turf subdivided by a concrete or brick walk leading to the front entrance; a side walk sometimes leads to the rear. On sufficiently graded lots, steps lead up the earthwork terraces to the front steps. Some straight side driveways, primarily in concrete but a few in brick, leading from the street to the rear garages exist on Virginia Park, Bethune, and Lothrop. Where front lawns are uninterrupted by driveways, a unity to the succession of front lawns is achieved. Foundation plantings of an evergreen and deciduous character are present on individual lawns. Hedges between properties along the side lot lines are common; properties on corner lots frequently have hedges along the north-south street. Trees are evenly spaced on the tree lawn; on Pallister where the tree lawn has been widened, trees are planted close to the public sidewalk and upright lighting standards are evenly spaced near the brick paving of the street. Public sidewalks throughout the district are concrete; brownstone and some bluestone curbs remain on Delaware between Woodward Avenue and Second, Virginia Park and Seward. Virginia Park is paved in brick; traffic off Woodward Avenue enters and exits through a horseshoe with wrought iron gates and brick piers with stone cresting and foundations. A grassy turf, hedges, and young trees are planted inside the court created by the horseshoe. Newer gates at the entrances of other blocks are of the same materials. Side and rear yard wooden fences, either painted brown or left in a natural state, exist throughout New Center Commons. Side yard fences generally do not extend beyond the face line of the front porch, except where they fence in side lots or corner properties. Fencing, in public view through the district, is of a fluted design to compliment the style, design, material, and date of the residence. Pallister between Second and Third streets is a pedestrian street; it is paved in brick with concrete around its perimeter. Street furniture and upright iron light standards are placed at regular intervals. Ornamental poles (O.P. type, Public Lighting Department) are located on Delaware between Woodward Avenue and Second, Virginia Park and Seward. On Second Boulevard and Third Avenue, where they run throughout the district, are fluted steel lighting standards with crane-neck pendants (Union Manufacturing Company No. 4700). Alleys are paved in either asphalt or concrete, the exception being the alley north of Delaware east of Second, which is brick. Parking areas off the alleys next to the alley-facing garages in New Center Commons are also either asphalt or concrete. Alleys are entered and exited on Bethune Court; they do not have outlets on Third Avenue. Bethune Court, Bethune Street, and the alleys have tall, modern light standards. Ornamental light posts on Pallister Commons are Union Metal manufacturing No. SP874-Y1.
- (14) *Relationship of open space to structures.* Vacant land in the New Center Historic District is located immediately west of Bethune Court, where it provides a small buffer from the street at the corners of Bethune Court and Pallister. Open space on Pallister is provided by the brick-paved pedestrian mall and widened tree lawns. There is also ample vacant land adjacent to the Virginia Park gates at the corners of Woodward Avenue and Virginia Park. Where buildings have been demolished, vacant land exists, usually in the form of parking lots. This condition prevails primarily in the block of Virginia Park between the Lodge Freeway Service Drive and Third Avenue, and on Lothrop. Backyards as well as front yards exist on



all single- and double-family residential properties; backyards to houses on Bethune, Pallister and Delaware tend to be relatively small due to the placement of 1½- or 2½-car garages and adjoining paved parking area off the alley.

- (15) *Scale of façades and façade elements.* There is a variety in scale from street to street and style to style; most houses have a small to moderate appearance and apartment buildings have a moderate appearance. The size and complexity of façade elements and details either accentuate or subdue the scale of the façades. Houses on Virginia Park are large in scale compared with the rest of the district. The elements within the façades of Queen Anne and some Colonial Revival buildings emphasize their size by dividing the façades into large segments, such as towers, projecting gables, and bays. Neo-Georgian façades have restrained, small-scale detail within. Buildings influenced by the Arts-and-Crafts movement contain heavy elements, such as vergeboards and large brackets. Apartment buildings usually contain small-scaled elements within moderate to large-scale façades. Buildings generally are within normal limits of scale for moderate single- and multiple-family residences of the late 19th Century and early 20th Century.
- (16) *Directional expression of front elevations.* Although some houses appear wider than tall and some appear taller than wide, the overall directional expression is neutral. Apartment buildings are expressed vertically; terraces (rowhouses) are horizontal. The Church of Christ, Scientist, is expressed horizontally.
- (17) *Rhythm of building setbacks.* Setbacks vary from area to area within the district, though they are usually consistent within each block or streetface in compliance with deed restrictions. The varying designs of the houses, occasionally with slight setbacks in the façades, cause the houses to relate to the front setback line.
- (18) *Relationship of lot coverage.* Lot coverage of single-family dwellings ranges from approximately 20 percent to 45 percent, most being in the 25 percent to 35 percent range of lot coverage. Lot coverage of multi-unit apartment buildings range from 50 percent to 90 percent of their lots, most being in the upper end of this range.
- (19) *Degree of complexity within the façade.* The degree of complexity has been determined by what is appropriate for a given style. The Late Victorian buildings exhibit complex massing and multiplicity of forms, colors, and textures. Other styles in the district are less complex. The Classically-inspired buildings usually have simple, rectangular façades with varying amounts of ornamentation.
- (20) *Orientation, vistas, overviews.* Single-family houses and apartment buildings are generally oriented towards the east-west streets. The majority of terrace buildings are oriented toward Third Avenue. The majority of the garages are oriented towards the alleys; where driveways exist, garages are frequently oriented towards both the street and the alley. All garages are detached and at the rear of the lot. A dramatic view of the General Motors Building and Fisher Building can be seen just south of the district.
- (21) *Symmetric or asymmetric appearance.* Neo-Georgian and other classically inspired buildings are generally symmetrical. Other styles, including Queen Anne and Arts-and-Crafts inspired, are generally asymmetrical but result in balanced compositions. Front façades of apartment buildings are symmetrical in appearance.
- (22) *General environmental character.* The character of the New Center Historic District is that of late 19th Century and early 20th Century residences on straight east-west streets. A cohesiveness is attained by entrance gates, uniform setbacks, spacing on lots, buried utilities, and, on Pallister, spacious tree lawns,

## REPORT

street furniture, and brick paving. Overall, the district has an urban, low to moderate density, revitalized residential character with small-scale commercial usage on its southern periphery and on Second from Virginia Park to Delaware.

