

STAFF REPORT: 11-13-2019 MEETING

PREPARED BY: J. ROSS

ADDRESS: 150 BAGLEY

HISTORIC DISTRICT: *ADJACENT TO* GRAND CIRCUS PARK

APPLICANT: EMMETT MOTEN

UNITED ARTISTS THEATER DEMOLITION/REHABILITATION

- The building located at 150 Bagley is known as the United Artist Theater. It was erected in 1928 and was designed by C. Howard Crane, architect of several historic-age theatres in Detroit. The current storefront at the multi-story office tower was installed in 1960
- The applicant has submitted the **attached documentation** to the Detroit Historic District Commission as required by Detroit City Code, Chapter 21 “History” because the building located at **150 Bagley is adjacent** to the Grand Circus Park Local Historic District
- See the attached, which indicates that current project proposes the following:
 - The **demolition** of the **theatre wing and rotunda connector**
 - The expansion of the existing parking/paved area within the footprint of the theatre wing
 - The installation of a “memorial plaza” and “pocket park” within the footprint of the theatre wing
 - The erection of a service area enclosure
 - The replacement of the existing 1960s International Style storefront with a new storefront
 - Rehabilitation of the high-rise office tower.
- The applicant has submitted an application to the City of Detroit for approval to establish an Obsolete Property Rehabilitation District and a Neighborhood Enterprise Zone at the property
- The applicant is seeking **Historic Preservation Tax Credits** to support the project
- The applicant is also seeking funds from the United States Department of Housing and Urban Development to support the project. The expenditure of any such funds will require that the project be reviewed for compliance with Section 106 of the National Historic Preservation Act

GRAND CIRCUS PARK LOCAL HISTORIC DISTRICT

- The Grand Circus Park Historic District was locally designated in 2001
- The City of Detroit designated the district in recognition of Grand Circus as “...one of downtown Detroit’ s major open spaces which contains significant historic landscape features and public monuments.” The buildings within the district “...form a rim around Grand Circus Park. The result is an open-air drawing room for the city, defined by the open space and the structures which form a non-continuous wall at its edges.”
- The City also determined that the district is significant because it remains as “...a collection of early twentieth century commercial buildings by noted architects including Albert Kahn, C. Howard Crane, George Post and Smith Hinchman & Grylls; for its Gothic Revival Church by Gordon W. Lloyd; and as the hub for the social, cultural and business activities that took place during the early decades of dynamic growth of the City of Detroit as the automobile-manufacturing capitol of the world”
- The National Park Service (NPS) listed the Grand Circus Park Historic District in the National Register of Historic Places (NRHP) in 1995. Please see the **NRHP district boundaries**, which include the United Artists Theater Building/150 Bagley
- The boundaries of the **Local historic district** are slightly different from the National Register Historic district boundaries. Specifically, 150 Bagley was **not** included in the local district’s boundary, although it is included within the boundaries of the National Register district.

STAFF OBSERVATIONS

- The project will result in the rehab of the building's commercial tower
 - The parking lot to the rear of the property is expansive and represents the most significant break in the building wall /"rim" around Grand Circus Park
 - The demolition of the theatre will increase the expanse of open/paved parking area that opens onto Grand Circus Park
 - The project will result in the removal of a yet another mid-century storefront from Grand Circus Park NRHP District.
 - The HDC's role in providing comment to the Mayor and City Council is to determine the "...demonstrated effect of the proposed development..." on the adjacent Grand Circus Park Local Historic District
- .











FDD REVIEW	10/16/2018
90% CD	04/24/2018
PROGRESS PRINTING	11/13/2018
PROGRESS SET	10/24/2018
NPS PACKAGE	01/03/2018
DATE ISSUED	

DRAWN BY
 CHECKED BY

HOBBS + BLACK
 ARCHITECTS
 100 N. State St.
 Ann Arbor, MI 48104
 P. 734.663.4189
 www.hobbs-black.com

150 BAGLEY AVENUE
 DETROIT, MICHIGAN
 RENOVATION / RESTORATION

PROJECT

CONSULTANT

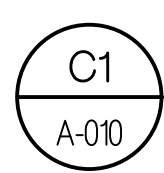
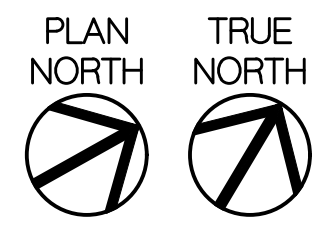
ARCHITECTURAL
 SITE PLAN

SHEET TITLE

15-802
 PROJECT NUMBER

A-010
 SHEET NUMBER

PROGRESS PRINT - NOT FOR CONSTRUCTION



C1 ARCHITECTURAL SITE PLAN
 SCALE - 1" = 20'-0"
1/8" = 1'-0"

FDD REVIEW	10/16/2018
90% CD	04/24/2018
PROGRESS PRINTING	11/13/2018
PROGRESS SET	10/24/2018
NPS PACKAGE	01/03/2018
DATE ISSUED	

DRAWN BY
 CHECKED BY

HOBBS + BLACK
 ARCHITECTS
 100 N. State St.
 Ann Arbor, MI 48104
 P. 734.663.4189
 www.hobbs-black.com

150 BAGLEY AVENUE
 DETROIT, MICHIGAN
 RENOVATION / RESTORATION

PROJECT

CONSULTANT

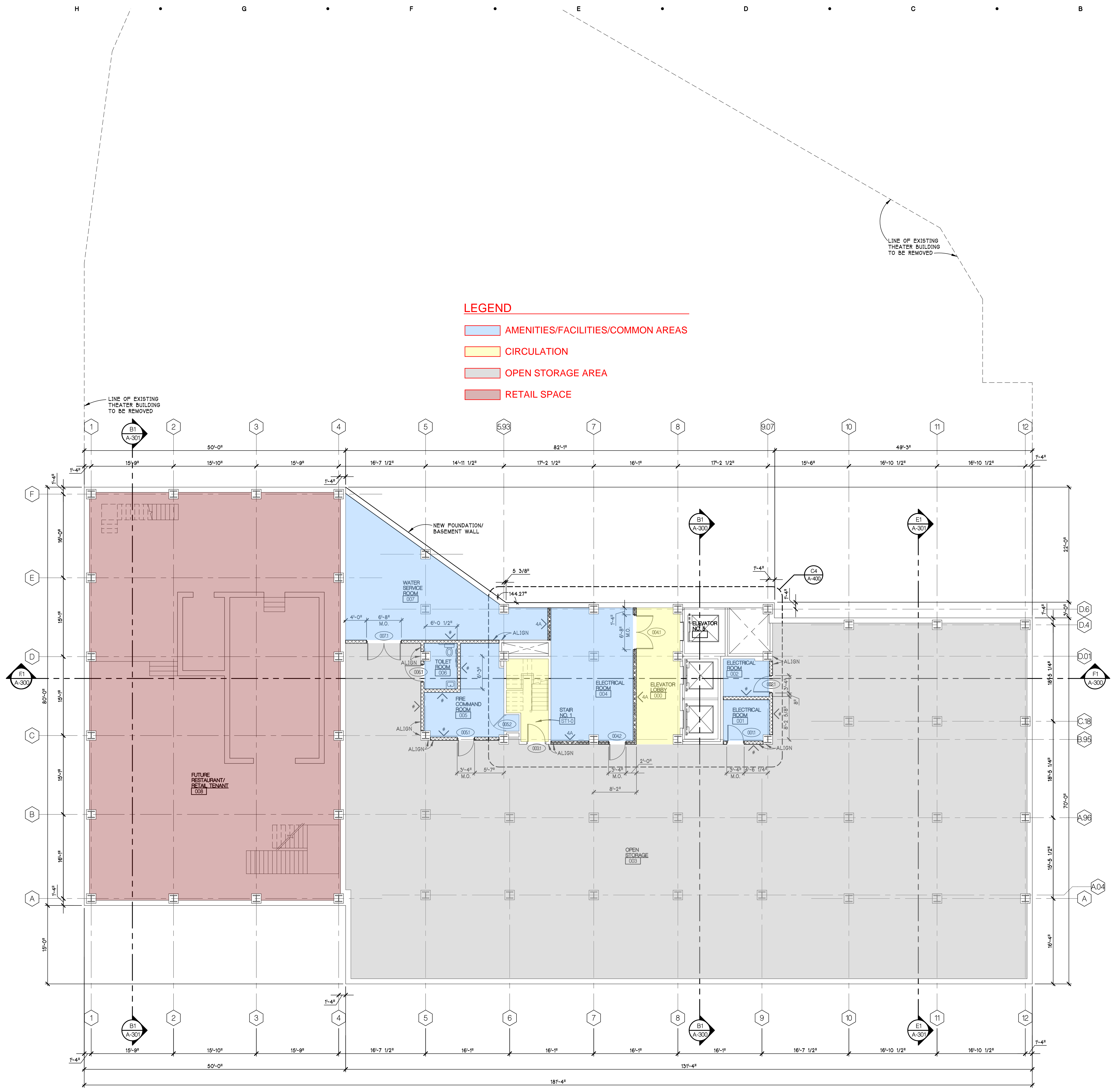
BASEMENT FLOOR PLAN

SHEET TITLE

15-802
 PROJECT NUMBER

A-100
 SHEET NUMBER

PROGRESS PRINT - NOT FOR CONSTRUCTION



LEGEND

- AMENITIES/FACILITIES/COMMON AREAS
- CIRCULATION
- OPEN STORAGE AREA
- RETAIL SPACE

PLAN NORTH
 TRUE NORTH
C1
A-100
BASEMENT FLOOR PLAN
 SCALE - 1/8" = 1'-0"

SHEET NOTES:
 1 - - - - - INDICATES 1 HR. RATED PARTITION
 2 - - - - - INDICATES 2 HR. RATED PARTITION

Drawing: P:\2015\15-802\Drawings\CD\Basement\A-100.dwg
 Date: Oct 15, 2018, 1:40pm
 Layout: A-100
 Plotted by: amgswan

FDD REVIEW	10/16/2019
90% CD	04/24/2019
PROGRESS PRINTING	11/13/2018
PROGRESS SET	10/24/2018
NPS PACKAGE	01/03/2018
DATE ISSUED	

DRAWN BY
 CHECKED BY

HOBBS + BLACK
ARCHITECTS
 100 N. State St.
 Ann Arbor, MI 48104
 P. 734.665.4189
 www.hobbs-black.com

150 BAGLEY AVENUE
 DETROIT, MICHIGAN
 RENOVATION / RESTORATION

PROJECT

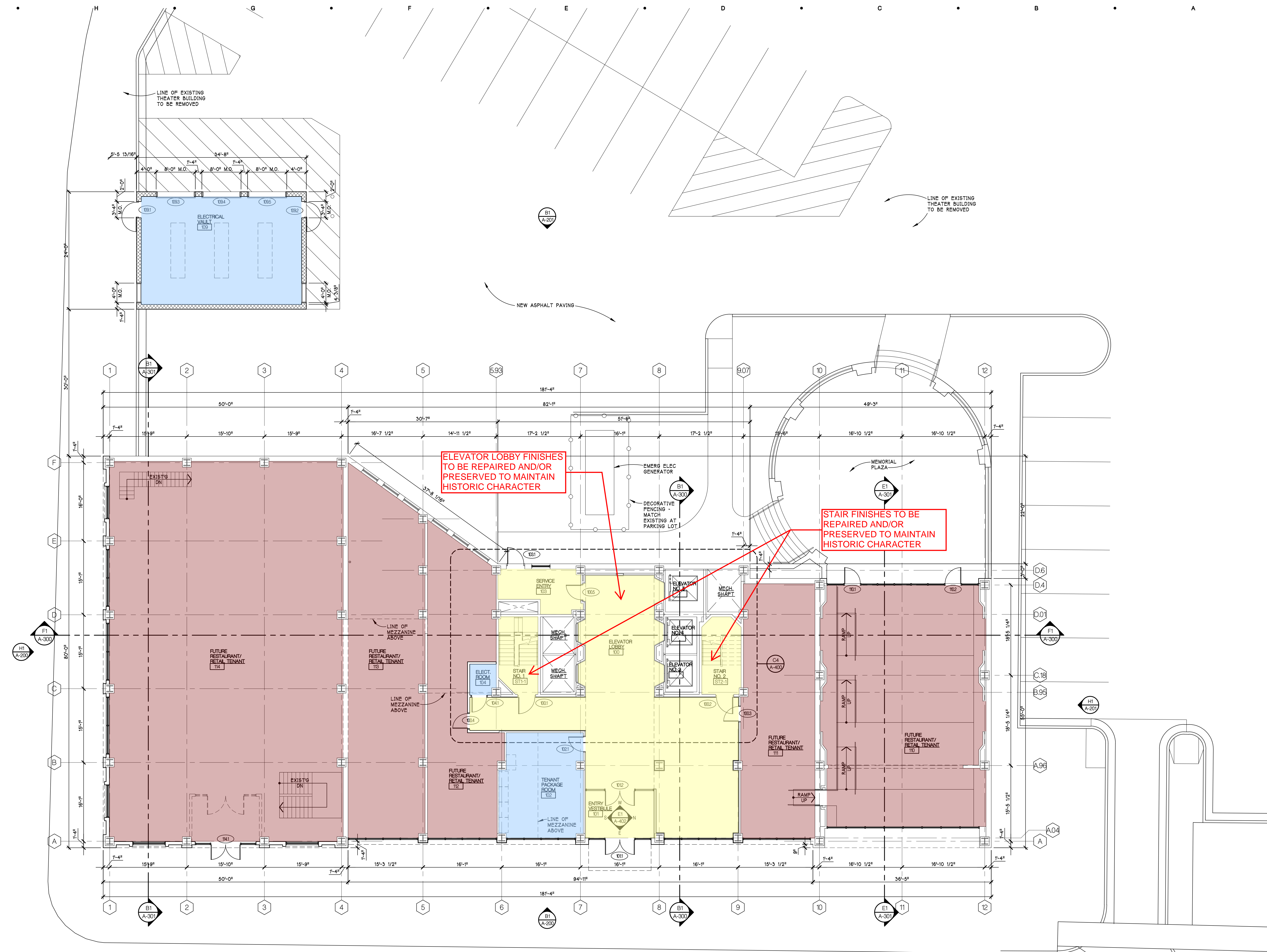
CONSULTANT

FIRST FLOOR PLAN

SHEET TITLE

15-802
 PROJECT NUMBER

A-101
 SHEET NUMBER



ELEVATOR LOBBY FINISHES TO BE REPAIRED AND/OR PRESERVED TO MAINTAIN HISTORIC CHARACTER

STAIR FINISHES TO BE REPAIRED AND/OR PRESERVED TO MAINTAIN HISTORIC CHARACTER

LEGEND

- AMENITIES/FACILITIES/COMMON AREAS
- CIRCULATION
- RETAIL SPACE

PLAN NORTH TRUE NORTH
C1 FIRST FLOOR PLAN
 SCALE - 1/8" = 1'-0"

Drawing: P:\2015\15-802\Drawings\CD\Architectural\01 - Plans
 Date: Oct 15, 2019, 1:38pm
 Layout: A-101
 Plotted by: amogwan

PROGRESS PRINT - NOT FOR CONSTRUCTION

FDD REVIEW	10/16/2019
90% CD	04/24/2019
PROGRESS PRINTING	11/13/2018
PROGRESS SET	10/24/2018
NPS PACKAGE	01/03/2018
DATE ISSUED	

DRAWN BY
 CHECKED BY

HOBBS + BLACK
 ARCHITECTS
 100 N. State St.
 Ann Arbor, MI 48104
 P. 734.663.4189
 www.hobbs-black.com

150 BAGLEY AVENUE
 DETROIT, MICHIGAN
 RENOVATION / RESTORATION

PROJECT

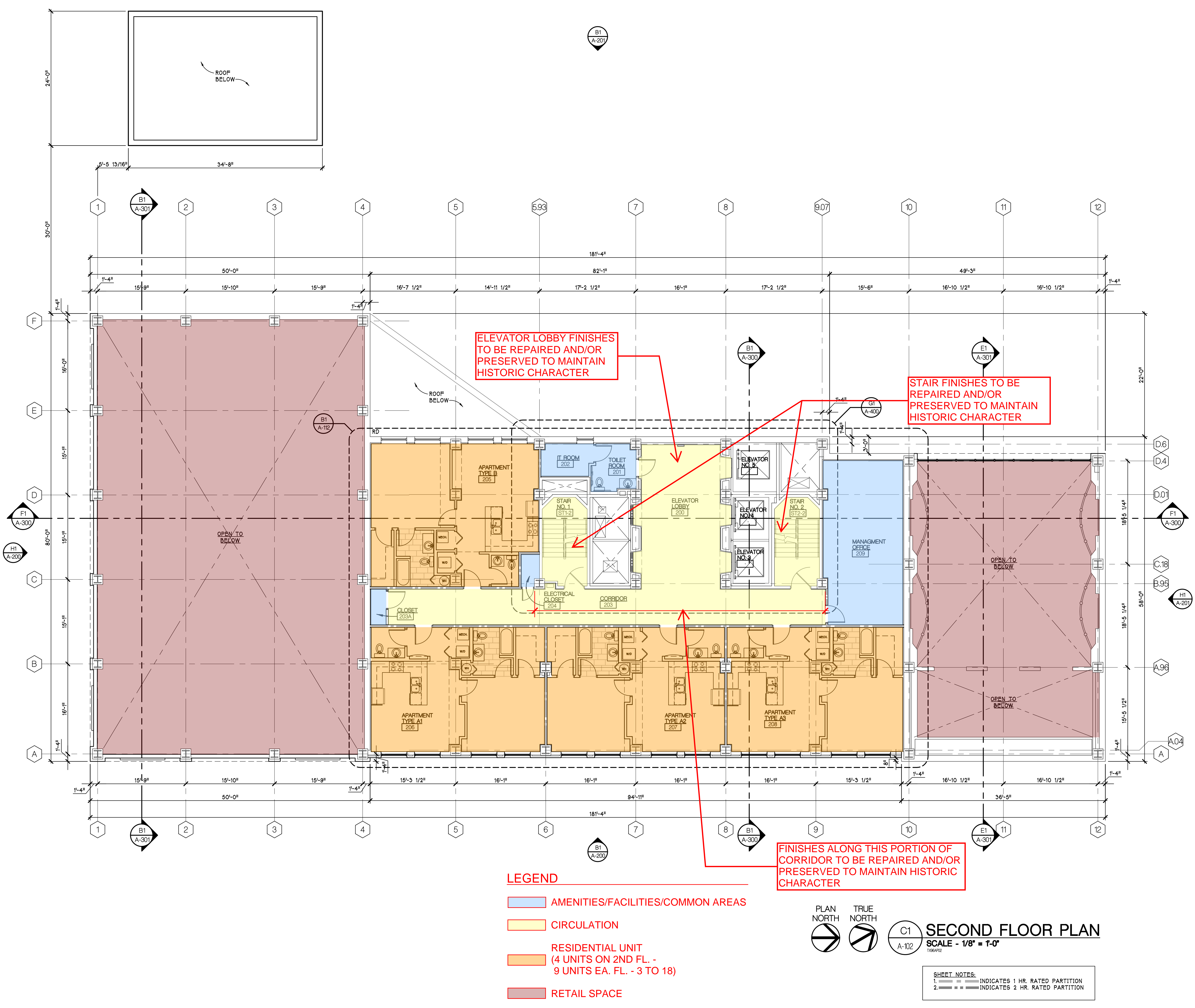
CONSULTANT

SECOND FLOOR PLAN

SHEET TITLE

15-802
 PROJECT NUMBER

A-102
 SHEET NUMBER



- LEGEND**
- AMENITIES/FACILITIES/COMMON AREAS
 - CIRCULATION
 - RESIDENTIAL UNIT
 (4 UNITS ON 2ND FL. -
 9 UNITS EA. FL. - 3 TO 18)
 - RETAIL SPACE