(Code 1964, § 28A-1-41; Code 1984, § 25-2-89; Ord. No. 530-H, § 1(28A-1-41), eff. 11-22-1982)

# City of Detroit

CITY COUNCIL

29.

Historic Designation Advisory Board

## PROPOSED NEW CENTER AREA HISTORIC DISTRICT

### Final Report

The proposed New Center Area Historic District consists of both sides of Virginia Park between Woodward and the Lodge Service Drive, and, in general, the first two blocks west of Woodward of Seward and Delaware, excluding the Woodward frontage, Pallister and Bethune between Bethune Court and Third, and the north side of Lothrop between Second and Third. The proposed district is located approximately three miles from the heart of downtown Detroit. To its north are more residential streets; to its south is a mixed use area with major commercial development, the New Center I Building, Fisher Building and General Motors Building, and some industrial development; to its east is a commercial strip along Woodward Avenue, Detroit's principal thoroughfare; and to its west are the Lodge Freeway and Henry Ford Hospital.

The residences in the proposed district date from about 1895 to 1930. A portion of the district, primarily on Bethune, Pallister, and Delaware, is being revitalized by housing rehabilitation, street re-routing, and other improvements and is called New Center Commons. Apartment buildings are primarily located on Seward, and Virginia Park is soon to be listed on the National Register of Historic Places.

**BOUNDARIES:** The boundaries of the proposed district are outlined in black on the attached map and are as follows:

*Beginning at the intersection of the centerlines of Lothrop and Second Avenue and proceeding northerly along the centerline of Second Avenue to its intersection with the centerline of Bethune; thence westerly along the centerline of Bethune to its intersection with the centerline of Bethune Court; thence northerly along the centerline of Bethune Court to its intersection with the centerline of Delaware; thence easterly along the centerline of Delaware to its intersection with the centerline of Second; thence southerly along said centerline of Second to its intersection with the centerline of the east-west alley between Delaware and Pallister; thence easterly along said east-west alley to its intersection with the centerline of the north-south alley between Woodward and Second; thence northerly along the centerline of said north-south alley to its intersection with the southern boundary of Lot 92 of Peerless Addition No. 1 of part of  $\frac{1}{4}$  section 56 of the 10,000 Acre Tract (L18/P33), extended westward; thence easterly along the southern boundary of said Lot 92, extended eastward, to its intersection with the centerline of Woodward Avenue; thence northerly along the centerline of Woodward Avenue*

to its intersection with the centerline of the east-west alley between Virginia Park and Euclid, extended eastward, this being the same as the northern boundary of Lot 1 of the aforementioned Peerless Addition No. 1, extended eastward; thence westerly along the centerline of said east-west alley to its intersection with the centerline of the east service drive of the John C. Lodge Freeway; thence southerly along the centerline of said east service drive to its intersection with the centerline of the east-west alley between Seward and Virginia Park; thence easterly along the centerline of the said east-west alley between Seward and Virginia Park to its intersection with the centerline of Third Avenue; thence southerly along said centerline of Third Avenue to its intersection with the centerline of Seward; thence west along said centerline of Seward to its intersection with a line drawn parallel to and 13' west of the western boundary of Lot 14, Block 7, of Beck's Subdivision of part of  $\frac{1}{4}$  sections 55 and 56, 10,000 Acre Tract (L4/P59); thence southerly along said line to its intersection with the centerline of the east-west alley lying between Seward and Delaware; thence westerly along the centerline of said alley to its intersection with the western boundary of Lot 38 (extended northward) of Block 4 of Henry Weber's Subdivision of part of  $\frac{1}{4}$  sections 55 and 56, 10,000 Acre Tract (L2/P40); thence southerly along said line to its intersection with the centerline of Delaware; thence easterly along the centerline of Delaware to its intersection with the centerline of Third Avenue; thence southerly along the centerline of Third Avenue to its intersection with the centerline of Lothrop; thence easterly along the centerline of Lothrop to the point of the beginning.

*HISTORY:* The proposed New Center Area Historic District is comprised of several subdivisions of Sections 55 and 56 of the 10,000 acre tract, a tract of land entrusted to the Governor and Judges by an Act of Congress in 1806. The 10,000 acre tracts were a donation from the General Governors of the Territory of Michigan to defray the expenses of public buildings. This tract was not platted until 1816, about the time that Augustus B. Woodward received the tract from the Governors and Judges. This land lies north of the Boulevard and south of the Detroit Terminal right-of-way, and was bounded on the west by Greenfield Township and on the east by Conant Avenue.

In 1849, Gottlieb Beck purchased the south one-half acre of the north 106 2/3 acres of quarter sections 55 and 56 of the 10,000 acre tract, extending from Woodward to 12th Street, for a sum of \$1,490. Beck came from Germany in 1837 and engaged in the tannery business on East Fort Street. He built a brick two-story farmhouse on Woodward at the corner of what later became Seward in 1851 and a tannery on Pallister Avenue just west of Woodward. Mrs. Beck moved back downtown with her children after Beck's death in 1855, when it must have been quite a burden to live so far out of town. Lewis, the Beck's eldest son, ran the tannery on Pallister until it burned down during the Civil War years. Traugott Schmidt, who operated his own tannery on Croghan (now Lafayette) and employed Lewis Beck as foreman, married the oldest of the Beck daughters, Mina, who later became the mother of a police commissioner, Carl E. Schmidt.

The old Beck Farm was sold in several parcels that were later subdivided. Beck's Sub, including both sides of Seward, was platted in 1876 by Caroline M. Wenzell (Beck), Lewis H. Beck, Carl E. Schmidt and Ida Schmidt (the latter two were the children of Mina and Traugott Schmidt), et.al. Schmidt's Sub, which included most of Seward between Woodward and Second Avenues, was platted in 1894 by Carl E. Schmidt, tanner at Traugott Schmidt, and his wife Alice.