PLAN NORTH TRUE NORTH
C1 SECOND FLOOR PLAN
 SCALE - 1/8" = 1'-0"

SHEET NOTES:
 1. ——— INDICATES 1 HR. RATED PARTITION
 2. - - - - - INDICATES 2 HR. RATED PARTITION

Drawing: P:\2015\15-802\Drawings\CD\Architectural\02.dwg
 Date: Oct 15, 2019, 11:31am
 Layout: A-102
 Plotted by: amgawman

PROGRESS PRINT - NOT FOR CONSTRUCTION

FDD REVIEW	10/16/2018
90% CD	04/24/2018
PROGRESS PRINTING	11/13/2018
PROGRESS SET	10/24/2018
NPS PACKAGE	01/03/2018
DATE ISSUED	

DRAWN BY
 CHECKED BY

HOBBS + BLACK
 ARCHITECTS
 100 N. State St.
 Ann Arbor, MI 48104
 P. 734.663.4189
 www.hobbs-black.com

150 BAGLEY AVENUE
 DETROIT, MICHIGAN
 RENOVATION / RESTORATION

PROJECT

CONSULTANT

THIRD - SEVENTEETH FLOOR PLAN

SHEET TITLE

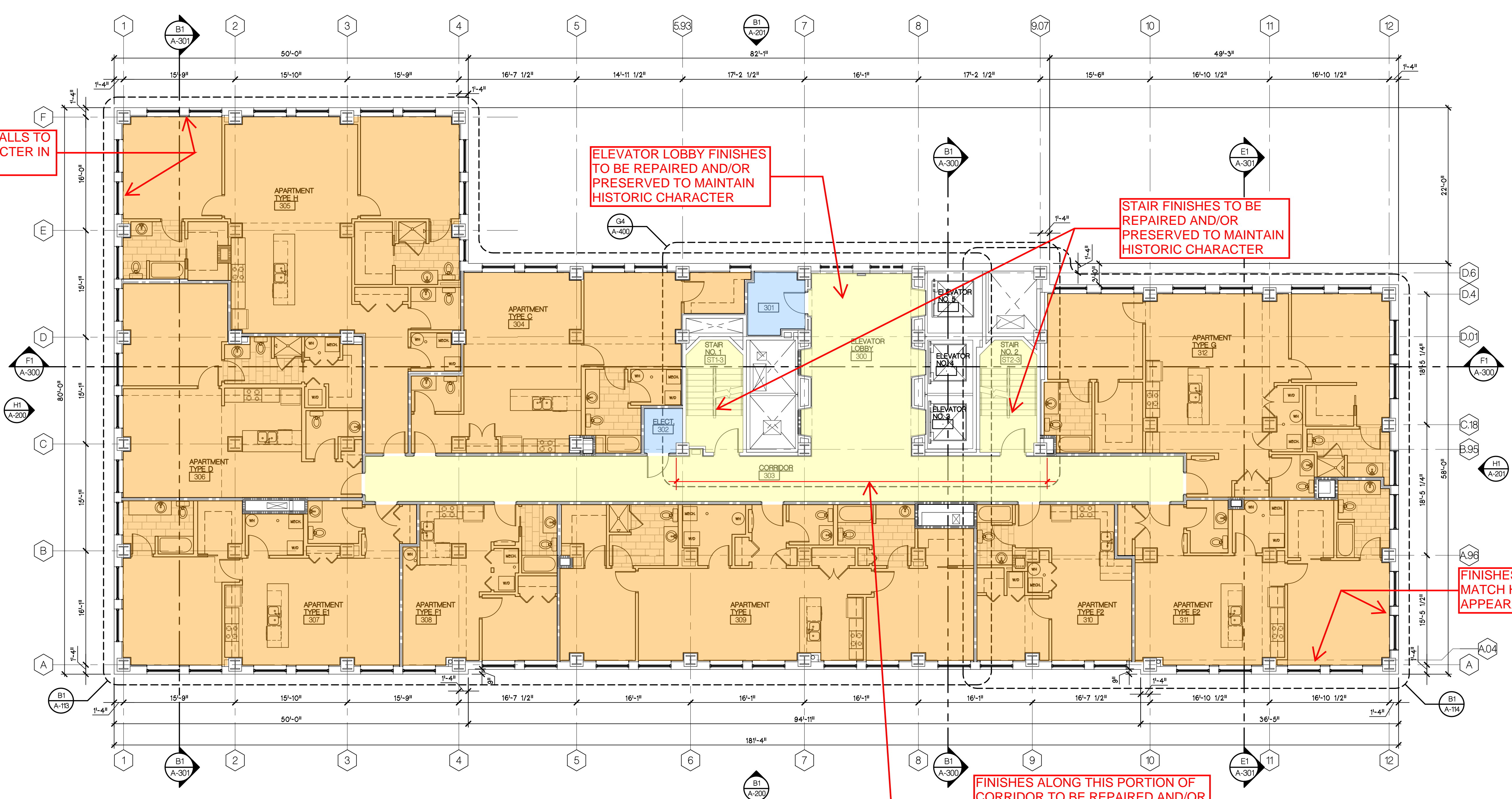
15-802

PROJECT NUMBER

A-103

SHEET NUMBER

PROGRESS PRINT - NOT FOR CONSTRUCTION



FINISHES ON OUTSIDE WALLS TO MATCH HISTORIC CHARACTER IN APPEARANCE, TYPICAL

ELEVATOR LOBBY FINISHES TO BE REPAIRED AND/OR PRESERVED TO MAINTAIN HISTORIC CHARACTER

STAIR FINISHES TO BE REPAIRED AND/OR PRESERVED TO MAINTAIN HISTORIC CHARACTER

FINISHES ON OUTSIDE WALLS TO MATCH HISTORIC CHARACTER IN APPEARANCE, TYPICAL

FINISHES ALONG THIS PORTION OF CORRIDOR TO BE REPAIRED AND/OR PRESERVED TO MAINTAIN HISTORIC CHARACTER

LEGEND

- AMENITIES/FACILITIES/COMMON AREAS
- CIRCULATION
- RESIDENTIAL UNIT
 (4 UNITS ON 2ND FL. -
 9 UNITS EA. FL. - 3 TO 18)

PLAN NORTH TRUE NORTH
THIRD - SEVENTEETH FLOOR PLAN
 (3RD FLOOR SHOWN)
 SCALE - 1/8" = 1'-0"

SHEET NOTES
 1. INDICATES 1 HR. RATED PARTITION
 2. INDICATES 2 HR. RATED PARTITION

FDD REVIEW	10/16/2018
90% CD	04/24/2018
PROGRESS PRINTING	11/13/2018
PROGRESS SET	10/24/2018
NPS PACKAGE	01/03/2018
DATE ISSUED	
DRAWN BY	
CHECKED BY	

HOBBS + BLACK ARCHITECTS
 100 N. State St.
 Ann Arbor, MI 48104
 P. 734.663.4189
 www.hobbs-black.com

150 BAGLEY AVENUE
 DETROIT, MICHIGAN
 RENOVATION / RESTORATION

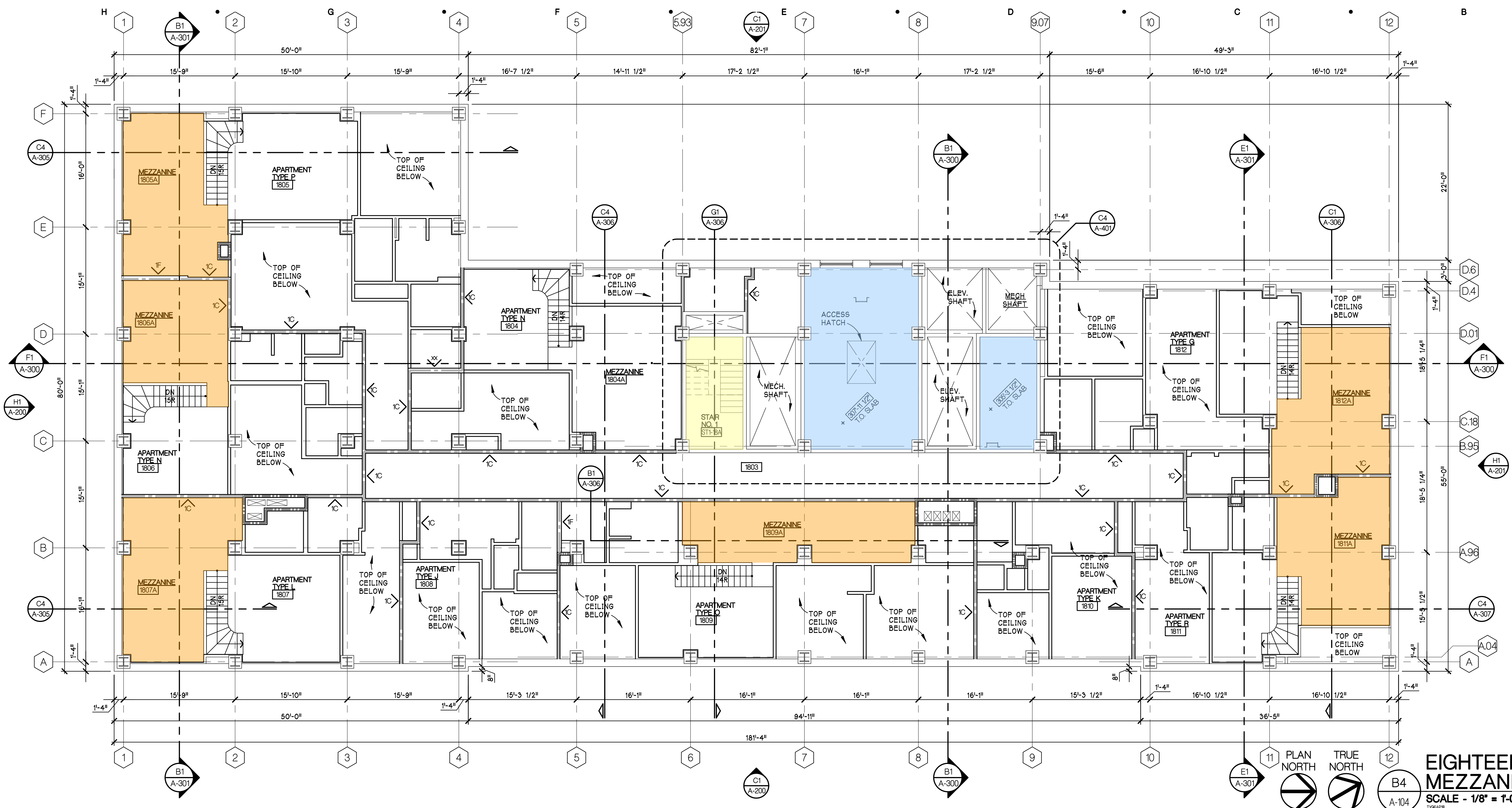
PROJECT
 CONSULTANT

PROGRESS PRINT - NOT FOR CONSTRUCTION

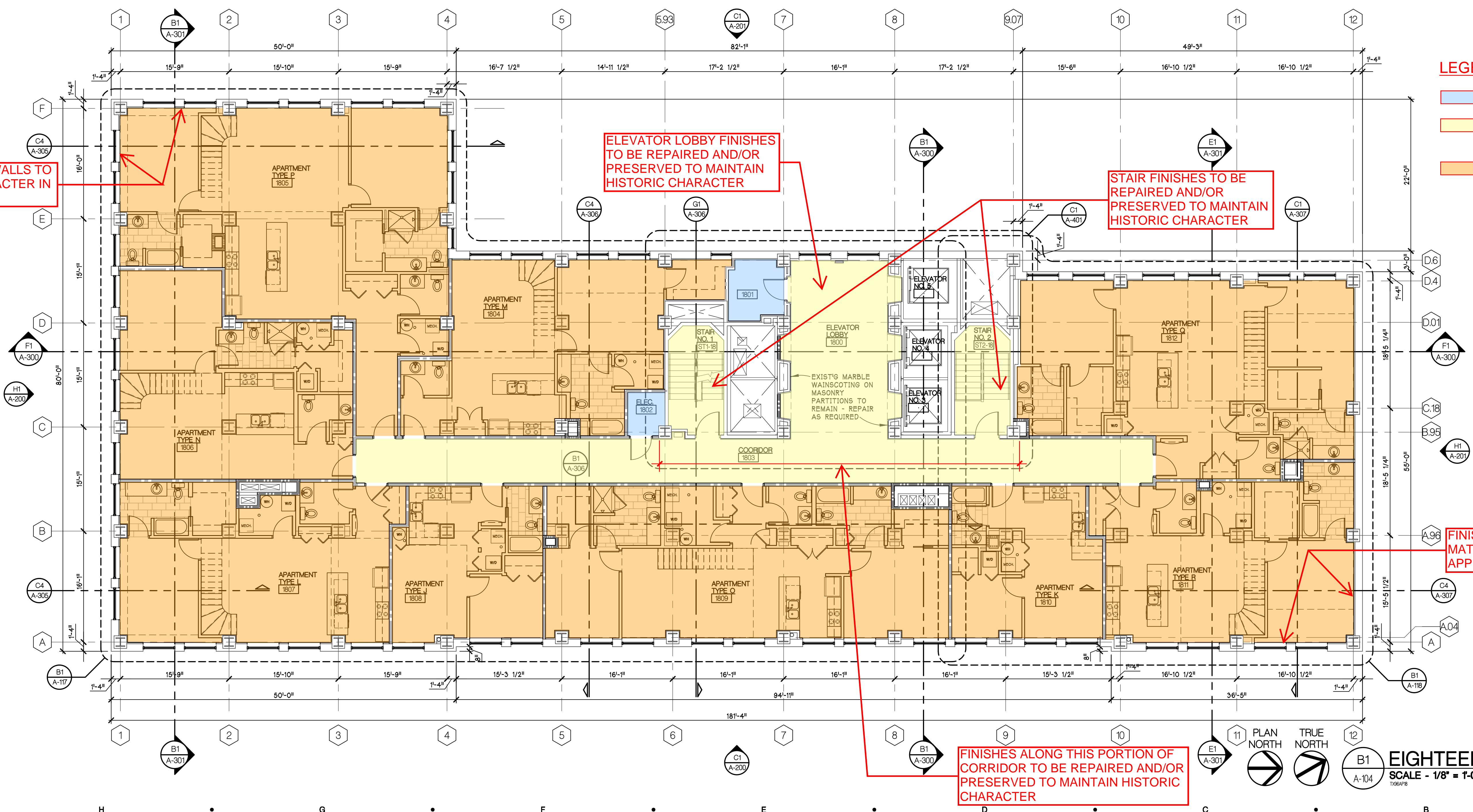
EIGHTEENTH FLOOR & MEZZANINE PLANS
 SHEET TITLE

15-802
 PROJECT NUMBER

A-104
 SHEET NUMBER



EIGHTEENTH FLR. MEZZANINE PLAN
 SCALE - 1/8" = 1'-0"



EIGHTEENTH FLOOR PLAN
 SCALE - 1/8" = 1'-0"

SHEET NOTES:
 1. _____ INDICATES 1 HR. RATED PARTITION
 2. - - - - - INDICATES 2 HR. RATED PARTITION

- LEGEND**
- AMENITIES/FACILITIES/COMMON AREAS
 - CIRCULATION
 - RESIDENTIAL UNIT
(4 UNITS ON 2ND FL. - 9 UNITS EA. FL. - 3 TO 18)

FINISHES ON OUTSIDE WALLS TO MATCH HISTORIC CHARACTER IN APPEARANCE, TYPICAL

ELEVATOR LOBBY FINISHES TO BE REPAIRED AND/OR PRESERVED TO MAINTAIN HISTORIC CHARACTER

STAIR FINISHES TO BE REPAIRED AND/OR PRESERVED TO MAINTAIN HISTORIC CHARACTER

FINISHES ON OUTSIDE WALLS TO MATCH HISTORIC CHARACTER IN APPEARANCE, TYPICAL

FINISHES ALONG THIS PORTION OF CORRIDOR TO BE REPAIRED AND/OR PRESERVED TO MAINTAIN HISTORIC CHARACTER

Drawing: P:\2015\15-802\Drawings\18thFloor\18thFloor.dwg
 Date: Oct 15, 2018, 1:11:39pm
 Layout: A-104
 Plotted by: emogawan

FDD REVIEW	10/16/2019
90% CD	04/24/2019
PROGRESS PRINTING	11/13/2018
PROGRESS SET	10/24/2018
NPS PACKAGE	01/03/2018
DATE ISSUED	

DRAWN BY
 CHECKED BY

HOBBS + BLACK
 ARCHITECTS

100 N. State St.
 Ann Arbor, MI 48104
 P. 734.663.4189
 www.hobbs-black.com

150 BAGLEY AVENUE
 DETROIT, MICHIGAN
 RENOVATION / RESTORATION

PROJECT

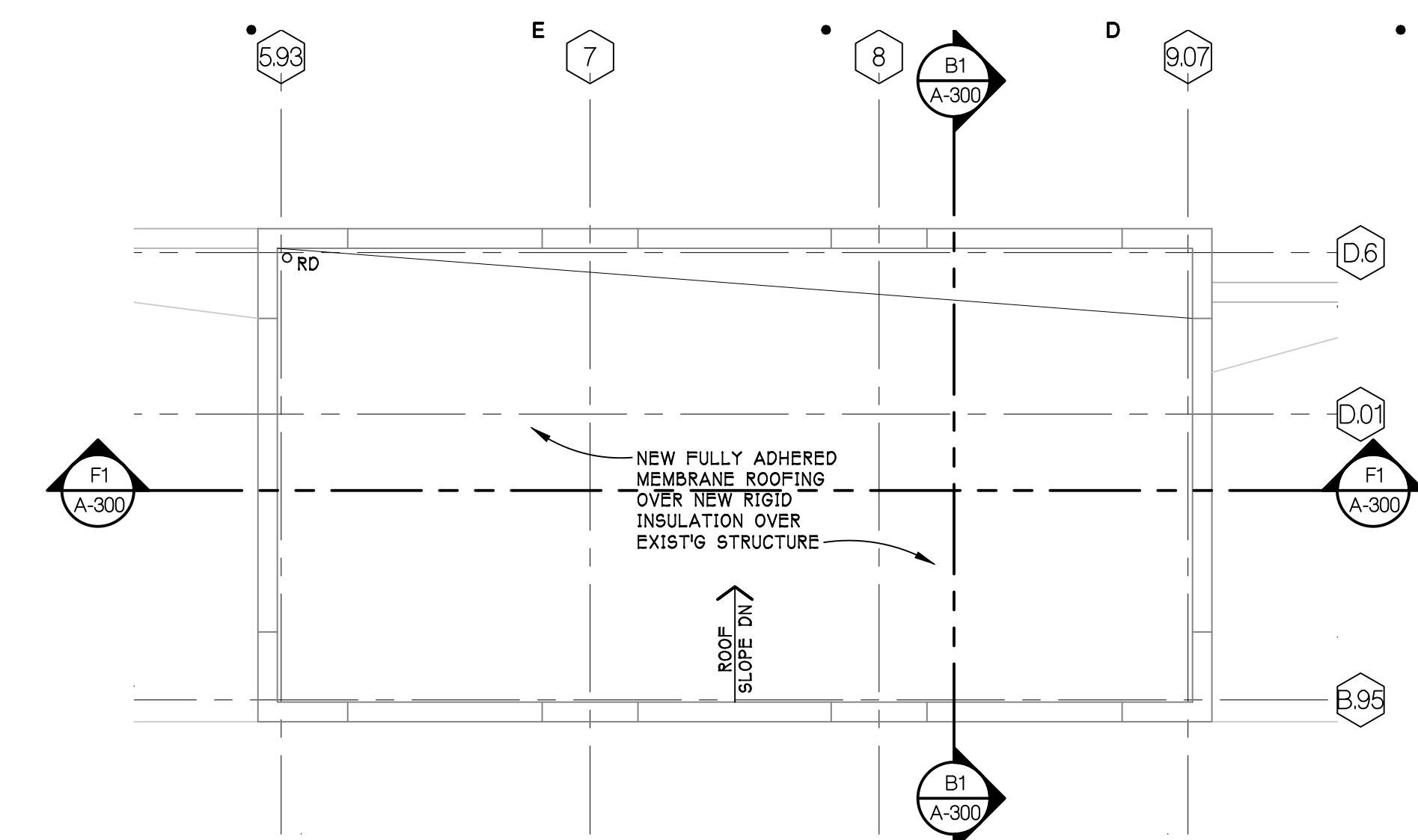
CONSULTANT

ROOF PLAN
 SHEET TITLE

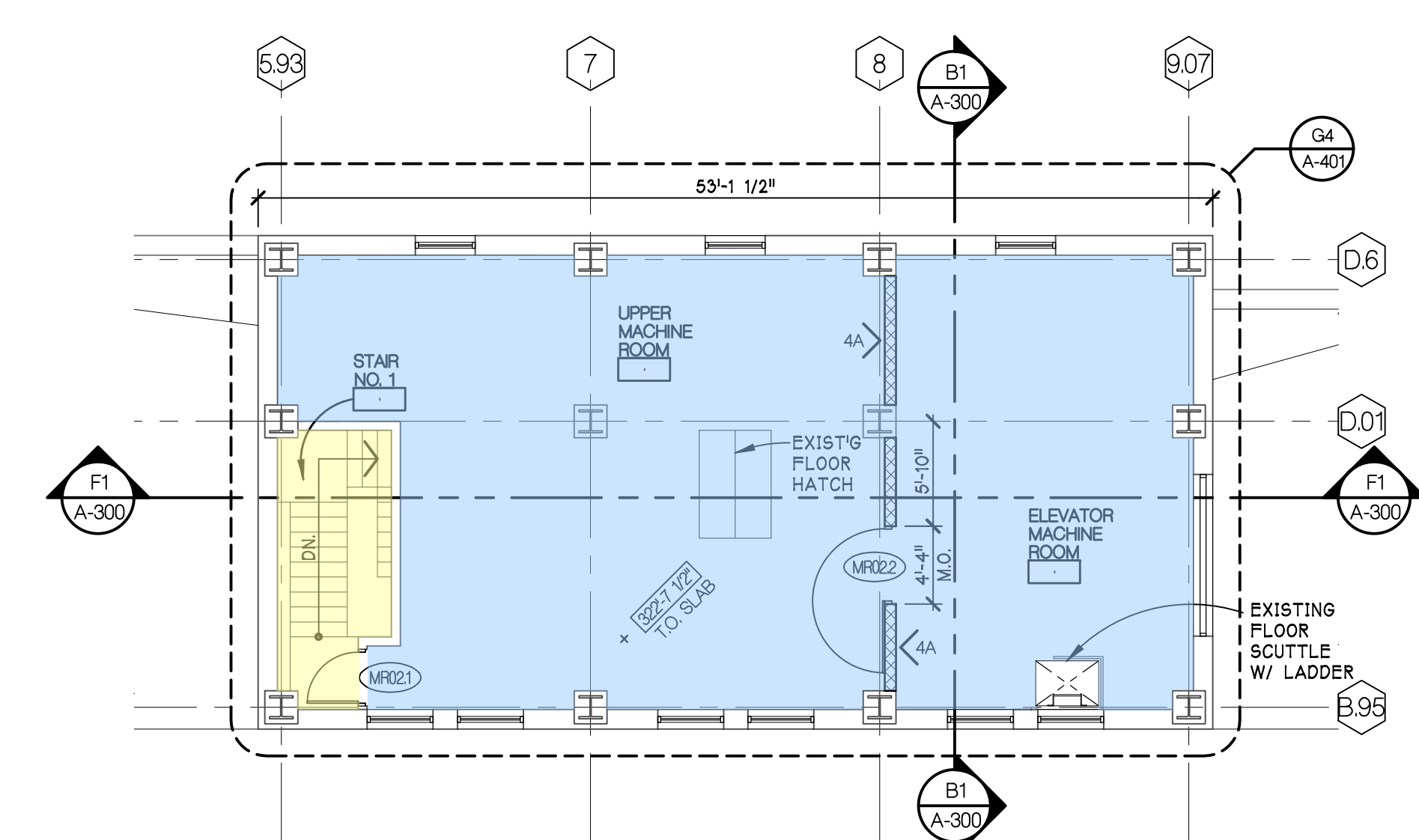
15-802
 PROJECT NUMBER

A-105
 SHEET NUMBER

PROGRESS PRINT - NOT FOR CONSTRUCTION



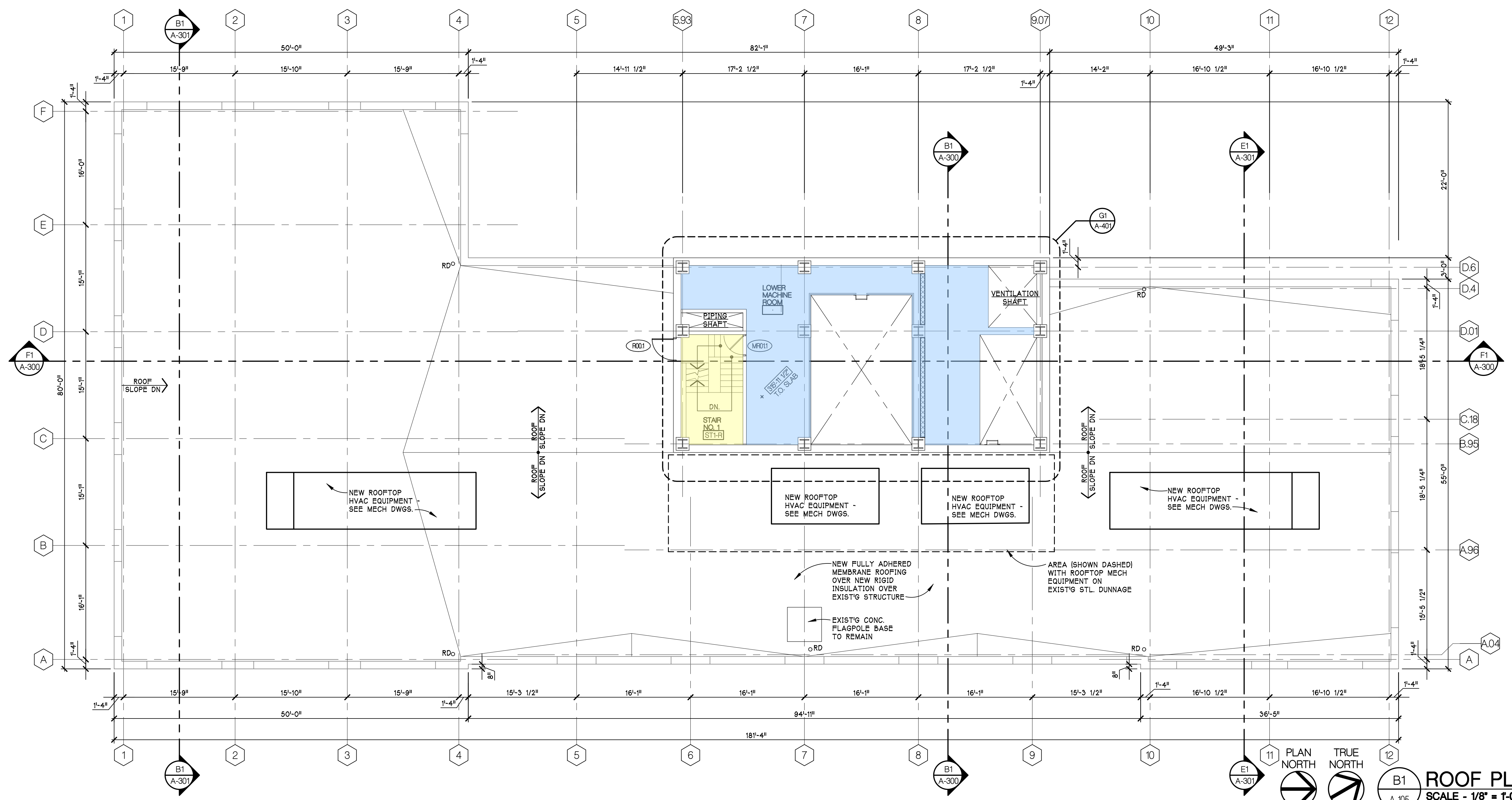
PLAN NORTH TRUE NORTH
B1 HIGH ROOF PLAN
 A-105 SCALE - 1/8" = 1'-0"



PLAN NORTH TRUE NORTH
B1 UPPER MACHINE RM. FLOOR PLAN
 A-105 SCALE - 1/8" = 1'-0"

LEGEND

- AMENITIES/FACILITIES/COMMON AREAS
- CIRCULATION



PLAN NORTH TRUE NORTH
B1 ROOF PLAN
 A-105 SCALE - 1/8" = 1'-0"

FDD REVIEW	10/16/2018
90% CD	04/24/2019
PROGRESS PRINTING	11/13/2018
PROGRESS SET	10/24/2018
NPS PACKAGE	01/03/2018
DATE ISSUED	
DRAWN BY	
CHECKED BY	

HOBBS + BLACK
 ARCHITECTS
 100 N. Shore St.
 Ann Arbor, MI 48104
 P. 734.663.4189
 www.hobbs-black.com

150 BAGLEY AVENUE
 DETROIT, MICHIGAN
 RENOVATION / RESTORATION

PROJECT
 CONSULTANT

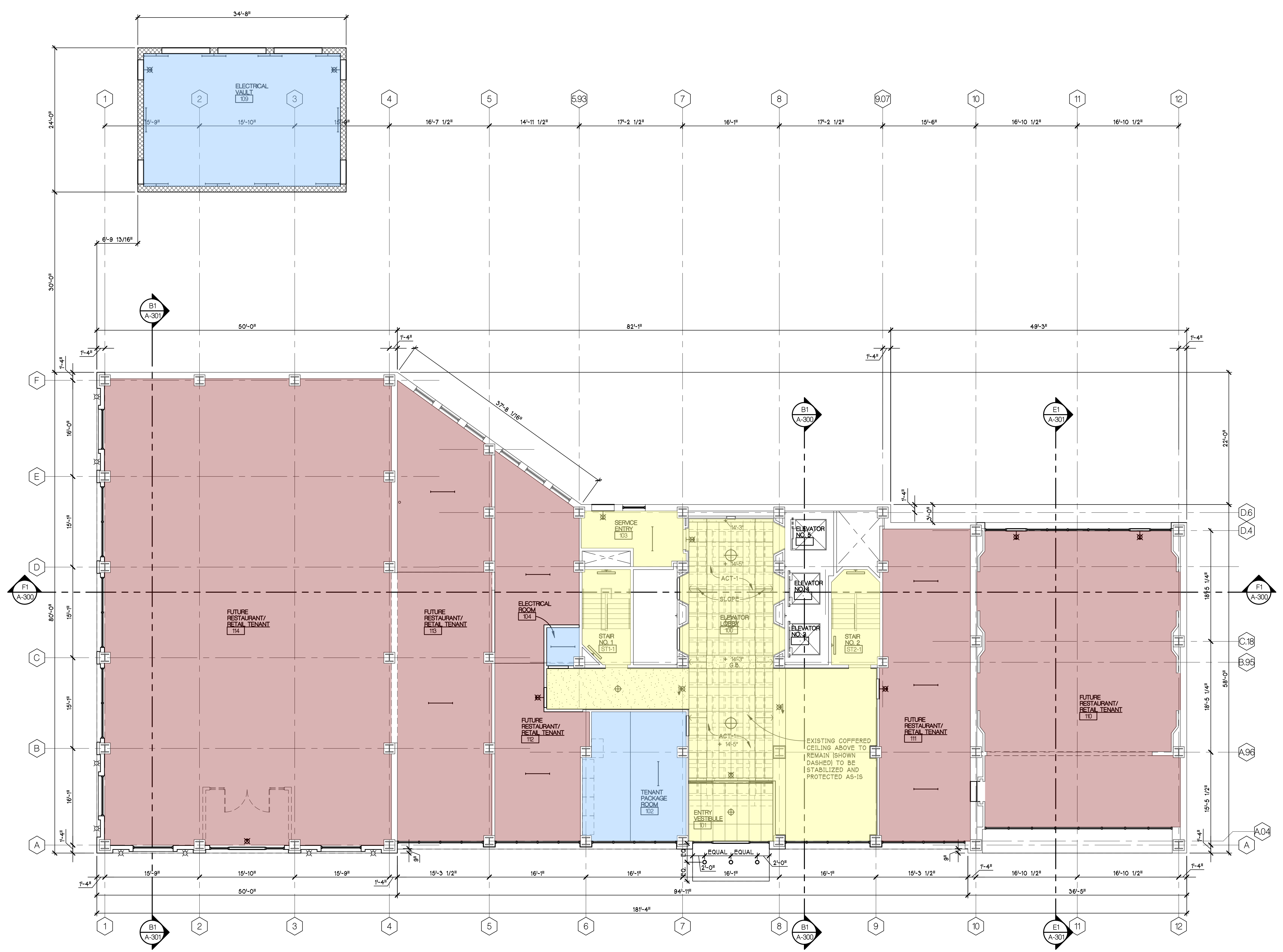
PROGRESS PRINT - NOT FOR CONSTRUCTION

FIRST FLOOR REFLECTED CEILING PLAN

SHEET TITLE

15-802
 PROJECT NUMBER

A-151
 SHEET NUMBER



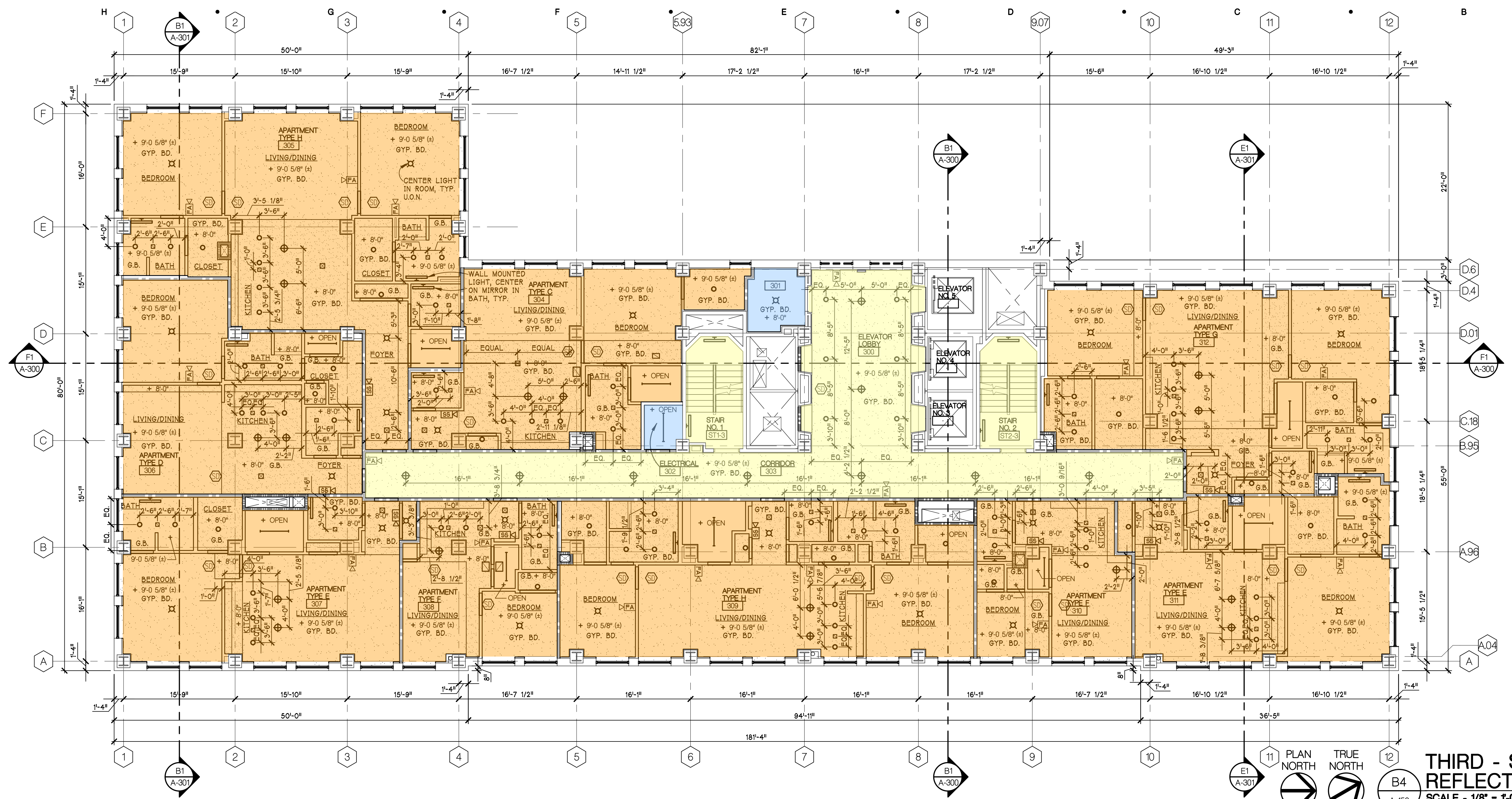
LEGEND

- AMENITIES/FACILITIES/COMMON AREAS
- CIRCULATION
- RETAIL SPACE

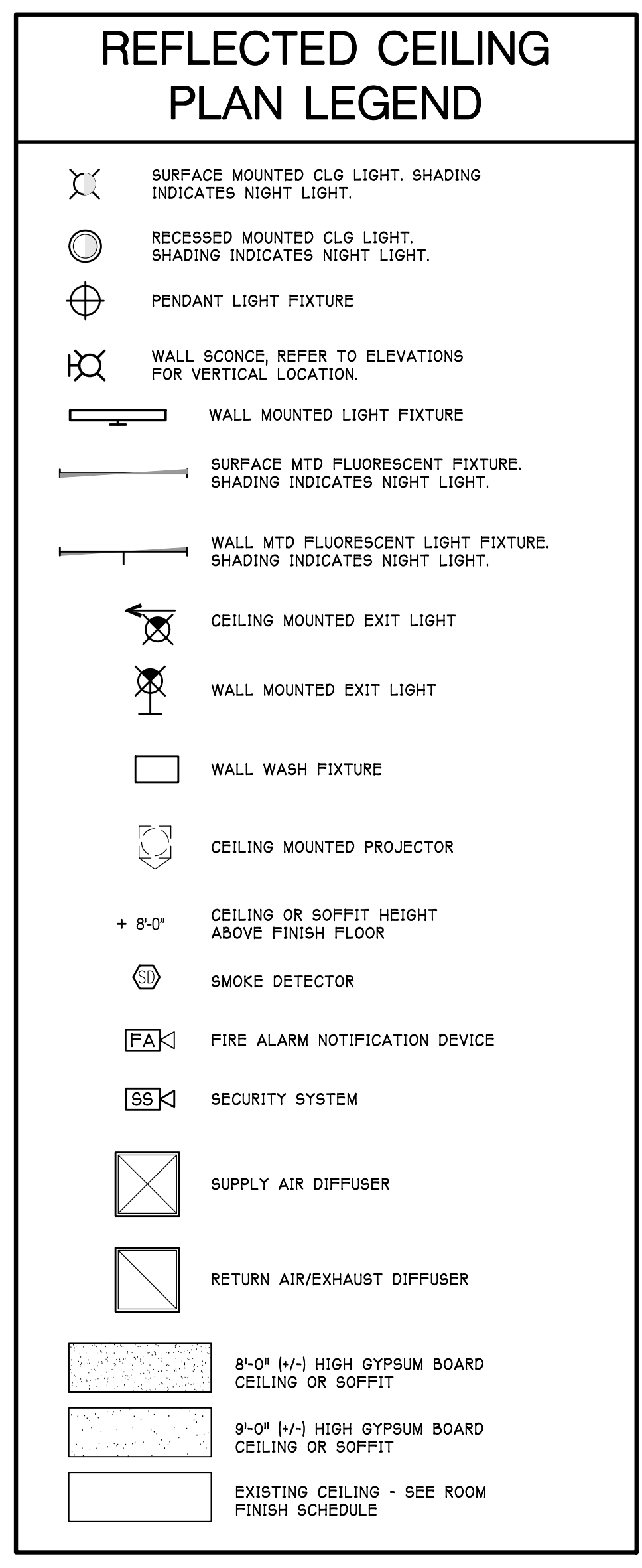
PLAN NORTH
 TRUE NORTH

FIRST FLOOR REFLECTED CEILING PLAN
 SCALE - 1/8" = 1'-0"