By the end of the century, "...palatial residences now line the avenues that have been laid out through the farm, including Pallister, Parkman [later vacated], Delaware, and Seward Avenues." (Scrapbook: Palmer, Vol. 29; P. 157) These grand houses on Seward, occupied by such well-known Detroit personalities as Charles T. Fisher (Fisher Body Company), Frank W. Osborne (Assistant Treasurer, Buhl Sons Co.) and Charles Kotting (architectural firm of Chittendon & Kotting), were demolished for the construction of attractive medium-height apartment buildings erected between 1914 and the early 1940s.

Henry Weber, furniture manufacturer and dealer, his wife Caroline, Bernhard Stroh, brewer and father of Strohs Brewery, and his wife Clotilde, owners of the land consisting of both sides of Delaware and Pallister, filed a plat of Henry Weber's Sub with the Wayne County Register of Deeds in 1873. Later, the Weber Sub was sold and resubdivided in the 1890s into Stone and Todd Company's Sub (1893, Delaware between Woodward and Third), Leggett's Sub (1899, Pallister), Irving Place Sub (west of Hamilton) and Leggett and Miller's Sub (1912, Delaware between Hamilton and Third). However, a small part of Henry Weber's Sub, centered around Delaware and Third, was not resubdivided.

Another major subdivision in the New Center Commons area was Lothrop and Duffield's Sub, platted in 1892. It includes Bethune, parts of Lothrop and part of the north side of Grand Boulevard. Divie Bethune Duffield (1821-1891) formed a law partnership with George Van Ness Lothrop, called Lothrop and Duffield, soon after they both passed the Detroit bar exam in 1843. In 1857 they acquired the Taylor Farm, part of the 10,000 acre tract, in what was then in Greenfield Township, bounded by Woodward, 12th, on the north by a line 225' south of Pallister and on the south by Grand Boulevard. In addition to comprising one of the best regarded law partnerships in the city, both Duffield and Lothrop achieved prominence in their own rights.

Mr. Lothrop (1817-1895), a graduate of Brown and attendee of Harvard Law School, became city attorney general in 1847 and remained in that capacity for almost 30 years. He was also general solicitor for Michigan Central Railroad Company. In 1885 President Cleveland appointed him Minister to the Russian Court. When Lothrop died, he had about \$900,000 in real estate holdings in Detroit.

Mr. Duffield was on the Detroit Library Commission and was an active member of the school board; a branch of the Detroit Public Library was named after him in 1912 and Duffield School was named in his honor. He was also a staunch temperance advocate and a poet.

After the death of D. Bethune Duffield in 1891, his wife Mary and George V. N. Lothrop and his wife Alvina subdivided their tract. Mary died in 1898, after which the partnership, known as Lothrop and Duffield Land Co. Ltd., was formed. The partnership included the sons of D. Bethune and Mary Duffield, George Lothrop (a physician) and Bethune Lothrop (a lawyer); Lothrop heirs; and, principally, Henry B. Lothrop, who became agent of the company. Individual lots were then free to be sold.

Streets, with the exception of Virginia Park, were named in the New Center area after either the landowner, subdivider or a famous person. Seward was named in 1860 after William H. Seward, the noted statesman; Pallister Road in 1860 after Thomas Pallister, landowner; Lothrop in 1883 after George V. N. Lothrop; and Bethune in 1881 after the maiden name of Mrs. George Duffield.

They were originally laid out in a straightforward, gridiron fashion and were paved with cedar, with the exception of Virginia Park, which was paved in brick. Building restrictions were attached to the deeds on all of the parcels in the various subdivisions and they usually varied from block to block. Houses in the first block west of Woodward were to be more expensive than those in the second or third blocks; a minimum construction cost was amongst the restrictions. Setbacks from the street or front lot line were also restricted. As a result, a uniformity from block to block was achieved.

Virginia Park, the northernmost street in the proposed district, encompasses an area which was laid out in 1893 by John W. Leggett and his wife, Grace; Frank E. Snow and his wife, Frances; and Joseph C.

Hough and his wife, Nellie. John W. Leggett was partner in the real estate firm of Hunt and Leggett. Frank E. Snow was a real estate developer and president of the Riverside Cartage Company which was located in the Hammond Building. The third developer, Joseph Hough was a newspaper advertising agent.

Virginia Park, originally named Virginia Avenue, is composed of three plats, each one a linear strip one block long and one lot deep. The Peerless Addition Number One runs between Woodward Avenue and Second Boulevard; Peerless Addition Number Two runs between Second Boulevard and Third Avenue, and Peerless Addition Number Three runs between Third and the John Lodge Service Drive, originally Crawford Street. Building lots were 50' wide by 163' deep. Two lots, on either side of Virginia Park, faced Woodward. These four lots, Lot 1, 2, 91 and 92, were approximately 87' in width and 200' deep. Public alleys of 20' in width ran perpendicular to Virginia Park west of the lots which faced Woodward. Each lot was referred to by name in the original plat, such as Tanglewood, Thistledown, Sorrento, Mayview, Shamrock, etc.

Building restrictions filed with the deeds required that property on Virginia Park be used for residential purposes only, that the buildings should be set back 25' from the street; that no building not of stone or brick be constructed; that no dwelling cost less than \$5,000; that no double houses be erected; and that no more than one house on each 50' lot be erected.

Additional restrictions were placed on the four lots which faced Woodward Avenue. These required that the owners pave Woodward Avenue along their property with asphalt pavement and install sewers, lay gas pipes, install stone sidewalks, and plant shade trees.