Drawing: P:\2015\15020\Drawings\CD\Architectural\151.dwg
 Date: Oct 15, 2018, 1:11 pm
 Layout: A-151
 Plotted by: amogwan



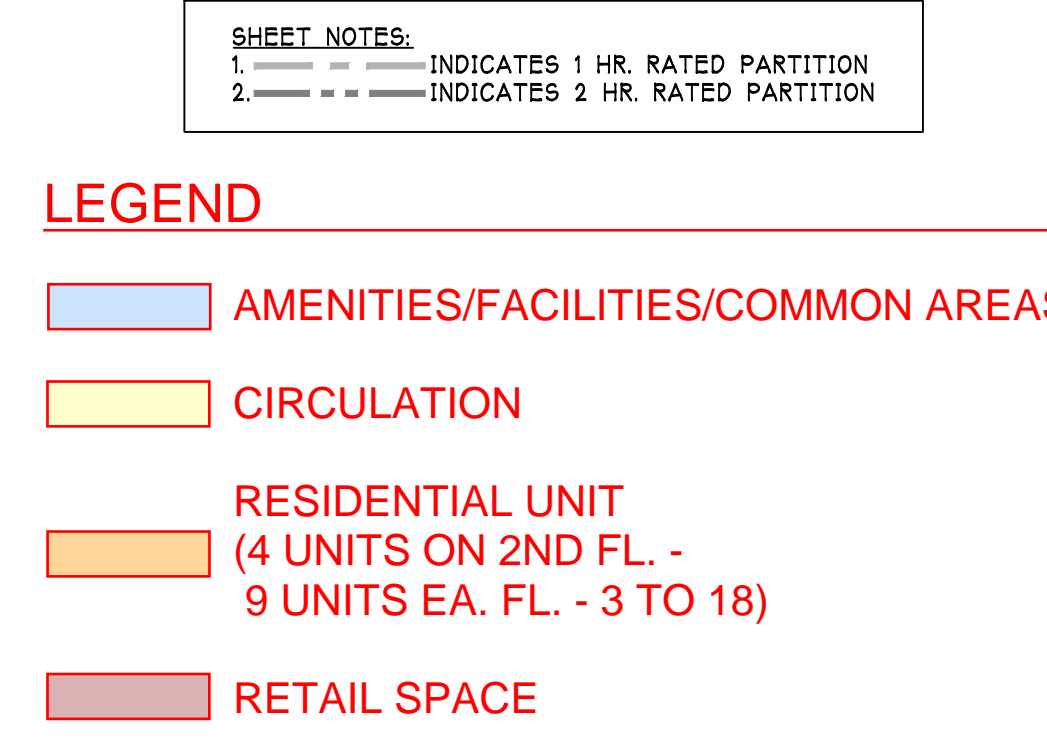
THIRD - SEVENTEENTH FL. REFLECTED CEILING PLAN
 (3RD FLOOR SHOWN)
 SCALE - 1/8" = 1'-0"



NOTES:
 1. REFER TO THE ELECTRICAL DRAWINGS AND SCHEDULES



SECOND FLOOR REFLECTED CEILING PLAN
 SCALE - 1/8" = 1'-0"



Drawing: P:\2015\15-802\Drawings\2nd-17th\A-152.dwg
 Date: Oct 15, 2018, 1:10pm
 Layout: A-152
 Plotted by: amgwan

PROGRESS PRINT - NOT FOR CONSTRUCTION

FDD REVIEW	10/16/2018
90% CD	04/24/2018
PROGRESS PRINTING	11/13/2018
PROGRESS SET	10/24/2018
NPS PACKAGE	01/03/2018
DATE ISSUED	
DRAWN BY	
CHECKED BY	

HOBBS + BLACK ARCHITECTS
 100 N. State St.
 Ann Arbor, MI 48104
 P. 734.663.4189
 www.hobbs-black.com

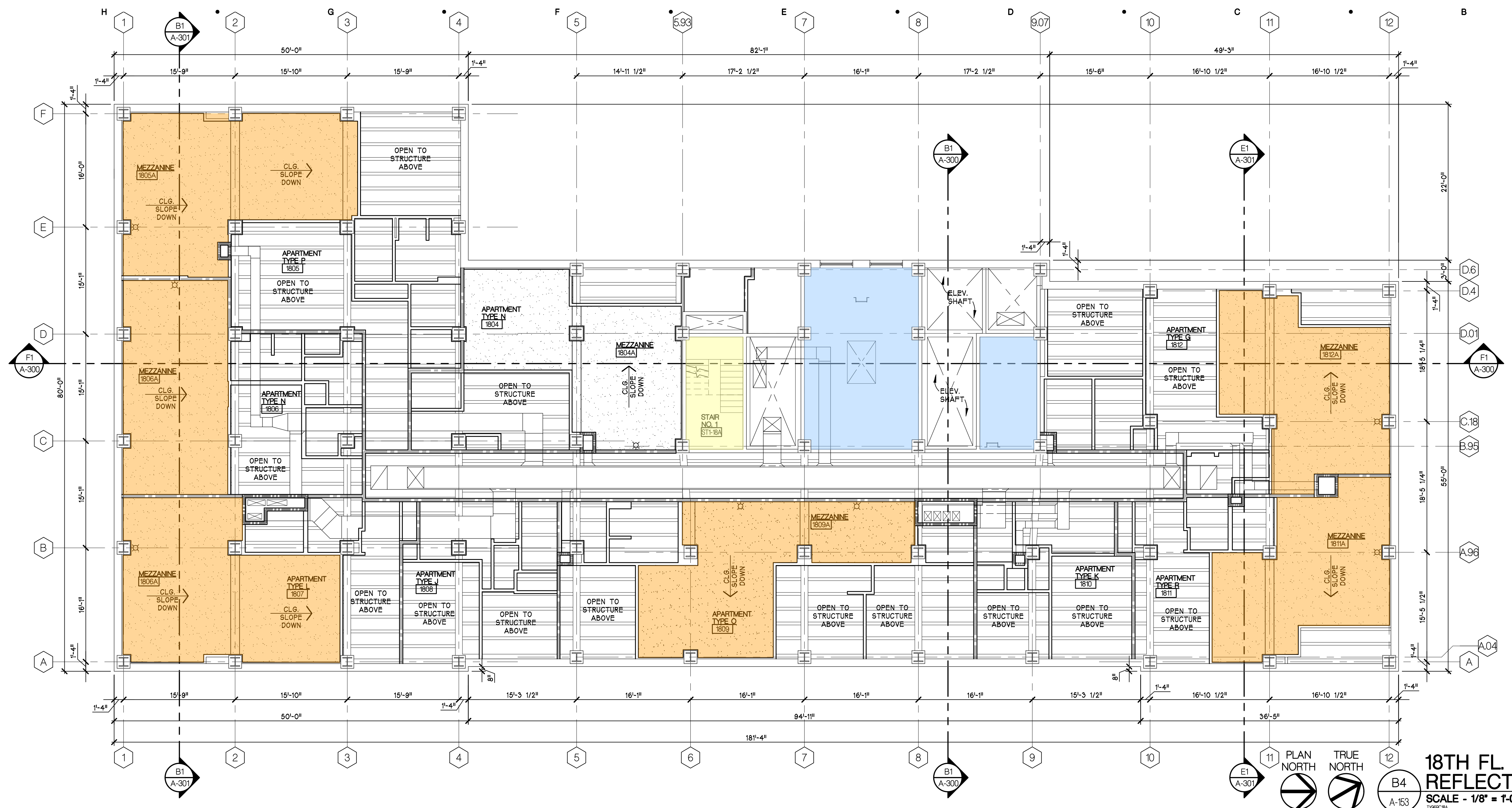
150 BAGLEY AVENUE
 DETROIT, MICHIGAN
 RENOVATION / RESTORATION

PROJECT

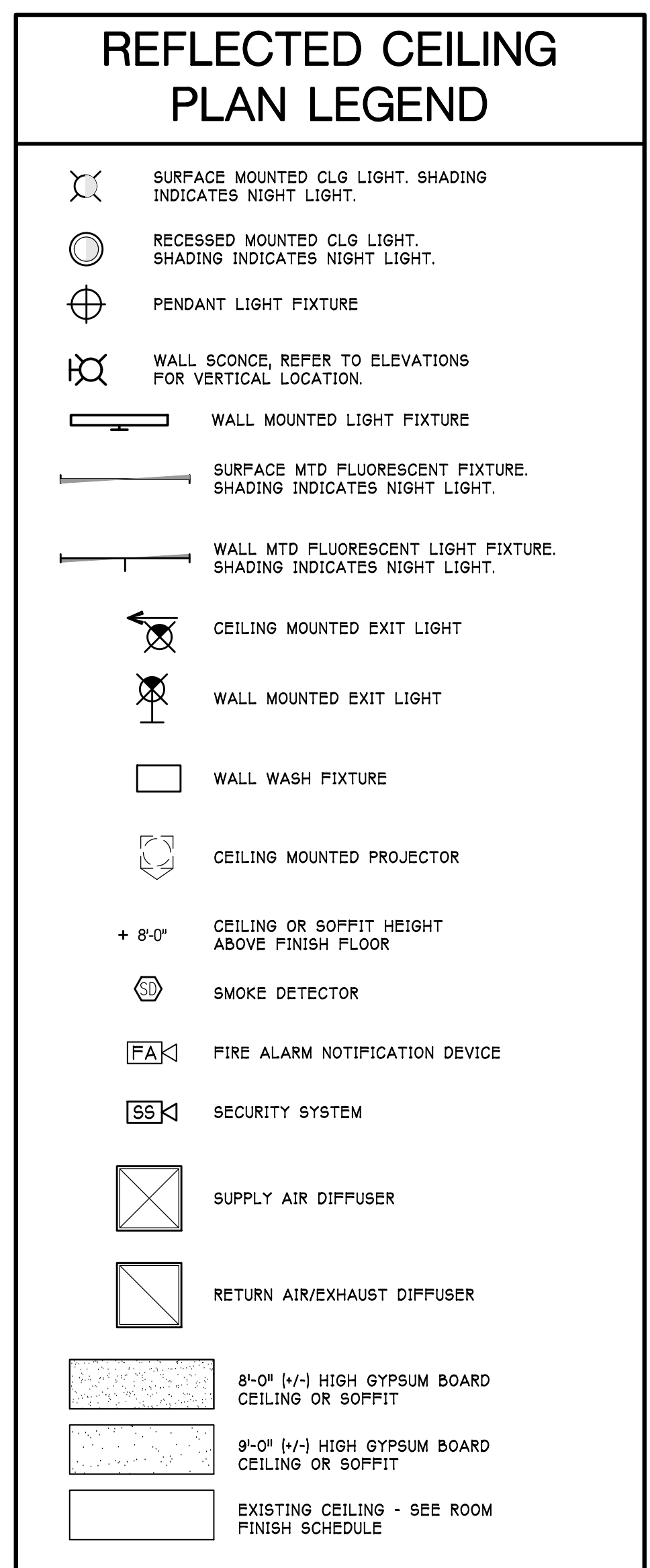
CONSULTANT

EIGHTEENTH FL & MEZZANINE REFLECTED CEILING PLANS

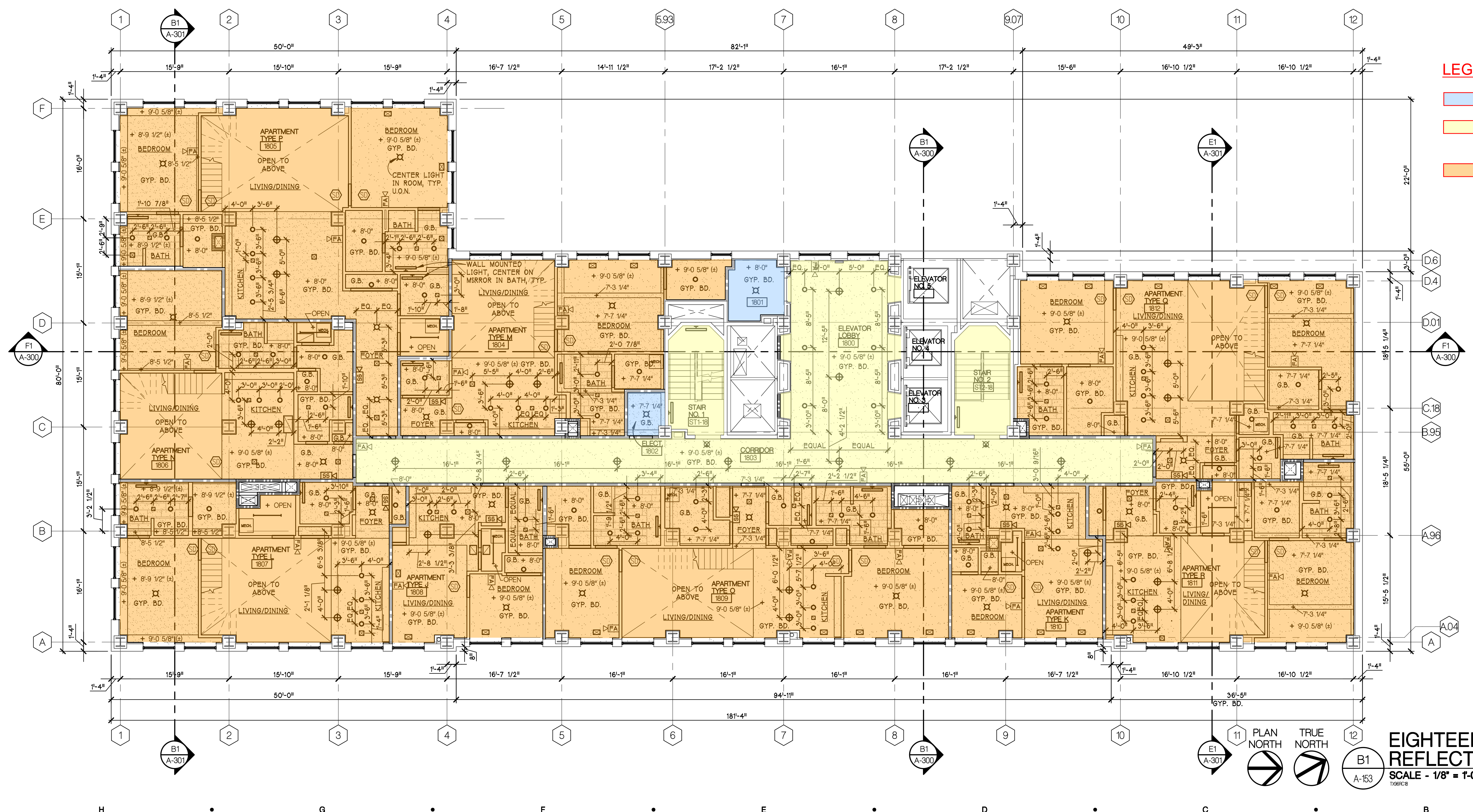
SHEET TITLE
15-802
 PROJECT NUMBER
A-153
 SHEET NUMBER



18TH FL. MEZZANINE REFLECTED CEILING PLAN
 SCALE - 1/8" = 1'-0"



NOTES:
 1. REFER TO THE ELECTRICAL DRAWINGS AND SCHEDULES FOR ADDITIONAL INFORMATION.
 2. REFER TO THE MECHANICAL DRAWINGS AND SCHEDULES FOR ADDITIONAL INFORMATION.
 3. ALL APARTMENT SUITE CEILINGS WILL CONSIST OF 2 LAYERS OF 5/8" GYP. BD. STAGGERED.



EIGHTEENTH FLOOR REFLECTED CEILING PLAN
 SCALE - 1/8" = 1'-0"

Drawing: P1201 (S) 15/02/2018 DWG: 150BAGLEY18THFL153.dwg
 Date: Oct 15, 2018 2:13pm Layout: A-153 Plotted by: amgman

PROGRESS PRINT - NOT FOR CONSTRUCTION

PDD REVIEW	10/16/2018
90% CD	04/24/2018
PROGRESS PRINTING	11/13/2018
PROGRESS SET	10/24/2018
NPS PACKAGE	01/03/2018
DATE ISSUED	

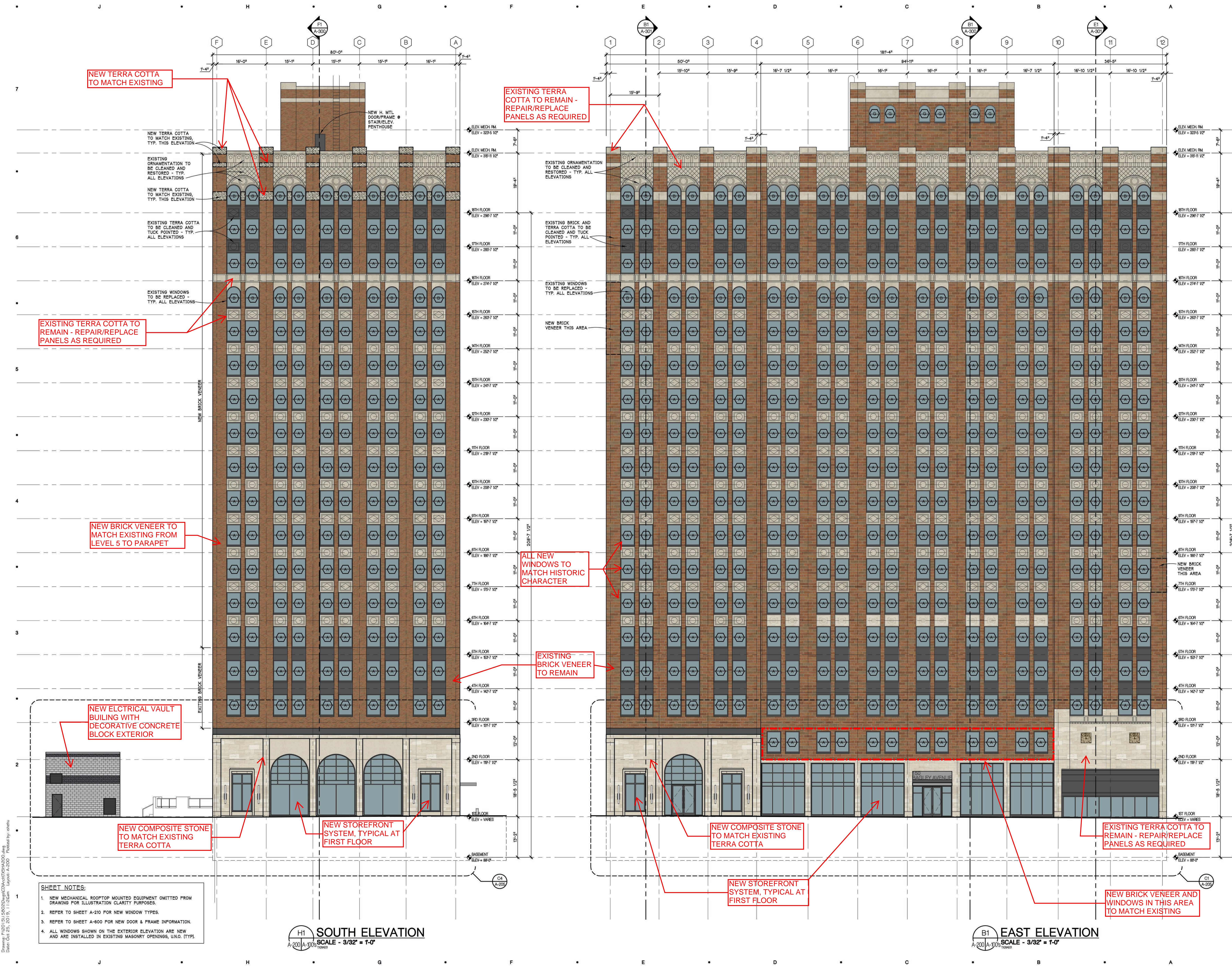
DRAWN BY
 CHECKED BY

HOBBS + BLACK
ARCHITECTS
 100 N. State St.
 Ann Arbor, MI 48104
 P. 734.663.4187
 www.hobbs-black.com

150 BAGLEY AVENUE
 DETROIT, MICHIGAN
 RENOVATION / RESTORATION

PROJECT
 CONSULTANT

PROGRESS PRINT - NOT FOR CONSTRUCTION
 EXTERIOR ELEVATIONS
 SHEET TITLE
15-802
 PROJECT NUMBER
A-200
 SHEET NUMBER

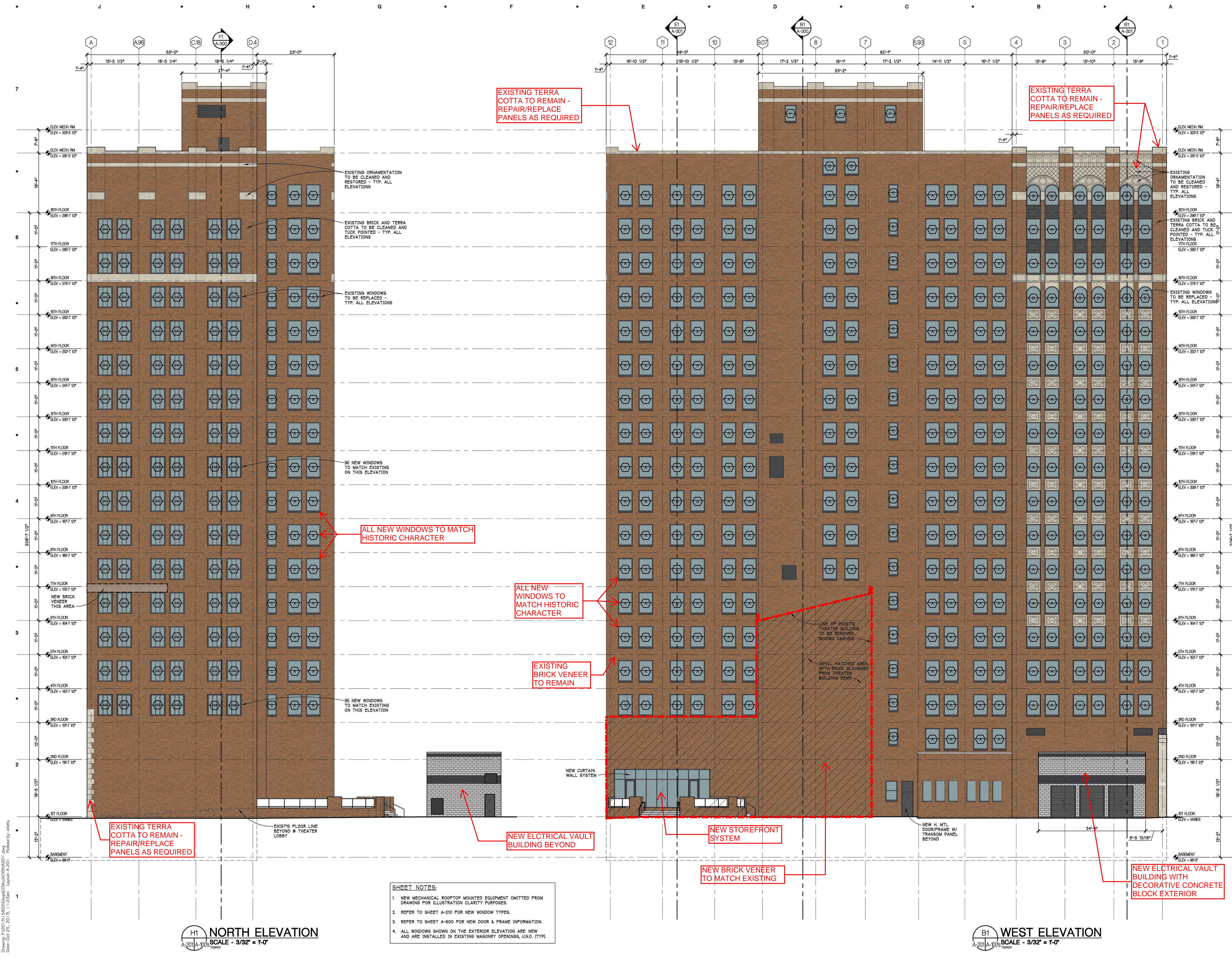


- SHEET NOTES:**
1. NEW MECHANICAL ROOFTOP MOUNTED EQUIPMENT OMITTED FROM DRAWING FOR ILLUSTRATION CLARITY PURPOSES.
 2. REFER TO SHEET A-210 FOR NEW WINDOW TYPES.
 3. REFER TO SHEET A-600 FOR NEW DOOR & FRAME INFORMATION.
 4. ALL WINDOWS SHOWN ON THE EXTERIOR ELEVATION ARE NEW AND ARE INSTALLED IN EXISTING MASONRY OPENINGS, U.N.O. (TYP).

H1 SOUTH ELEVATION
 SCALE - 3/32" = 1'-0"

B1 EAST ELEVATION
 SCALE - 3/32" = 1'-0"

Drawing File: S:\15869200\15869200.dwg
 Date: Oct 25, 2018 11:12am
 Layout: A-200
 Printed by: rthlms



Date: Oct 25, 2018 11:23am
 Layout: A-201
 Plotted by: rthlms

- SHEET NOTES:**
1. NEW MECHANICAL ROOFTOP MOUNTED EQUIPMENT OMITTED FROM DRAWING FOR ILLUSTRATION CLARITY PURPOSES.
 2. REFER TO SHEET A-210 FOR NEW WINDOW TYPES.
 3. REFER TO SHEET A-600 FOR NEW DOOR & FRAME INFORMATION.
 4. ALL WINDOWS SHOWN ON THE EXTERIOR ELEVATION ARE NEW AND ARE INSTALLED IN EXISTING MASONRY OPENINGS, U.N.O. (TYP.)

NORTH ELEVATION
 SCALE - 3/32" = 1'-0"

WEST ELEVATION
 SCALE - 3/32" = 1'-0"

PROGRESS PRINT - NOT FOR CONSTRUCTION

PDD REVIEW	10/16/2018
90% CD	04/24/2018
PROGRESS PRINTING	11/13/2018
PROGRESS SET	10/24/2018
NPS PACKAGE	01/03/2018
DATE ISSUED	

DRAWN BY _____
 CHECKED BY _____

HOBBS + BLACK ARCHITECTS
 100 N. State St.
 Ann Arbor, MI 48104
 P. 734.663.4187
 www.hobbs-black.com

150 BAGLEY AVENUE
 DETROIT, MICHIGAN
 RENOVATION / RESTORATION

PROJECT _____

CONSULTANT _____

EXTERIOR ELEVATIONS

SHEET TITLE

15-802

PROJECT NUMBER

A-201

SHEET NUMBER



150 BAGLEY AVENUE

DETROIT, MICHIGAN

RENOVATION AND RESTORATION

PDD REVIEW

OCTOBER 16, 2019

OWNER AND OWNER'S DIRECT CONSULTANTS:

OWNER / DEVELOPER

BAGLEY DEVELOPMENT GROUP
550 FORT STREET
DETROIT, MI 48226
PHONE:

FINANCIAL/APPRaiser

JPS & ASSOCIATES, INC.
319 N. MAIN, SUITE 100
SPRINGFIELD, MO 65806
ATT: JEFF SMITH
PHONE: (417) 882-4208

EXTERIOR ENVELOPE & STRUCTURAL EVALUATION

WALKER CONSULTANTS
525 AVIS DRIVE, SUITE 1
ANN ARBOR, MI 48108
PHONE:

GREEN MIP

McNEELY BUILDING GROUP LLC
20191 WEST WHIPPLE DRIVE
NORTHVILLE, MI 48167
ATT: KEVIN McNEELY
PHONE:

CONSTRUCTION MANAGEMENT TEAM AND CM DIRECT CONSULTANTS:

CONSTRUCTION MANAGEMENT TEAM:

L. S. BRINKER
53633 MICHIGAN AVE., SUITE 300
DETROIT, MI 48216
PHONE: (313) 897-9130

CHRISTMAN COMPANY
3011 W. GRAND BLVD., SUITE 200
DETROIT, MI 48202

DESIGN ASSIST - MECHANICAL HVAC

GREAT LAKES MECHANICAL
3800 MAPLE STREET
DEARBORN, MICHIGAN 48126
PHONE: (313) 581-1400

DESIGN ASSIST - PLUMBING

BEN WASHINGTON & SONS, INC.
7116 TIREMAN AVENUE
DETROIT, MICHIGAN 48204
PHONE:

DESIGN ASSIST - ELECTRICAL

EDGEWOOD ELECTRIC, LLC
3633 MICHIGAN AVENUE #100
DETROIT, MICHIGAN 48216
PHONE:

DESIGN & ENGINEERING CONSULTANT TEAM:

ARCHITECT / INTERIOR DESIGN

HOBBS + BLACK ASSOCIATES, INC.
100 N. STATE STREET
ANN ARBOR, MICHIGAN 48104
PHONE: (734) 663-4189
FAX: (734) 663-1770

HISTORICAL CONSULTANT

KIDORF PRESERVATION CONSULTING
451 E. FERRY STREET
DETROIT, MICHIGAN 48202
PHONE:

CIVIL ENGINEER

SPALDING DEDECKER
905 SOUTH BLVD. EAST
ROCHESTER HILLS, MICHIGAN 48307
PHONE: (248) 844-5400

STRUCTURAL ENGINEER

DESAI NASR CONSULTING ENGINEERS
6765 DAY ROAD
WEST BLOOMFIELD, MI 48322
PHONE: (248) 932-2010

MEP ENGINEER

STRATEGIC ENERGY SOLUTIONS, INC.
23237 WOODWARD AVENUE
FERNDALe, MI 48220
PHONE: (248) 399-1900

FINISH HARDWARE CONSULTANT

ALLEGION, PLC
44704 HELM STREET
PLYMOUTH, MI 48170
PHONE: (734) 456-5324

PDD REVIEW	10/16/2019
80% CD	04/24/2019
PROGRESS PRINTING	11/15/2018
PROGRESS SET	10/24/2018
NPS PACKAGE	01/03/2018

DATE ISSUED
DRAWN BY
CHECKED BY

HOBBS + BLACK
ARCHITECTS
100 N. State St.
Ann Arbor, MI 48104
P: 734.663.4189
www.hobbs-black.com