Concern was raised as early as 1910 about the rapidly increasing commercialization of Woodward Avenue. Homeowners became concerned about the diminishing residential character of Detroit's most prominent thoroughfare and the negative impact this commercialization would have on adjoining property values. In response to this a group of property owners on Virginia Avenue formed the Virginia Avenue Improvement Association with the goal of re-landscaping the entrances to the subdivision. In keeping with the park-like nature of the new plan, the name was changed from Virginia Avenue to Virginia Park. Property owners donated between \$500 to \$2,500 to finance the plan. Under the headline, "Property Owners on Virginia Avenue Teach A Lesson In Civic Patriotism In Plan To Preserve Exclusive Residence Setting," the Detroit Free Press of March 26, 1911 announced:

"Unique beyond anything yet devised in this city and strikingly original in the method of development is the plan by which property owners along Virginia Avenue propose to increase the natural beauty of their street and perpetuate it as a park-like thoroughfare, exclusively devoted to fine residences."

Property was acquired by the association on either side of Virginia Park at Woodward Avenue and on Hamilton Boulevard. On the east and similarly on the west, the property has a frontage of 163'; it extends 220' south on Woodward Avenue and 200' north of Virginia Park. George V. Pottle, a local architect and resident of Virginia Park, designed the semi-circular entranceway and gates. The Detroit Free Press of March 26, 1911 described the project thus:

"Across the end of Virginia Avenue it is planned to erect an ornamented brick wall of Virginia Colonial design. The middle and main section of this wall will be 80 feet long at either end of the middle section, space will be left for an ornamental driveway 20 feet wide which will curve into Virginia Avenue like the segment of a circle. Beyond the driveway will be an ornamental pillar, then space for a footwalk and a short extension of the wall. For 50 feet inside the wall, the ground will be converted into a park, planted with trees, plants and shrubbery, through which will pass the driveways and walks.."

These improvements were constructed with private money and dedicated to the city. The majority of Lots 1, 2, 90 and 91, the lots on Woodward Avenue, were given to the city in 1911. The public alleys which ran between Lots 1 and 2 and Lots 90 and 91 have been vacated. The entranceway on Woodward Avenue has survived intact. The western entranceway, however, as well as 240' of Virginia Park frontage is now part of the John C. Lodge Freeway.

Gates were erected and small parks were planned in other prominent residential subdivisions along the Woodward Corridor at about the same time. These included the Arden Park-East Boston Historic District and the Boston-Edison Historic District.

The growth of the city of Detroit was aided by the electric railway (early 1890s) and that development of rapid transit out Woodward Avenue marked the beginning of the movement toward the boulevard on the north. The idea of creating a boulevard around the city first came up in 1870; it was envisioned as a gravel road where gentlemen with fast horses could let out the reins. Throughout the 1880s money was appropriated for the boulevard, but because of the controversial nature of the project, the street was not begun until 1891, when the plough was put into the fields at Woodward Avenue. West Grand Boulevard would become the base line for the New Center commercial development by General Motors and the Fisher Brothers of the 1920s.



Over the years the New Center area carried with it both prestige and decline. A retail strip developed on both sides of Woodward Avenue, the eastern boundary of New Center; major department stores located in New Center. Professional people resided in the ample houses even after the more affluent gradually moved to more prestigious neighborhoods such as Boston-Edison, Palmer Woods, or Grosse Pointe. But as the shift to the suburbs continued and the nation and city experienced less prosperous times and racial strife, the New Center area began to decline in popularity as a place to shop or live. The large single-family homes were converted to boarding houses or subdivided into rental units. Some later became Wayne State University Cooperative living houses or half-way houses.

General Motors Corporation announced in late 1978 that it was renovating what it called "New Center Commons." A massive revitalization project has been undertaken that involves rerouting streets, creating pedestrian malls on Pallister, Delaware, and Bethune with alley access to houses, rehabilitating buildings, and installing street furniture. Revitalization of New Center Commons by G. M. and the construction of the New Center One Building are anticipated to bring the people and prestige back to New Center.

ARCHITECTURAL DESCRIPTION:

Within the New Center Historic District are representative samples of residential architecture spanning the years 1895 through 1930. Residential works of Detroit's leading architects of the early twentieth century are represented in New Center Commons, including George V. Pottle, designer of the Virginia Park entranceway; Richard Marr, Joseph Mills, and A. C. Varney. Architectural firms represented are Pollmar & Ropes; Smith, Hinchman & Grylls; Rogers and MacFarlane; Baxter, O'Dell & Halpin; Chittenden & Kotting; and Malcomson and Higginbotham. Many residences were designed and constructed by building and contracting firms such as William J. Newton Company; Spitzley and Sons; W. E. Briggs Company, and many more.

All of the homes built as single dwellings in New Center Commons were constructed between 1895 and 1920. Homes dating from the last decade of the nineteenth century are usually located in the first block between Woodward Avenue and Second Boulevard. The homes are two and one-half stories tall and their diversity of architectural styles include Neo-Georgian, Arts and Crafts (Craftsman), Bungalow and Neo-Tudor.

Moderately tall apartment buildings erected approximately between 1915 and 1940 replaced single-family dwellings predominately on Seward. Most were built in the second and third decades of the twentieth century; these are adorned with rich historical detail.

1. 120 Virginia Park, The Charles Warren Pickell House, 1895, Colonial Revival, Tuller and Van Husan, contractors

Charles Warren Pickell was one of the prominent and widely known insurance men in the Midwest. Born in New York, Pickell moved to Michigan at an early age. Pickell graduated from Michigan State Normal College at Ypsilanti in 1879. From then until 1881 he was successively principal of the Public Schools at Middleville and Bronson, Michigan.

In 1884 Pickell became superintendent of Schools at Ludington, Michigan, a post he held for four years. From 1888 to 1891 he was district manager of the Penn Mutual Life Insurance Company at Grand Rapids. He came to Detroit in 1891 as associate manager of the Massachusetts Mutual Life Insurance Company, and a few months later became general manager.

Pickell had personally written more than \$15,000,000 worth of insurance. He was the author of several volumes including "Plain Hints" which was called the "insurance men's bible." Pickell was also responsible for writing a number of essays on insurance salesmanship.