150 BAGLEY AVENUE
DETROIT, MICHIGAN
RENOVATION / RESTORATION

PROJECT

CONSULTANT

COVER SHEET

SHEET TITLE

15-802

PROJECT NUMBER

A-000

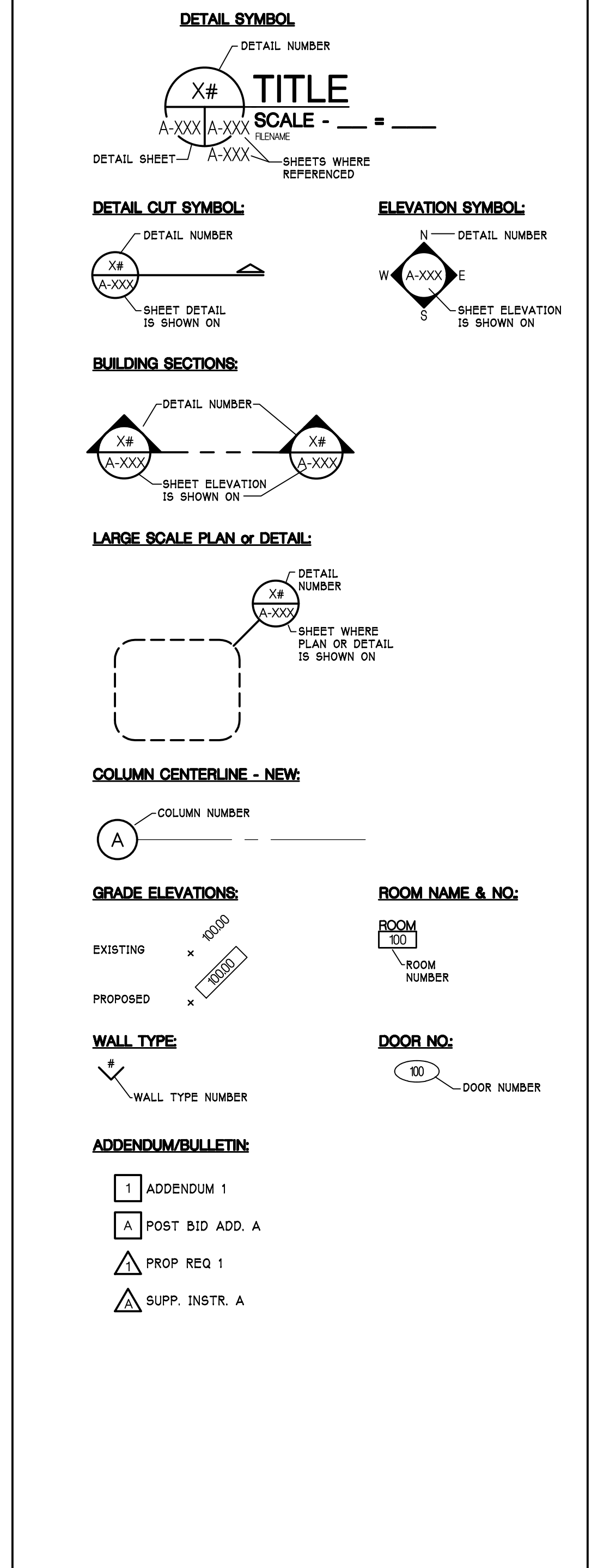
SHEET NUMBER

ABBREVIATIONS

ABOVE FINISHED FLOOR	A.F.F.	LIGHTING PANEL	L.P.
ACCESS DOOR	A.D.	LIGHTWEIGHT	L.T.W.T.
ACoustic ACoustical	A.C.	LONG LEGS HORIZONTAL	L.L.H.
ADJUSTABLE CEILING TILE	A.C.T.	LONG LEGS VERTICAL	L.L.V.
ADDITION	ADD.	LOUVER OPENING	L.O.
ADJUSTABLE	ADJ.	LOW POINT	L.P.
ALTERNATE	ALT.	MACHINE	MACH.
ALUMINUM ANCHOR	ALUM.	MANHOLE	M.H.
ANCHOR BOLTS AND ANCHORS	A.B. & A.	MARBLE THRESHOLD	M.T.
ANGLE	ANG.	MASONRY	MAS.
ANGLED	ANG.	MASONRY MASONRY	M.M.
APPROVED	APPR.	MATERIAL	MATL.
APPROXIMATE	APPRX.	MECHANICAL	M.E.C.H.
ARCHITECT, ARCHITECTURAL	ARCH.	METAL OR METALLIC	MET.
ARCH TRIM	ARCH. TRIM	METAL EDGE STRIP	M.E.S.
ASPHALT	ASPH.	MEZZANINE	MEZZ.
ASSEMBLY	ASSEMBLY	MINIMUM	MIN.
ASSISTANT	ASST.	MISCELLANEOUS	MISC.
AUTOMATIC	AUTO.	MISCELLANEOUS IRON CONTRACTOR	M.I.C.
AUXILIARY	AUX.	MOUNTED	M.T.O.
BARRETT FREE	B.F.	MILLION	MIL.
BASE PLATE	B.P.	NATURAL	NAT.
BASIN	BASIN	NORTH	N.
BEAM	BEAM	NOT IN CONTRACT	N.I.C.
BENCH MARK	B.M.	NOT TO SCALE	N.T.S.
BETWEEN	BETW.	NUMBER	NO. OF #
BOTTOM	BOTTOM	OFFICE	O.C.
BLOCKING	BLK.	ON CENTER	O.C.
BOARD	BOARD	OPENING	O.P.N.
BOTTLE	BOTTLE	OPPOSITE	OPP.
BUILDING	BUILDING	OUTSIDE HAND	O.H.
BUILT-UP ROOFING	B.U.R.	OUTSIDE DIAMETER	O.D.
CABINET	CAB.	PAINTED	P.T.
CABINET	CAB.	PAIR	P.A.I.R.
CAST IN PLACE	C.I.P.	PAPER TOWEL DISPENSER	P.T.D.
CATCH BASIN	C.B.	PAPER TOWEL RECEPTACLE	P.T.R.
CEILING	C.E.	PARTITION	PARTN.
CENTER LINE	C.L.	PAVEMENT	P.V.M.
CENTER TO CENTER	C.T.C.	PAVING	P.V.
CERAMIC	CER.	PENTHOUSE	PENTHSE
CERAMIC TILE	C.T.	PERFORATED	PERFOR.
CHALKBOARD	CHALKB.	PERIMETER	PERIM.
CHANNEL	CHNL.	PHYSICALLY HANDICAPPED	P.H.
CHECKED PLATE	CHKD. PL.	PLASTER	P.L.
COLD WATER	C.W.	PLASTIC LAMINATE	P.L.L.
COLUMN	COLUMN	PLATE	P.L.
COMPACTED	COMP.	PLYWOOD	P.L.Y.
CONCRETE	CONC.	POINT	P.T.
CONCRETE MASONRY UNIT	C.M.U.	POLISH, POLISHED	P.P.
CONCRETE	CONC.	POLYVINYL CHLORIDE	P.V.C.
CONNECT, CONNECTION	CONNT.	POUND	P.O.U.N.D.
CONSTRUCTION	CONSTR.	POUNDS PER SQUARE FOOT	P.S.F.
CONTINUOUS	CONT.	POWER	P.W.R.
CONTRACTOR	CONTR.	PRECAST	P.P.C.
CORRIDOR, CORRUGATED	CORR.	PRECAST	P.P.C.
COUNTER	COUNTER	PROJECT	P.R.J.
DAMP PROOFING	D.P.	PROPERTY	P.R.P.
DEAD LOAD	D.L.	RAIN CONDUCTOR	R.C.
DEMOLITION	DEM.	RADIUM	R.A.D.
DEPARTMENT	DEPT.	RADIUM	R.A.D.
DETAIL	DET.	RADIUM	R.A.D.
DIAMETER	DIA.	REFLECTED, REFLECTIVE	R.F.
DIFFUSER	DIFF.	REGENERATION OF REFRIGERATOR	R.R.
DIMENSION	DIM.	REINFORCE, REINFORCING or REINP.	R.
DIRECTORY	DIR.	REQUIRED	R.E.Q.
DITTO	DT.	REVISION	R.V.
DOOR	DOOR	REVIS, REVISION	R.V.
DOOR OPENING	D.O.	RIGHT HAND REVERSE	R.H.R.
DOUBLE	DBL.	RIGHT OF WAY	R.O.W.
DOWN	DN.	ROOF BUMP	R.B.
DRAWING	DRAWING	ROUGH OPENING	R.O.
DRINKING FOUNTAIN	D.F.	ROUND	R.
EACH	EACH	RUBBER TILE	R.T.
EACH FACE	E.F.	SANITARY	SAN.
ELECTRIC ELECTRICAL WATERPROOFING	E.L.W.P.	SANITARY NAPKIN DISPENSER	S.N.D.
ELECTRIC ELECTRICAL	E.E.	SCHEDULE	SCH.
ELECTRIC WATER COOLER	E.W.C.	SECRETARY	S.E.C.
ELEVATION (HEIGHT LEVEL)	ELEV.	SECTION	SECT.
ELEVATOR	ELEV.	SHEET	SHT.
EMERGENCY	EMERG.	SHEET METAL	S.M.
EMERGENCY	EMERG.	SHELVING	S.H.L.V.
ENCLOSURE	ENCL.	SHOWING	S.H.W.
ENVIRONMENT	ENV.	SIMILAR	S.
EQUAL	EQUAL	SOAP DISPENSER	S.D.
EQUIPMENT	EQUIP.	SPEAKER	S.P.K.
EXCAVATED	EXC.	SQUARE FEET (FOOT)	S.F.
EXISTING	EXIST.	SQUARE	SQ.
EXPANSION	EXP.	STAGGERED	S.T.
EXPANSION BOLT	EXP. B.	STANDARD	S.T.D.
EXPANSION JOINT	EXP. J.	STEEL	S.T.L.
EXTERIOR	EXT.	STORAGE	S.T.O.R.
EXTERIOR	EXT.	STREET	S.T.
FEET FOOT	FT.	STRUCTURAL	S.T.R.
FINISH FINISHED	FIN.	STRUCTURAL STEEL	S.S.T.L.
FINISH FLOOR	F.F.	SURFACE	SURF.
FIRE ALARM	F.A.	SUSPEND SUSPENSION	S.S.P.
FIRE EXTINGUISHER CABINET	F.E.C.	TACK BOARD	TACK B.D.
FIRE HYDRANT	F.H.	TEMPERATURE	TEMP.
FIRE HOSE CABINET	F.H.C.	TEMPERED GLASS	T.E.M.P. GL.
FIRE VALVE CABINET	F.V.C.	THICK THICKNESS	T.H.
FIREPROOFING	F.P.	THRESHOLD	T.H.
FIXTURE	FIXT.	TOILET	T.O.I.L.
FLOOR	FLOOR	TOILET PAPER DISPENSER	T.P.D.
FLOOR DRAIN	F.D.	TONGUE AND GROOVE	T & G
FOOTING	FTG.	TOP AND BOTTOM	T & B
FOUNDATION	FOUND.	TOP OF FOOTING	T.O.F.
FRAME	FR.	TOP OF MASONRY	T.O.M.
FURNISH FURNISHED	FURN.	TOP OF COVER OF CURB	T.O.C.
FURNISHED	FURN.	TOP OF STEEL	T.O.S.
GAS	GAS	TOP OF WALL	T.O.W.
GALVANIZED	GALV.	TOTAL LOAD	T.L.
GALVANIZED IRON	G.I.	TYPICAL	TYP.
GENERAL	GEN.	UNDERWRITER'S LABORATORIES, INC.	U.L.
GENERAL CONTRACTOR	G.C.	UNLESS NOTED OTHERWISE	U.N.O.
GLASS	GLASS	VENT THRU ROOF	V.T.R.
GRADE	GRADE	VERTICAL, VERTICALLY	VERT.
GYP-SUM	GYP-SUM	VERTICAL, VERTICALLY	VERT.
HANDICAPPED	H.C.	VINYL COMPOSITION TILE	V.C.T.
HEATING, VENTILATION, AIR CONDITIONING	H.V.A.C.	VINYL WALL COVERING	V.W.C.
HEIGHT	HGT.	WATER RESISTANT WATERPROOFING	W.R.
HIGH POINT	H.P.	WEIGHT	WT.
HOLLOW LAMINATE	H.L.	WELDED WIRE FABRIC	W.W.F.
HORIZONTAL, HORIZONTALLY	HORIZ.	WINDOW CONTRACTOR WINDOW OPENING	WIN. CONTR.
HOSE BIBB	H.B.	WIRE MESH	W.M.
HOT WATER	H.W.	WITH	W.
HOT WATER HEATER	H.W.H.	WITHOUT	W.O.
HORIZONTAL	HORIZ.	WOOD	W.D.
INCH or INCHES	IN. or "	WOOD	W.D.
INFORMATION	INFORM.	YARD	Y.
INSIDE DIAMETER	I.D.		
INSTALL, INSTALLATION	INSTAL.		
INSULATE, INSULATION	INSUL.		
INTERIOR	INT.		
INVERT	INVERT		
INVERT ELEVATION	I.E.		
JOINT	JOINT		
KICK PLATE	K.P.		
KNOCK-OFF PANEL	K.O.P.		
LAMINATE, LAMINATED	LAM.		
LEFT HAND	L.H.		
LEFT HAND REVERSE	L.H.R.		
LIGHT	LIGHT		
LIGHTING	L.T.G.		

MATERIAL LEGEND

SYMBOLS LEGEND



BUILDING DATA

BUILDING CODE REQUIREMENTS - 2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS

- MEANS OF EGRESS**
 - OCCUPANT LOAD: BASED ON 2015 M.B.C.
 - EGRESS CAPACITY: BASED ON 2015 M.B.C.
- CORRIDORS:**
 - PER SECTION 605.6, EXCEPTION 4, 50'-0" DEAD-END CORRIDORS ARE PERMITTED IN FULLY SPRINKLED AREAS.
 - PER SECTION 605.4.1 PANIC HARDWARE IS REQUIRED IN ROOMS W/ OCCUPANT LOAD OVER 100 OCCUPANTS.
- NEW CORRIDOR WALLS:** BASED ON 2003 M.B.C.
 - RESIDENTIAL OCCUPANCIES REQUIRE 1/2 HOUR RATED CORRIDOR WALLS W/ 1/3 HR RATED DOORS.
 - ASSEMBLY/BUSINESS OCCUPANCIES, NO RATING REQUIRED.
- STAIRS/SHAFTS:**
 - PER SECTION 603.2.1 EXISTING STAIRS ARE 1 HR RATED
 - NEW STAIRS ARE 2 HR RATED.
 - STRUCTURE SUPPORTING THE STAIR SHAFT SHOULD, AS A MINIMUM, HAVE THE SAME FIRE RATINGS AS THE SHAFT ENCLOSURE.
- FLOOR/CEILING ASSEMBLIES**
 - SINGLE LAYER OF 5/8" TYPE 'M' GYPSUM BOARD @ UNDERSIDE OF EXISTING CONCRETE CONSTRUCTION.
 - NEW BEAMS AND DECKING AT INFILLS TO BE 2 HR RATED.
 - FIRESTOP ALL PENETRATIONS.
- EXTERIOR WALLS:**
 - PER SECTION 812.4.2 NO FIRE RATINGS ARE REQUIRED AT EXISTING EXTERIOR WALLS.
 - NEW EAST ADDITION EXTERIOR WALLS TO COMPLY WITH 2015 M.B.C.
 - NO EXTERIOR WALL OPENING PROTECTIVES ARE REQUIRED FOR THE EXISTING HOTEL.
 - NEW EAST ADDITION EXTERIOR WALL OPENING PROTECTIVES TO COMPLY WITH 2015 M.B.C.
- ELEVATORS**
 - ELEVATOR SHAFTS PRESSURIZATION TO BE PROVIDED.
- ACCESSIBILITY**
 - PER ADA AND ICC/ANSI A117.1 - 2015
- COLUMNS**
 - EXISTING CONCRETE COLUMNS: PATCH AND REPAIR
 - NEW AND EXISTING STEEL COLUMNS TO RECEIVE 3 HR RATED SPRAY-ON FIREPROOFING.

GENERAL NOTES

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH STATE OF MICHIGAN STANDARDS AND SPECIFICATIONS, STATE OF MICHIGAN REGULATIONS, AND ALL OTHER APPLICABLE CODES AND SHALL BE PERFORMED TO THE HIGHEST STANDARDS OF THE INDUSTRY. INCLUDING, BUT NOT LIMITED TO THE FOLLOWING:
 - 2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS
 - 2015 MICHIGAN BUILDING CODE (AS REFERENCED IN THE REHABILITATION CODE)
 - 2015 MICHIGAN PLUMBING CODE (AS REFERENCED IN THE REHABILITATION CODE)
 - 2015 MICHIGAN MECHANICAL CODE (AS REFERENCED IN THE REHABILITATION CODE)
 - 2014 MICHIGAN ELECTRICAL CODE (AS REFERENCED IN THE REHABILITATION CODE)
 - 2015 MICHIGAN ELECTRICAL CODE (AS REFERENCED IN THE REHABILITATION CODE)
 - STATE OF MICHIGAN ELEVATOR CODE (PLUS ICC/ANSI A117.1 - 2015)
 - STATE OF MICHIGAN OCCUPANCY SAFETY STANDARDS
 - CITY OF DETROIT ZONING ORDINANCE - ALL SUPPLEMENTS TO ABOVE CODES
 - CITY OF DETROIT ENGINEERING DESIGN STANDARDS
 - 2002 STATE OF MICHIGAN BARRIER FREE DESIGN RULES (AMENDMENTS TO PART 4 BUILDING CODE RULES)
 - 1991 FEDERAL FAIR HOUSING ACT
- THE BUILDING WILL HAVE A FIRE ALARM SYSTEM & AN AUTOMATIC FIRE SUPPRESSION SYSTEM THROUGHOUT, INSTALLED IN ACCORDANCE W/ NFPA IS REQUIREMENTS.
- DIMENSIONS ARE TO FACE OF MASONRY, FACE OF GYP BD, OR CENTERLINE OF COLUMN UNO.
- ALL MATERIALS ARE NEW UNO. REFER TO DEMO PLANS FOR MATERIALS TO REMAIN.
- FIRE RATED PARTITIONS SHALL BE CONTINUOUS FROM FLOOR TO STRUCTURE ABOVE & SHALL BE FIRE STOPPED TIGHTLY TO STRUCTURE PER CODE (UL SYSTEM).
- CARPENTRY CONTRACTOR SHALL FURNISH & INSTALL SHT MT. OR NON-COMBUSTIBLE BLOCKING IN GYP BD PARTITIONS FOR ANCHORAGE OF WALL-ATTACHED ITEMS INCLUDING BUT NOT LIMITED TO THE FOLLOWING: MILLWORK ITEMS, CABINETRY, FIXTURE, GRAB BARS, ETC.
- THE GENERAL CONTRACTOR SHALL NOTIFY MISS DIG (1-800-482-7177) IN ACCORDANCE W/ ACT 50, PA 1974 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.
- PARTITIONS SHOWN SHADDED ON COMPOSITE FLOOR PLANS (END/OR SO NOTED ON PARTITION TYPES) INDICATED PARTITIONS THAT EXTEND TO STRUCTURE ABOVE. FIRE SAFE IF PARTITION IS RATED.
- ALL COMPONENTS & ACCESSORIES FOR ACCESSIBLE ROUTES REOD BY THE ADA (AMERICANS WITH DISABILITIES ACT) & THE STATE OF MICHIGAN ARE TO BE PROVIDED.
- FINAL LOCATION OF FIRE EXTINGUISHER CABINETS WILL BE REVIEWED IN FIELD W/ BUILDING OFFICIAL PRIOR TO INSTALLATION.
- DO NOT SCALE DRAWINGS. USE DIMENSIONS ONLY.
- THE CONTRACTOR SHALL BECOME FAMILIAR AND COMPLY WITH ALL APPLICABLE OWNER REQUIREMENTS AND CONDITIONS.
- DURING CONSTRUCTION THE CONTRACTORS SHALL TAKE PRECAUTIONS NOT TO DAMAGE ANY EXISTING MATERIALS, ITEMS OR CONDITIONS. SHOULD SUCH DAMAGE OCCUR, THE CONTRACTOR SHALL REPAIR AND/OR REPLACE ALL SUCH DAMAGED MATERIALS, ITEMS OR CONDITIONS AT HIS OWN EXPENSE TO THE SATISFACTION OF THE OWNER.
- THE CONTRACTORS SHALL KEEP THE CONSTRUCTION SITE IN A NEAT AND ORDERLY CONDITION AND SHALL REMOVE RUBBISH DAILY OR AS DIRECTED BY THE OWNER/ D/B CONTR. MATERIALS SHALL BE STORED IN AREAS APPROVED IN WRITING BY THE OWNER.
- THE CONTRACTORS SHALL SEAL ALL PENETRATIONS IN FLOOR, CEILING, WALL AND STAIRS, CONDUITS, DUCT SHAFTS, WITH UL OR SIM. RATED SYSTEMS.
- ALL INT FINISH MATERIALS SHALL BE CLASS 'A' AS REOD BY CODE & SHALL BE PROPERLY CERTIFIED TO THE ARCHITECT.
- CONTRACTORS SHALL CLOSELY COORDINATE THEIR WORK SCHEDULE W/ THE OWNER/D/B CONTR.
- THE CONTRACTORS SHALL PROVIDE CERTIFICATES OF INSURANCE AS REOD BY THE OWNER/D/B CONTR PRIOR TO STARTING CONSTRUCTION.
- THE WORK SHALL NOT BE CONSIDERED COMPLETE AND CERTIFICATION OF THE FINAL PAYMENT WILL NOT BE MADE UNTIL DESIRS HAS BEEN REMOVED FROM THE JOB SITE. ALL UNUSED CONSTRUCTION MATERIAL AND ITEMS HAVE EITHER BEEN REMOVED FROM THE BUILDING OR STORED AT THE OWNERS DIRECTION.
- IT IS THE RESPONSIBILITY OF EACH TRADE TO BID THIS PROJECT FROM A COMPLETE SET OF PLANS & SPECS. THE MORE EXPENSIVE OF THE OPTIONS SHALL BE INCLUDED IN THE BID. ANY INFORMATION FOUND ON THE PLANS & NOT IN THE SPECS OR FOUND IN THE SPECS & NOT IN THE PLANS, SHALL BE CONSIDERED AS TO BE INCLUDED IN BOTH THE SPECS AND THE DRAWINGS. ANY CONFLICT BETWEEN THE PLANS & SPECS WILL BE INTERPRETED BY THE ARCHITECT THROUGH A PROCESS MANAGED BY THE D/B CONTR.
- ALL WORK SHOWN IS TO BE INCLUDED IN THE SCOPE OF WORK UNO, AS 'NOT IN CONTRACT' UNLESS NOTED OTHERWISE.
- ALL COMPONENTS FOR THE PROPER COMPLETION OF THE STAIRS AND ELEVATORS ARE TO BE INCLUDED. THE D/B CONTR SHALL DETERMINE WHICH COMPONENTS ARE PROVIDED BY WHICH TRADES.
- THE D/B CONTR SHALL VERIFY SIZE & LOCATION OF ALL OPENINGS IN MASONRY OR CONG. WALLS REOD BY ALL CONTRACTORS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL INSURE THAT SOLID BACKING IS PROVIDED FOR ANCHORAGE OF ARCHITECTURAL, MECHANICAL OR ELECTRICAL ITEMS.
- ALL FLOOR ELEVATIONS ARE BASED ON HISTORIC DATA. FINAL VERIFICATION SHALL BE IN FIELD BY CONTRACTOR PRIOR TO THE START OF NEW CONSTRUCTION.
- ALL PIPE & CONDUIT PENETRATIONS THRU ANY FLR SHALL BE SLEEVED W SLEEVES EXTENDING 2" MIN ABOVE THE FLR LEVEL (TYPICAL FOR MECH, ELEC, PLUMBING & FIRE PROTECTION ITEMS. SLEEVES SHALL BE SUPPLIED BY MECH AND ELEC TRADES).