The Pickell House is one of the earliest on Virginia Park. It is one of three built by Tuller and Van Husan on the first block of Virginia Avenue with permit #819 at an estimated cost of \$18,000. The central feature of this symmetrical facade of orange brick is the large Colonial Revival three-quarter circular porch with Ionic columns. The wooden portico has a modillioned cornice, leaded glass sidelights surrounded by thin fluted pilasters, and a transom window above the door surround the entranceway.

Every fourth course of brick on the first story is recessed, creating a rusticated appearance. The two sash windows per bay share a common stone sill. Quoins of brick and a central Palladian window arrangement accentuate the upper story. A gable with a port-hole-type window intersects with the flat topped hipped roof over each of the end bays. A denticulated cornice caps the facade, and a dormer with Adamesque detailing and a swan's neck pediment projects over the central bay.

2. 660 Virginia Park, The Albert H. Finn House, 1897, Colonial Revival style, Rogers & MacFarlane, architects

Albert H. Finn, a prominent Detroit publisher, was the first resident at 660 Virginia Park. Finn was the son of Rev. Silas W. Finn, an energetic Baptist minister of Royal Oak. In 1879, as a boy of 17, Finn began publication of The Midget, known as Royal Oak's second newspaper which, however, only survived 15 weeks.

Finn became advertising manager and assistant general manager of the Detroit Journal, publisher of the Michigan Christian Herald, and founder of the Franklin Press, under whose imprint early issues of the American Boy, Motor News and other magazines were published. He also organized the first of the nationally famous Ad Craft Club advertising courses. In 1916 Finn turned to real estate. Specializing in Woodward Avenue frontage, Finn sold \$800,000 worth to Hugh C. Chalmers within the first month of his new career. Finn also served as president of the Bungalohill Land Company; secretary of the Van Alstine Land Company, and maintained large holdings in Detroit, Toledo, and Chicago.

For many years Finn was closely associated with the Burton Historical Collection at the Detroit Public Library and was instrumental in enlarging its collection of Baptist manuscripts, letters, photographs, periodicals, and other valuable historical materials.

A life deacon in the First Baptist Church of Detroit, Finn helped organize the Young People's Union in 1891 and was one of the founders of the Children's Home at Thirteen Mile and Greenfield Road.

The Finn House is a large, Colonial Revival home with a symmetrical facade; an open portico with graceful Ionic columns supports a simple denticulated entablature. The importance of the central pavillion is further emphasized by the arched, paired windows above the portico and the paired gables with broken pediments at the attic level. A simple denticulated cornice divides the main body of the house from the steep hipped roof. The architectural partnership of Rogers and MacFarlane were very comfortable designing in the Colonial Revival style; examples of their residential architecture can be seen in West Village and Indian Village also.

3. 700 Virginia Park, The Charles B. Van Dusen House, 1908, Neo-Tudor/Arts and Crafts style

The first residents of 700 Virginia Park were Charles B. Van Dusen and his wife Minnie. Van Dusen served as president of the S.S. Kresge Company for 13 years. Van Dusen began in the retailing business in 1885 as a clerk for Allen Sheldon & Company, and in 1891 he joined the wholesale and dry goods firm of Edson, Moore and Company. Van Dusen joined the firm of Kresge and Wildon in the operation of a number of five-and-dime stores in 1904. By 1912, the S.S. Kresge Company was organized; Van Dusen was elected to the board of directors and made secretary-treasurer. He became vice president and general manager in 1915 and ten years later Van Dusen became president of the S.S. Kresge Company.

The most prominent feature of this asymmetrical orange brick house is the east bay; its gable intersects with the gabled roof of the building, and has a heavy vergeboard. The stuccoed second and attic story of this bay are articulated with false half-timbering and painted framing motifs; windows are grouped in threes. The second story of this bay projects, forming an oriel window. A stuccoed shed dormer projects from the west bay side of the roof. The front porch is supported by squared-off wood posts in an Arts and Crafts manner.

4. 750 Virginia Park, The Douglas House, 1910, Arts and Crafts style, George V. Pottle, architect

George V. Pottle, the architect of 750 Virginia Park, lived on Virginia Park and designed the gates at the ends of the three block long street in 1911. The Douglas House was built for H. A. Douglas, treasurer and assistant secretary of the Michigan Sugar Company and Minnosota Sugar Company, at an estimated cost of \$6,500.

Mr. Pottle combined the Arts and Crafts propensity towards expressing materials and their joinery with the Prairie School's continuity of horizontal lines and large overhanging eaves. The first two stories are brownish orange brick; a porch with a slightly sloped roof spans the west half of the first floor. This porch is composed of brick piers; each of its faces is cut back to appear clustered. The wooden corniceline of the porch continues over the east one-half of the first story directly above three windows which rest on a continuous concrete sill. On the second story, the upper sash of the two groups of paired windows are subdivided by lead into small squares; each pair shares a sill.

The attic story is the most unusual feature of this house. It begins directly above the second story windows and culminates with the peak of the gable roof. It is sheathed in wood horizontal siding above a frieze of decorative wood work. Substantially overhanging eaves of the roof are supported by large wooden brackets with lower arms that extend the length of the attic's one-half story. Attention to detail in the attic is apparent; wooden pegs are plainly visible in the cornice, as are simulated tool marks on the brackets.

5. 120 Seward, Gramont Manor Apts., 1923, Second Renaissance Revival, Hugh T. Miller, architect

Like Pallister, Delaware and Bethune, Seward Avenue was populated with professionals and businessmen who lived in the substantial, well-built, moderately priced dwellings by 1900. But by 1915, the first of the moderately scaled apartment buildings had replaced all but a few single-family houses on the first two blocks of Seward west of Woodward.

Gramont Manor Apartments, designed by Hugh T. Miller and built and owned by Sam Satovsky, contractor and builder, in 1923, had 49 units and was constructed at an estimated cost of \$136,000. It is four stories tall and is of reinforced concrete and yellow brick. The masonry foundations give the appearance of rustification; the sills and the watertable are also masonry.

The front facade has four projecting sections. The entrance bay between the two inner projections is deeply recessed, creating an almost processional entry. Upright cast iron lamps lead to the smooth masonry entrance vestibule; the segmentally arched doorway is flanked by Corinthian columns supporting an entablature bearing the name of the building. A medallion with cornucopia occupies the center of the balustraded attic section of the entrance. Decorative panels bearing garlands, patera, and anthemian ornaments are found in panels on the facade of the building. Decorative curved pediments top the cornices of the projecting and receding facade of this substantial apartment building.

The sides of the building are orange common brick. Light courts create projections and recessions in the plan of the building.

6. 620 Seward, Third Church of Christ, Scientist, 1922-23, Classical Revival, George D. Mason, architect

Mary Baker Eddy, spiritualist, naturalist and poet, founded her own brand of theism utilizing Christian concepts and naturalism and called it "Christian Science." She was a prolific writer and had a tremendous following. There are presently ten Churches of Christ, Scientist in Detroit; each has its affiliated reading room.

The Christian Science Monitor, the church's weekly newspaper, is one of the most widely circulated and read newspapers in the country.

The Third Church of Christ, Scientist was designed in 1922 by George D. Mason, outstanding Detroit architect whose career spanned the years 1875 to the 1940s and included the designs of churches, residences, commercial buildings, public buildings, and institutional buildings in a variety of styles. He travelled widely in Europe in 1884 and 1911 and became familiar with the gamut of historical styles. In 1920 he established the firm of George D. Mason & Company, architects.

The center of the reinforced concrete and yellow glazed brick building bows outward, forming a convex curve. Pilasters rising the two stories are at the corner of the building and where the bow begins. There are six engaged Tuscan two story columns around the curve with decorative panels at their bases. Wreaths are situated above the pilasters on the entablature. In between each column is alternately either a wooden double door or a double window.

Above the double windows of the second story is a continuous Greek fret pattern, and above the denticulated cornice in the attic panel is the name of the church.

7. 89 Delaware, The John S. Fee House, 1902, Queen Anne/Classical Revival, S. A. Palmer, builder (?)

The design of the Fee House, whose first owner was John S. Fee, manager of the Weaver Coal Company, reflects the transitional phase from Queen Anne to Colonial Revival around the turn of the century. The facade of the Fee house is stone; the sides and rear are orange common brick. The courses of rough-cut stone are thinner towards the top of the building, creating a lighter appearance at the top. The three story corner tower with a conical roof is indicative of the late nineteenth century Queen Anne massing. The open porch, however, is decisively Colonial Revival, with its Ionic order. The centrally placed door is surrounded by sidelights and topped with a transom window.

Above the entrance on the second story is a bowed window. All windows on the main body of the house have transoms containing leaded or stained glass. In the hipped roof are two dormers with hipped roofs and triple windows.

8. 116 Delaware, The George E. Lane House, 1902, Queen Anne/Colonial Revival

R. A. Bailey, possibly of the R. Arthur Bailey Company, manufacturers of plaster reproductions, received the permit for construction of this two and one-half story brick building with stone trim on February 17, 1897. When completed, it was estimated to have cost \$5,000.

George E. Lane, the first owner of the house, was the secretary/treasurer of Morgan and Whately Company, ladies skirt and wrap manufacturers. He did not stay at this address long; in 1904 Charlemayne Clark, president of the Phoenix Wire Works, resided here. In the early 1920s it became the home of Newman's Miss School, a girl's finishing school. The addition to the west of the house was built in 1923 by the school. In the 1960s the buildings functioned as a print plant.

Architecturally, this house shares several features with the Perry McAdow House, locally designated with the First Unitarian-Universalist Church Historic District. Its porch is recessed on the west side of the facade; an arched opening leads to the porch and entrance. Above the entrance on the second story is a bowed oriel window. An oriel window is also on the west elevation. On the east corner of the facade is a two-story tower with a steep conical roof.

The first and second stories are divided by a band of brick headers cut on the diagonal. Beneath the cornice is a frieze of decorative brickwork. The main roof of the house is a steep hip with a flat top; it has one centrally located dormer projecting from it.

9. 715 Delaware, Neumann House, 1905, Colonial Revival, R. R. Stuart

William Neumann was general manager of William F. V. Neumann and Company, representing the Welsh Motor Car Company, Wayne Automobile Company, Soules Motor Car Company, Waverly Electric Company, and White Steamer Company. This orange brick two and one-half story house, built for Mr. Neumann, was constructed at an estimated cost of \$4,000.

The porch is most characteristic of this simple Colonial Revival style. It occupies the eastern and central bay of the first story of the front facade; simple wooden Doric columns hold up the entablature and modillioned cornice of its almost flat roof. The western bay is composed of a two-story bay window with some leaded glass transoms. In the center-front of the

10. 8032-8050 Third, Terraces, 1915, Baxter, O'Dell & Halpin, architect

Mrs. Roy Haberkorn (Mary) commissioned Baxter, O'Dell, and Halpin to design these five rental units on property she and her deceased husband, a contractor, owned.

This row, between Seward and Delaware, cost approximately \$10,500 to construct. It is two stories tall and built of red-orange pressed brick. In appearance and arrangement, they are typical of comparable size terraces elsewhere in Detroit from the first quarter of the twentieth century. Bays flank the brick porches with side-facing stairs, creating an undulating effect on the facade. Pairs of brackets support the projecting cornice.

11. 701 Bethune, The Langdon House, 1907, Neo-Tudor, Pollmar & Ropes, architects

Mrs. Emma Langdon was the original owner of this house designed by the well-regarded Detroit architectural firm of Pollmar and Ropes. Its estimated cost was \$4,500. The front facade is articulated with two bays that project slightly forward; the first story is brick; the rest is stucco with decorative half-timbering painted red, although the stuccoed cream surface is carried down to the first story in the projecting west bay. The open porch has a gabled roof supported on brick piers. Its frontal gable has a cream-colored stucco finish and half-timbering painted red. Transom windows over first story windows contain leaded glass.