INDEX OF DRAWINGS

NO.	DESCRIPTION	NO.	DESCRIPTION
A-000	GENERAL	E-000	ELECTRICAL
A-001	TITLE SHEET	E-001	ELECTRICAL GENERAL INFORMATION
A-002	ABBREVIATIONS, GENERAL NOTES AND MAPS	E-100	BASINMENT & 1ST FLOOR ELECTRICAL DEMOLITION PLAN
A-003	PARTITION TYPES	E-101	1ST FLOOR LIGHTING PLAN
A-004	PARTITION TYPES	E-102	2ND FLOOR & 3RD-17TH FLOOR ELECTRICAL DEMOLITION PLAN
A-005	PARTITION TYPES	E-103	3RD-17TH FLOOR LIGHTING PLAN
A-006	PARTITION TYPES	E-104	18TH FLOOR & ROOF ELECTRICAL DEMOLITION PLAN
A-007	PARTITION TYPES	E-105	BASINMENT LIGHTING PLAN
A-008	PARTITION TYPES	E-106	1ST FLOOR LIGHTING PLAN
A-009	PARTITION TYPES	E-107	2ND FLOOR LIGHTING PLAN
A-010	PARTITION TYPES	E-108	3RD-17TH FLOOR LIGHTING PLAN
A-011	PARTITION TYPES	E-109	18TH FLOOR & MEZZANINE LIGHTING PLAN
A-012	PARTITION TYPES	E-110	FACADE LIGHTING
A-013	PARTITION TYPES	E-111	BASINMENT POWER PLAN
A-014	PARTITION TYPES	E-112	1ST FLOOR POWER PLAN
A-015	PARTITION TYPES	E-113	2ND FLOOR POWER PLAN
A-016	PARTITION TYPES	E-114	3RD-17TH FLOOR POWER PLAN
A-017	PARTITION TYPES	E-115	18TH FLOOR & MEZZANINE POWER PLAN
A-018	PARTITION TYPES	E-116	ROOF ELECTRICAL PLAN
A-019	PARTITION TYPES	E-400	ENLARGED ELECTRICAL PLANS
A-020	PARTITION TYPES	E-401	ENLARGED ELECTRICAL PLANS
A-021	PARTITION TYPES	E-402	ENLARGED ELECTRICAL PLANS
A-022	PARTITION TYPES	E-403	ENLARGED ELECTRICAL PLANS
A-023	PARTITION TYPES	E-404	ENLARGED ELECTRICAL PLANS
A-024	PARTITION TYPES	E-501	ELECTRICAL DETAILS
A-025	PARTITION TYPES	E-502	ELECTRICAL DETAILS
A-026	PARTITION TYPES	E-601	ELECTRICAL ONE-LINE DIAGRAM
A-027	PARTITION TYPES	E-602	ELECTRICAL PANEL SCHEDULES
A-028	PARTITION TYPES	E-603	ELECTRICAL PANEL SCHEDULES
A-029	PARTITION TYPES	E-604	ELECTRICAL PANEL SCHEDULES
A-030	PARTITION TYPES	E-605	ELECTRICAL PANEL SCHEDULES
A-031	PARTITION TYPES	E-606	ELECTRICAL PANEL SCHEDULES
A-032	PARTITION TYPES	E-607	ELECTRICAL PANEL SCHEDULES
A-033	PARTITION TYPES	E-608	ELECTRICAL PANEL SCHEDULES
A-034	PARTITION TYPES	E-609	ELECTRICAL PANEL SCHEDULES
A-035	PARTITION TYPES	E-610	ELECTRICAL PANEL SCHEDULES
A-036	PARTITION TYPES	E-611	ELECTRICAL PANEL SCHEDULES
A-037	PARTITION TYPES	E-612	ELECTRICAL PANEL SCHEDULES
A-038	PARTITION TYPES	E-613	ELECTRICAL PANEL SCHEDULES
A-039	PARTITION TYPES	E-614	ELECTRICAL PANEL SCHEDULES
A-040	PARTITION TYPES	E-615	ELECTRICAL PANEL SCHEDULES
A-041	PARTITION TYPES	E-616	ELECTRICAL PANEL SCHEDULES
A-042	PARTITION TYPES	E-617	ELECTRICAL PANEL SCHEDULES
A-043	PARTITION TYPES	E-618	ELECTRICAL PANEL SCHEDULES
A-044	PARTITION TYPES	E-619	ELECTRICAL PANEL SCHEDULES
A-045	PARTITION TYPES	E-620	ELECTRICAL PANEL SCHEDULES
A-046	PARTITION TYPES	E-621	ELECTRICAL PANEL SCHEDULES
A-047	PARTITION TYPES	E-622	ELECTRICAL PANEL SCHEDULES
A-048	PARTITION TYPES	E-623	ELECTRICAL PANEL SCHEDULES
A-049	PARTITION TYPES	E-624	ELECTRICAL PANEL SCHEDULES
A-050	PARTITION TYPES	E-625	ELECTRICAL PANEL SCHEDULES
A-051	PARTITION TYPES	E-626	ELECTRICAL PANEL SCHEDULES
A-052	PARTITION TYPES	E-627	ELECTRICAL PANEL SCHEDULES
A-053	PARTITION TYPES	E-628	ELECTRICAL PANEL SCHEDULES
A-054	PARTITION TYPES	E-629	ELECTRICAL PANEL SCHEDULES
A-055	PARTITION TYPES	E-630	ELECTRICAL PANEL SCHEDULES
A-056	PARTITION TYPES	E-631	ELECTRICAL PANEL SCHEDULES
A-057	PARTITION TYPES	E-632	ELECTRICAL PANEL SCHEDULES
A-058	PARTITION TYPES	E-633	ELECTRICAL PANEL SCHEDULES
A-059	PARTITION TYPES	E-634	ELECTRICAL PANEL SCHEDULES
A-060	PARTITION TYPES	E-635	ELECTRICAL PANEL SCHEDULES
A-061	PARTITION TYPES	E-636	ELECTRICAL PANEL SCHEDULES
A-062	PARTITION TYPES	E-637	ELECTRICAL PANEL SCHEDULES
A-063	PARTITION TYPES	E-638	ELECTRICAL PANEL SCHEDULES
A-064	PARTITION TYPES	E-639	ELECTRICAL PANEL SCHEDULES
A-0			

FDD REVIEW	10/16/2018
90% CD	04/24/2018
PROGRESS PRINTING	11/13/2018
PROGRESS SET	10/24/2018
NPS PACKAGE	01/03/2018
DATE ISSUED	

DRAWN BY
 CHECKED BY

HOBBS + BLACK
 ARCHITECTS
 100 N. State St.
 Ann Arbor, MI 48104
 P. 734.663.4189
 www.hobbs-black.com

150 BAGLEY AVENUE
 DETROIT, MICHIGAN
 RENOVATION / RESTORATION

PROJECT

CONSULTANT

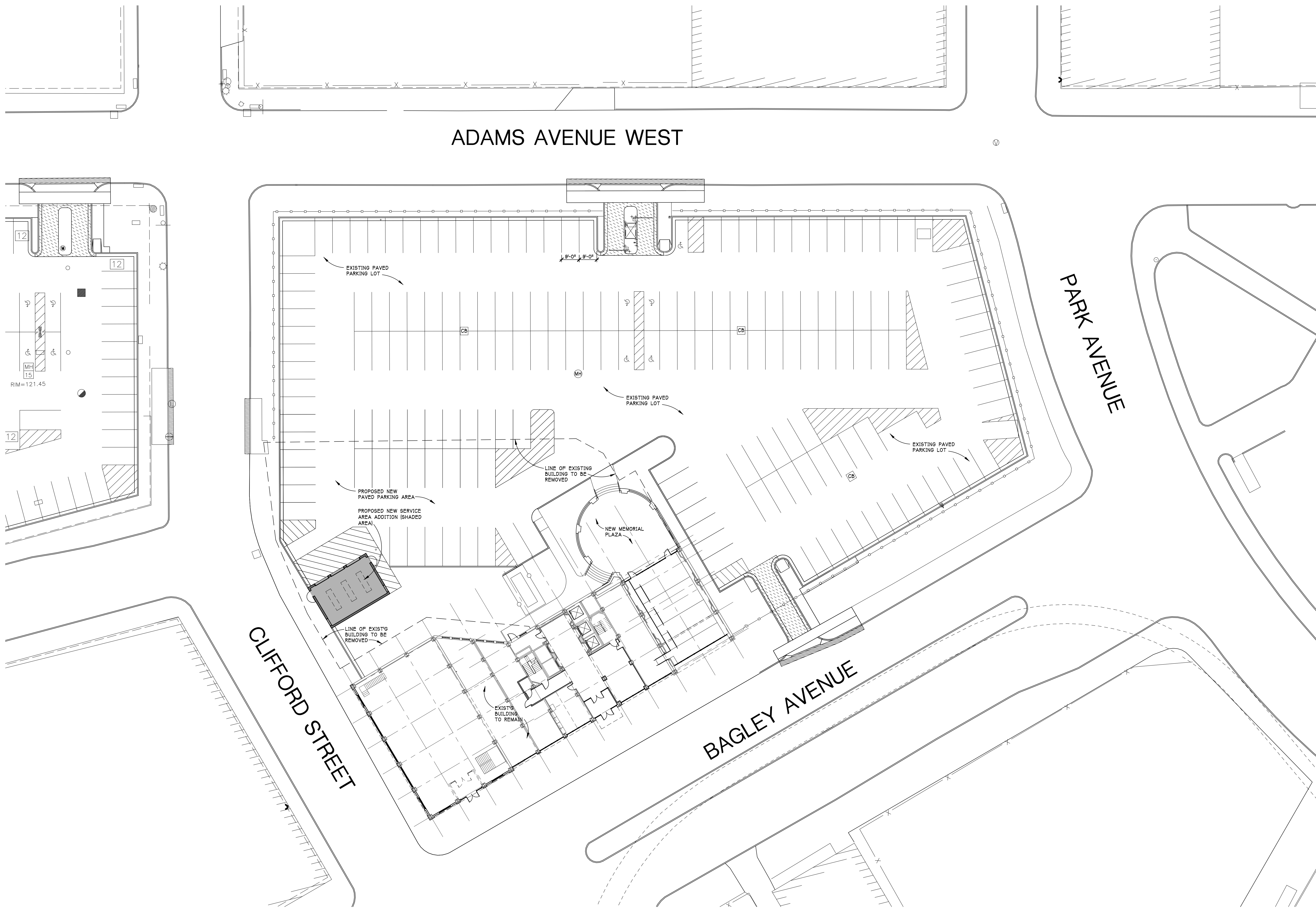
ARCHITECTURAL
 SITE PLAN

SHEET TITLE

15-802
 PROJECT NUMBER

A-010
 SHEET NUMBER

PROGRESS PRINT - NOT FOR CONSTRUCTION



PLAN NORTH TRUE NORTH
 C1 ARCHITECTURAL SITE PLAN
 A-010 SCALE - 1" = 20'-0"
10/20/18

FDD REVIEW	10/16/2018
90% CD	04/24/2018
PROGRESS PRINTING	11/13/2018
PROGRESS SET	10/24/2018
NPS PACKAGE	01/03/2018
DATE ISSUED	

DRAWN BY
 CHECKED BY

HOBBS + BLACK
 ARCHITECTS
 100 N. State St.
 Ann Arbor, MI 48104
 P. 734.663.4189
 www.hobbs-black.com

150 BAGLEY AVENUE
 DETROIT, MICHIGAN
 RENOVATION / RESTORATION

PROJECT

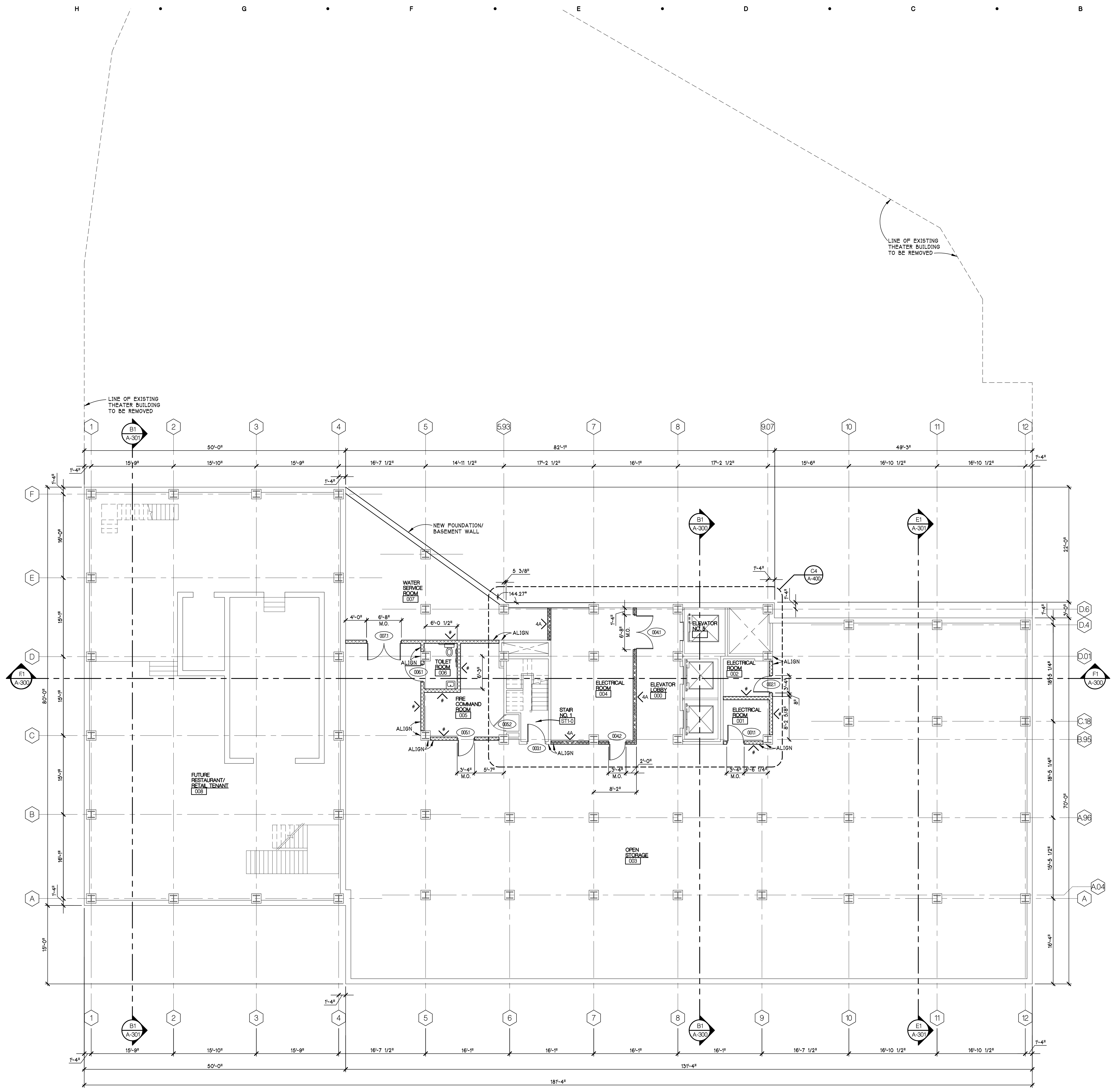
CONSULTANT

BASEMENT FLOOR PLAN

SHEET TITLE

15-802
 PROJECT NUMBER

A-100
 SHEET NUMBER



PLAN NORTH TRUE NORTH
BASEMENT FLOOR PLAN
 SCALE - 1/8" = 1'-0"
 C1
 A-100

SHEET NOTES:
 1 - - - - - INDICATES 1 HR. RATED PARTITION
 2 - - - - - INDICATES 2 HR. RATED PARTITION

Drawing: P:\2015\15-802\Drawings\CD\Arch\15-802-BA-100.dwg
 Date: Oct 15, 2018, 1:40pm
 Layout: A-100
 Plotted by: amgman

PROGRESS PRINT - NOT FOR CONSTRUCTION

FDD REVIEW	10/16/2019
90% CD	04/24/2019
PROGRESS PRINTING	11/13/2018
PROGRESS SET	10/24/2018
NPS PACKAGE	01/03/2018
DATE ISSUED	

DRAWN BY
 CHECKED BY

HOBBS + BLACK
 ARCHITECTS

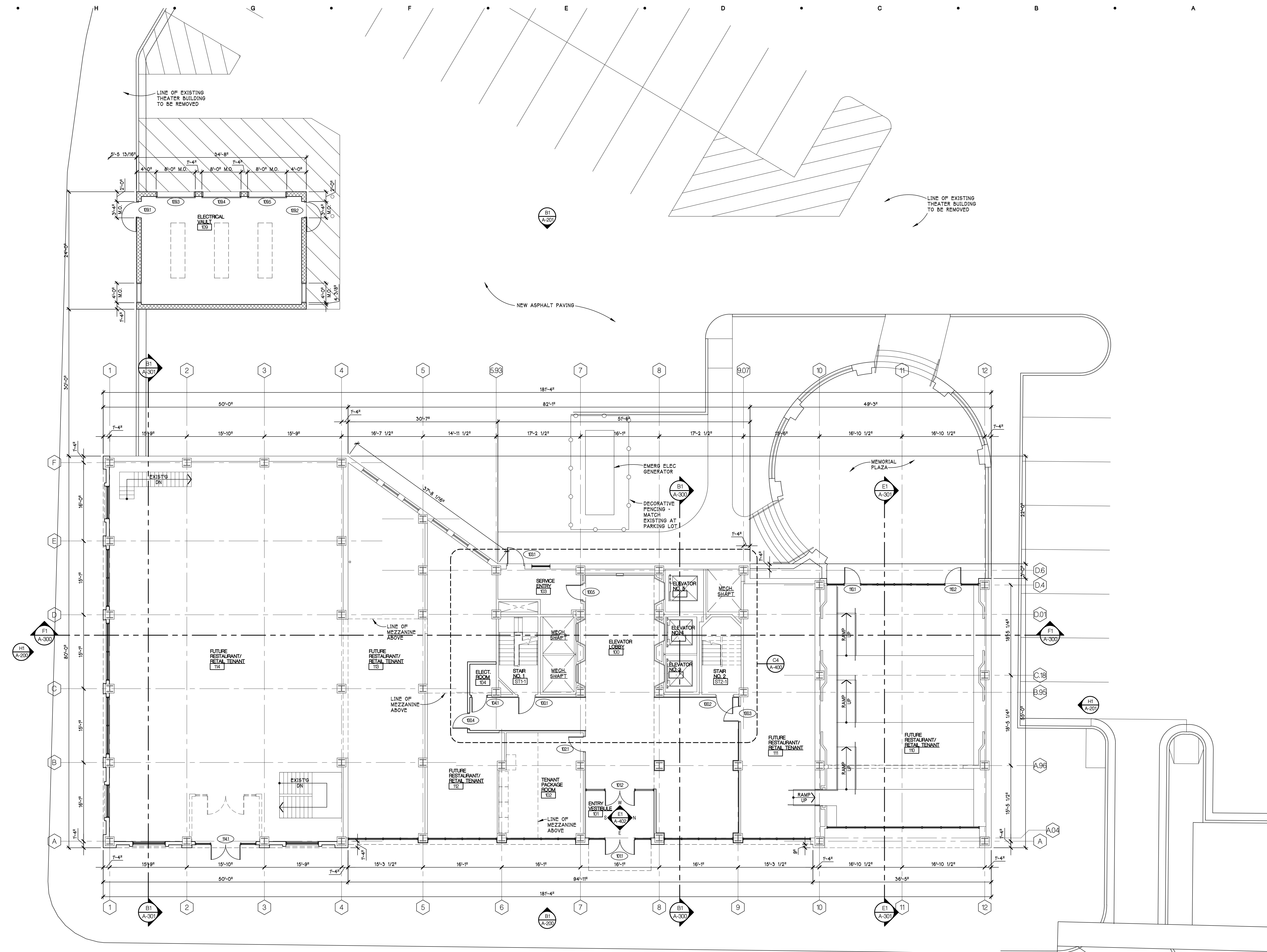
100 N. State St.
 Ann Arbor, MI 48104
 P. 734.663.4189
 www.hobbs-black.com

150 BAGLEY AVENUE
 DETROIT, MICHIGAN
 RENOVATION / RESTORATION

PROJECT

CONSULTANT

FIRST FLOOR PLAN
 SHEET TITLE
15-802
 PROJECT NUMBER
A-101
 SHEET NUMBER



PLAN NORTH TRUE NORTH
FIRST FLOOR PLAN
 SCALE - 1/8" = 1'-0"

Drawing: P:\2015\15-802\Drawings\CD\Architectural\01.dwg
 Date: Oct 15, 2019, 1:38pm
 Layout: A-101
 Plotted by: amogwan