The main hipped roof of this house is intersected by a large gabled roof facing the street. It has wide vergeboards and contains one paired window in the center.

The Langdon House is representative of the well-designed modestly scaled houses in New Center Commons.

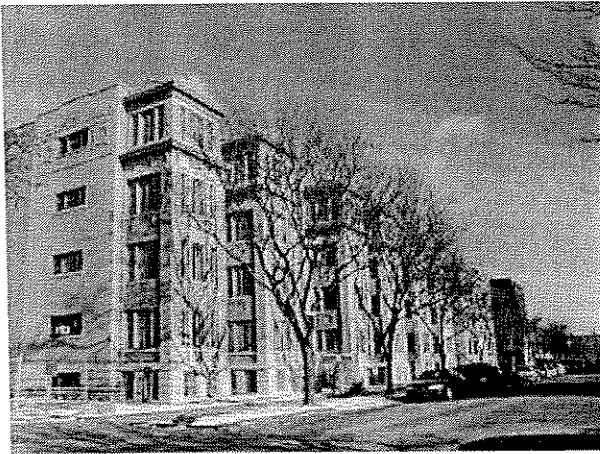
RECOMMENDATION: The Historic Designation Advisory Board recommends that the City Council establish the New Center Historic District with the design treatment level of rehabilitation. A draft ordinance for the establishment of the district is attached for consideration by the City Council.



**New Center Historic District**

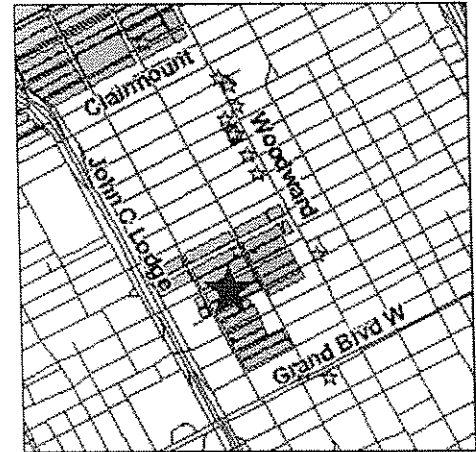
General boundaries: Virginia Park, Woodward, Lothrop, John C. Lodge Expressway.

Local	v	11/22/82
State		
State Marker		
National	v	2/28/83



Granmont & Birchmont Apts.

112-120 Seward



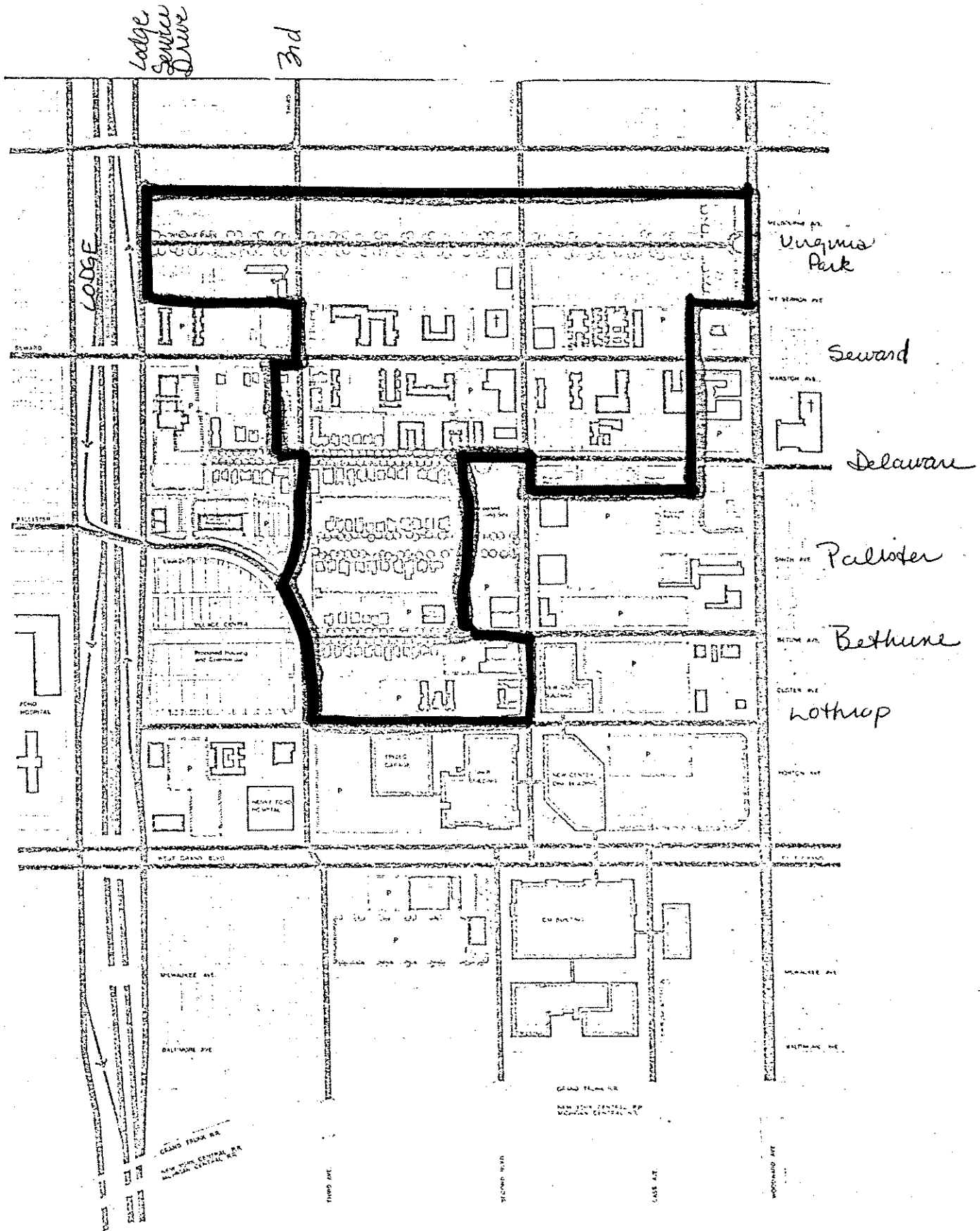
**Historic overview:**

Many streets in the New Center area were named after a landowner, subdivider or a famous person. Seward was named in 1860 after William H. Seward, the noted statesman; Pallister was for Thomas Pallister, landowner; and Lothrop after George V. N. Lothrop, City Attorney General, Minister to the Russian Court and real estate entrepreneur. The streets were originally laid out in a straightforward gridiron fashion and were paved with cedar, with the exception of Virginia Park (originally Virginia Avenue), which was paved in brick. Building restrictions were attached to parcels, ensuring that homes on the block closest to Woodward were more expensive than the second and third blocks, and minimum costs were enforced.

West Grand Boulevard became the base line for the New Center commercial development by General Motors and the Fisher Brothers of the 1920s. A retail strip developed on both sides of Woodward Avenue, the eastern boundary of New Center, and prestigious and high-end department stores located within the district. However, the nation and city experienced less prosperous times and racial strife during the late 1960s, and the shift to the suburbs was underway. New Center retained some professional people as residents even after the affluent gradually moved to more prestigious neighborhoods. Yet New Center's popularity declined, and many homes were converted to boarding houses or rental units, convenient for Wayne State University students.

In 1978 General Motors Corporation announced that it was renovating what it called "New Center Commons". A massive revitalization project rerouted streets, constructed pedestrian malls, and rehabilitated buildings. The project created a more upscale neighborhood, and today New Center Commons thrives as a residential area.

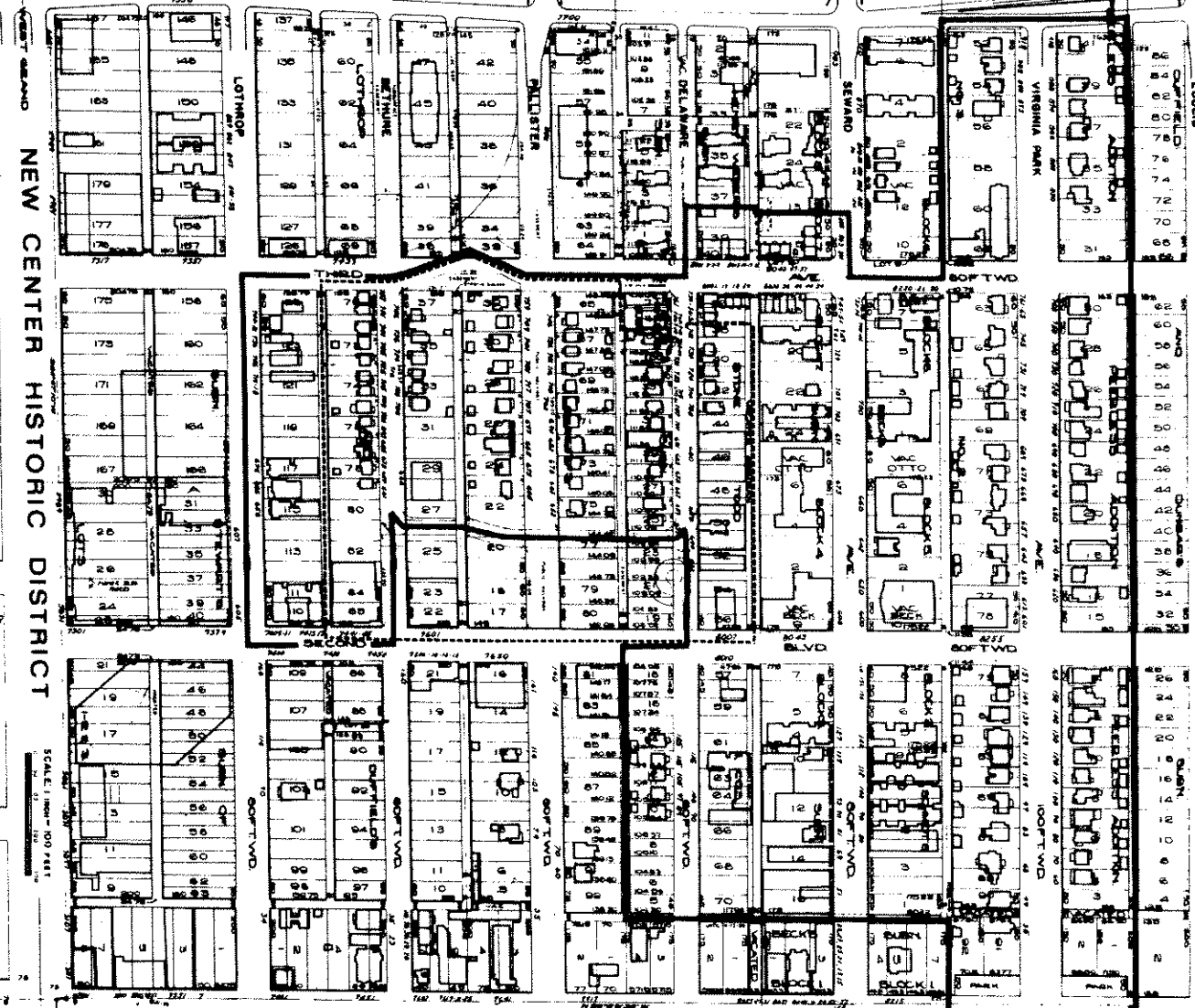




PROPOSED NEW CENTER HISTORIC DISTRICT  
(Boundaries outlined in heavy black)

LEGEND  
 NEW CENTER AREA  
 HISTORIC DISTRICT  
 NEW CENTER COMMUNITY  
 DOUBLEDAY

HAMPTON  
 JOHN  
 LODGE  
 EXPRESSWAY



SCALE 1" = 100' PARTIAL  
 1" = 100'

NEW CENTER HISTORIC DISTRICT

11 7

MAP 31  
 SHEET B

11 10

11 7

MAP 31 SHEET B