PROGRESS PRINT - NOT FOR CONSTRUCTION

FDD REVIEW	10/16/2018
90% CD	04/24/2018
PROGRESS PRINTING	11/13/2018
PROGRESS SET	10/24/2018
NPS PACKAGE	01/03/2018
DATE ISSUED	

DRAWN BY
 CHECKED BY

HOBBS + BLACK
 ARCHITECTS
 100 N. State St.
 Ann Arbor, MI 48104
 P. 734.663.4189
 www.hobbs+black.com

150 BAGLEY AVENUE
 DETROIT, MICHIGAN
 RENOVATION / RESTORATION

PROJECT

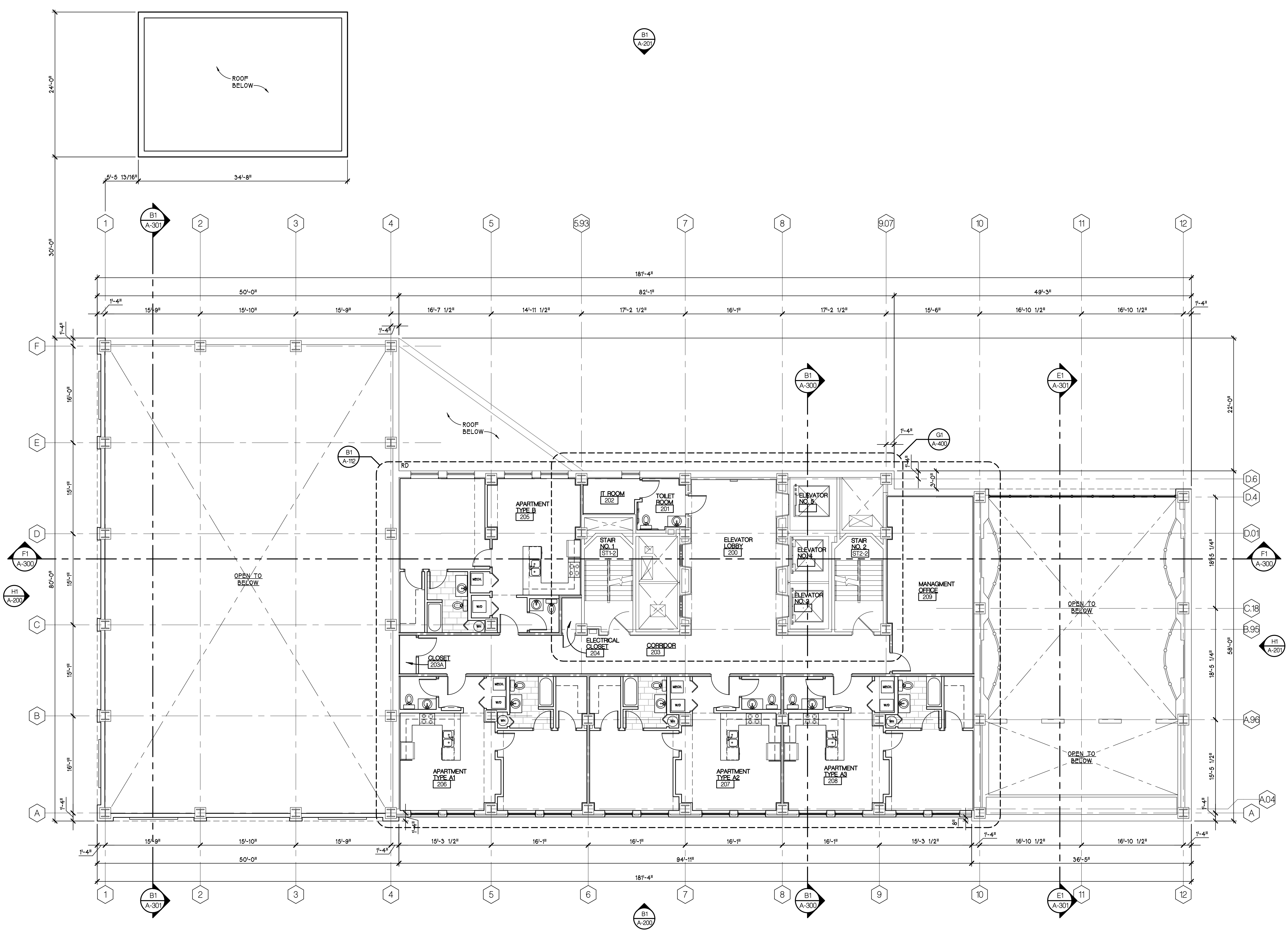
CONSULTANT

SECOND FLOOR PLAN

SHEET TITLE

15-802
 PROJECT NUMBER

A-102
 SHEET NUMBER



PLAN NORTH TRUE NORTH
C1 SECOND FLOOR PLAN
 SCALE - 1/8" = 1'-0"
 A-102

SHEET NOTES:
 1. ——— INDICATES 1 HR. RATED PARTITION
 2. - - - - - INDICATES 2 HR. RATED PARTITION

Drawing: P:\2015\15-802\Drawings\CD\Architectural\A-102.dwg
 Date: Oct 15, 2018 11:31:11 AM
 Layout: A-102
 Plotted by: amgswain

PROGRESS PRINT - NOT FOR CONSTRUCTION

FDD REVIEW	10/16/2018
90X CD	04/24/2018
PROGRESS PRINTING	11/13/2018
PROGRESS SET	10/24/2018
NPS PACKAGE	01/03/2018
DATE ISSUED	

DRAWN BY
 CHECKED BY

HOBBS + BLACK
 ARCHITECTS
 100 N. State St.
 Ann Arbor, MI 48104
 P. 734.663.4189
 www.hobbs-black.com

150 BAGLEY AVENUE
 DETROIT, MICHIGAN
 RENOVATION / RESTORATION

PROJECT

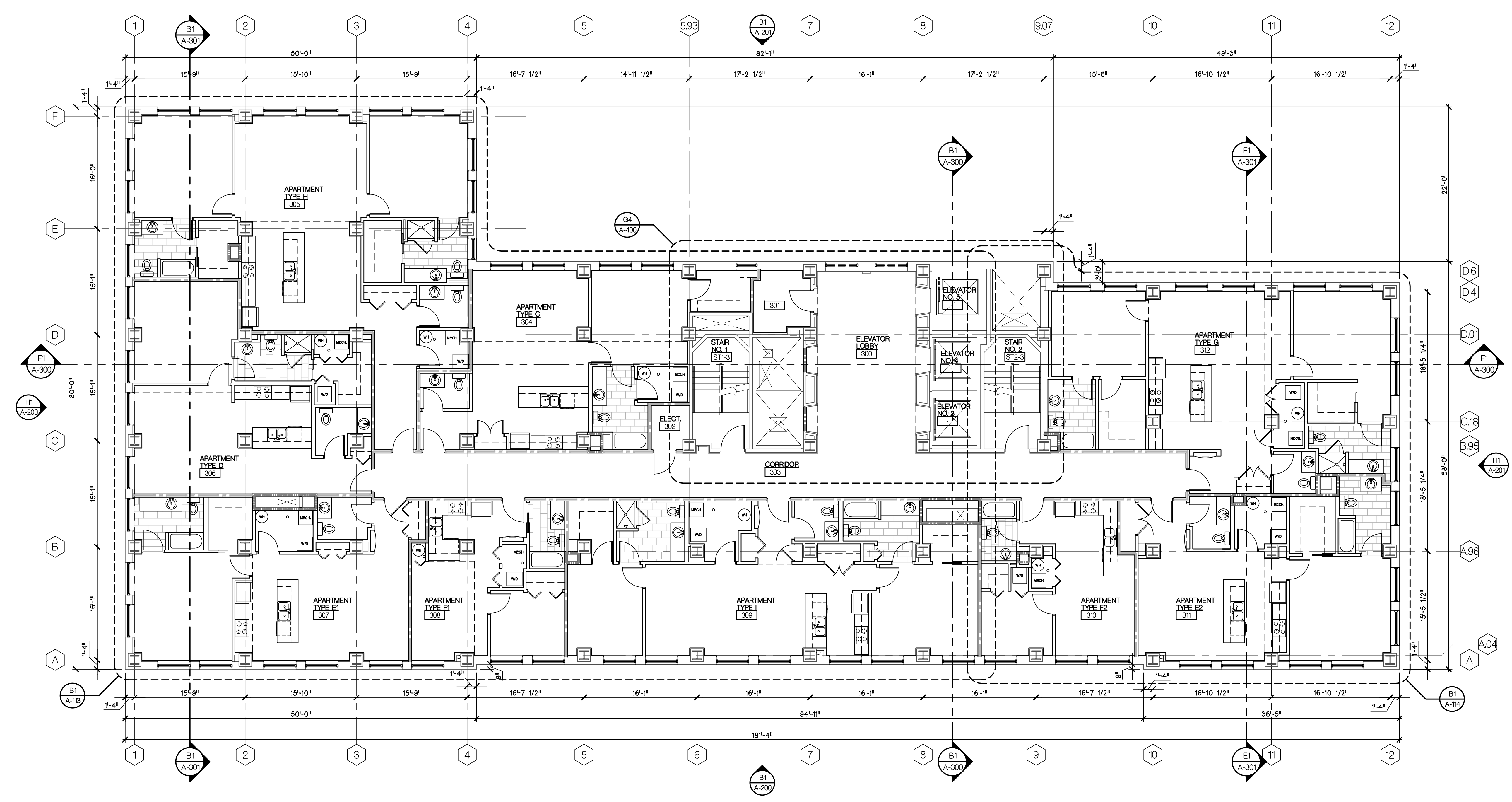
CONSULTANT

THIRD - SEVENTEENTH FLOOR PLAN

SHEET TITLE

15-802
 PROJECT NUMBER

A-103
 SHEET NUMBER



PLAN NORTH TRUE NORTH
THIRD - SEVENTEENTH FLOOR PLAN
 (3RD FLOOR SHOWN)
 SCALE - 1/8" = 1'-0"
 SHEET: D1 A-103

SHEET NOTES:
 1. ——— INDICATES 1 HR. RATED PARTITION
 2. - - - - - INDICATES 2 HR. RATED PARTITION

Drawing: P:\2015\15-802\Drawings\CD\Arch\THIRDA103.dwg
 Date: Oct 15, 2018, 11:35pm
 Layout: A-103
 Plotted by: amogwan

PROGRESS PRINT - NOT FOR CONSTRUCTION

FDD REVIEW	10/16/2018
90X CD	04/24/2018
PROGRESS PRINTING	11/13/2018
PROGRESS SET	10/24/2018
NPS PACKAGE	01/03/2018
DATE ISSUED	

DRAWN BY
 CHECKED BY

HOBBS + BLACK
 ARCHITECTS
 100 N. State St.
 Ann Arbor, MI 48104
 P. 734.663.4189
 www.hobbs-black.com

150 BAGLEY AVENUE
 DETROIT, MICHIGAN
 RENOVATION / RESTORATION

PROJECT

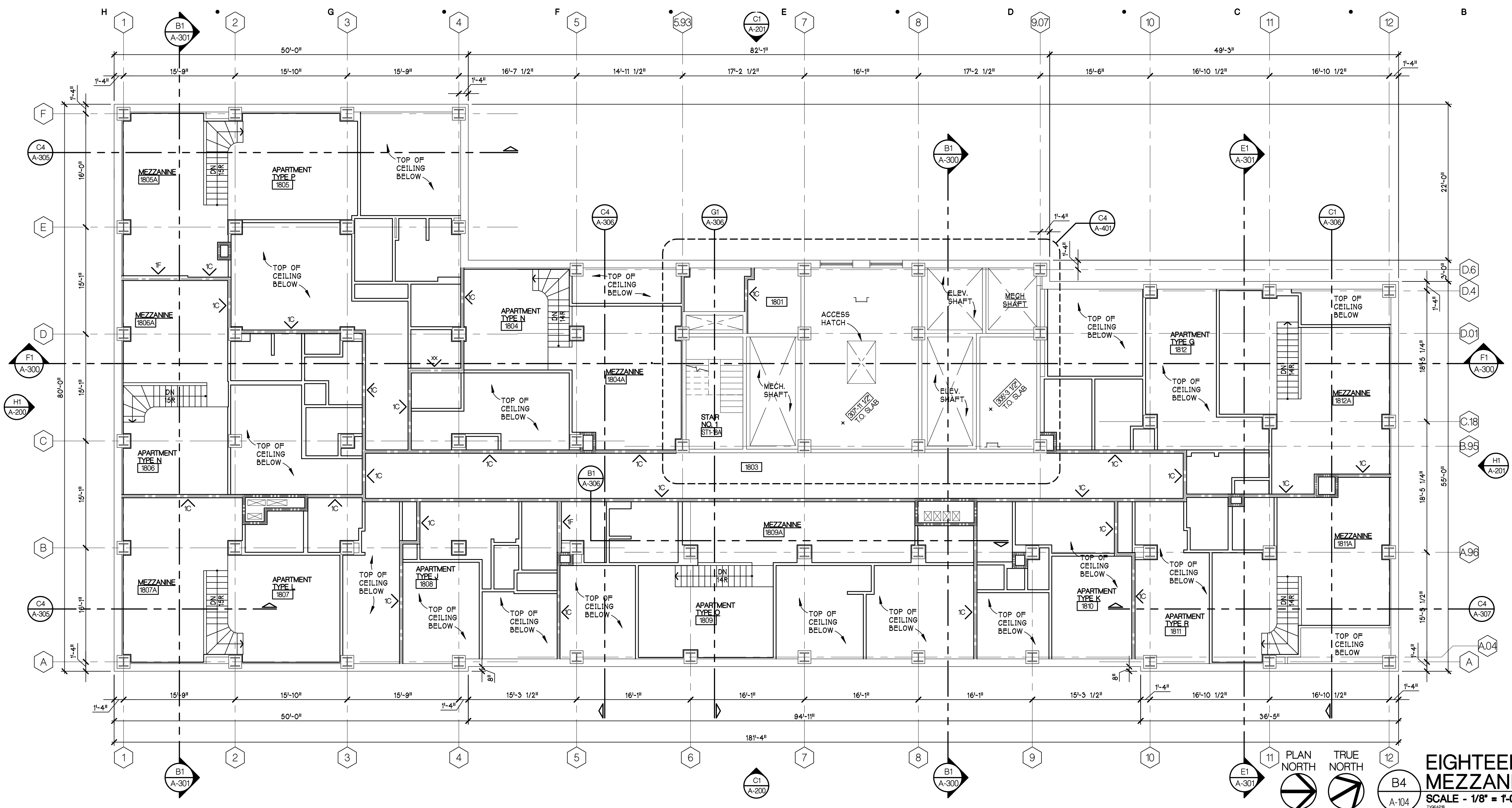
CONSULTANT

EIGHTEENTH FLOOR & MEZZANINE PLANS

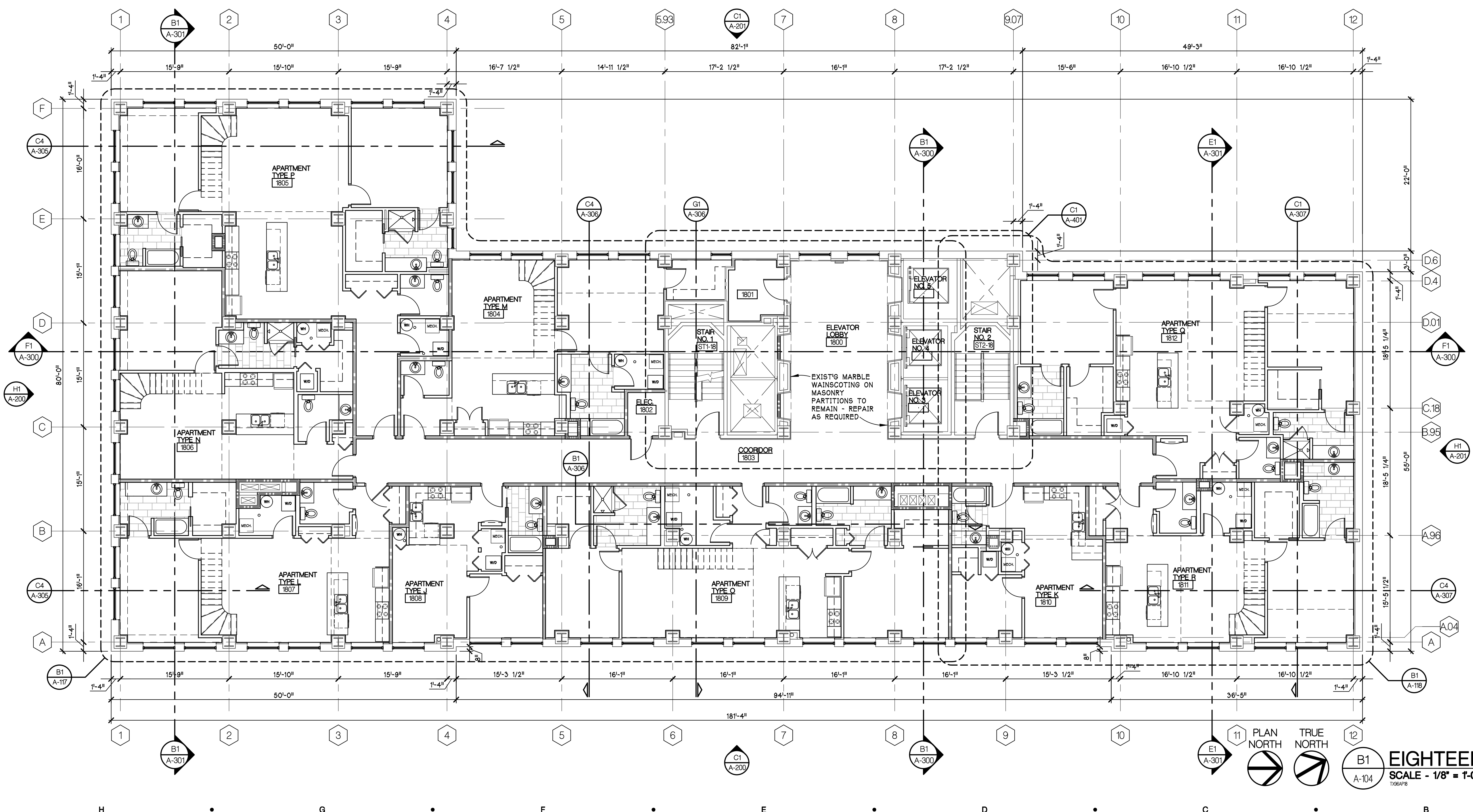
SHEET TITLE

15-802
 PROJECT NUMBER

A-104
 SHEET NUMBER



SHEET NOTES:
 1. _____ INDICATES 1 HR. RATED PARTITION
 2. - - - - - INDICATES 2 HR. RATED PARTITION



Drawing: P:\2015\15-802\Drawings\18thFloor\18thFloor.dwg
 Date: Oct 15, 2018 11:11:39am
 Layout: A-104
 Plotted by: emogawan

PROGRESS PRINT - NOT FOR CONSTRUCTION

FDD REVIEW	10/16/2019
90% CD	04/24/2019
PROGRESS PRINTING	11/13/2018
PROGRESS SET	10/24/2018
NPS PACKAGE	01/03/2018
DATE ISSUED	

DRAWN BY
 CHECKED BY

HOBBS + BLACK
 ARCHITECTS
 100 N. State St.
 Ann Arbor, MI 48104
 P. 734.663.4189
 www.hobbs-black.com

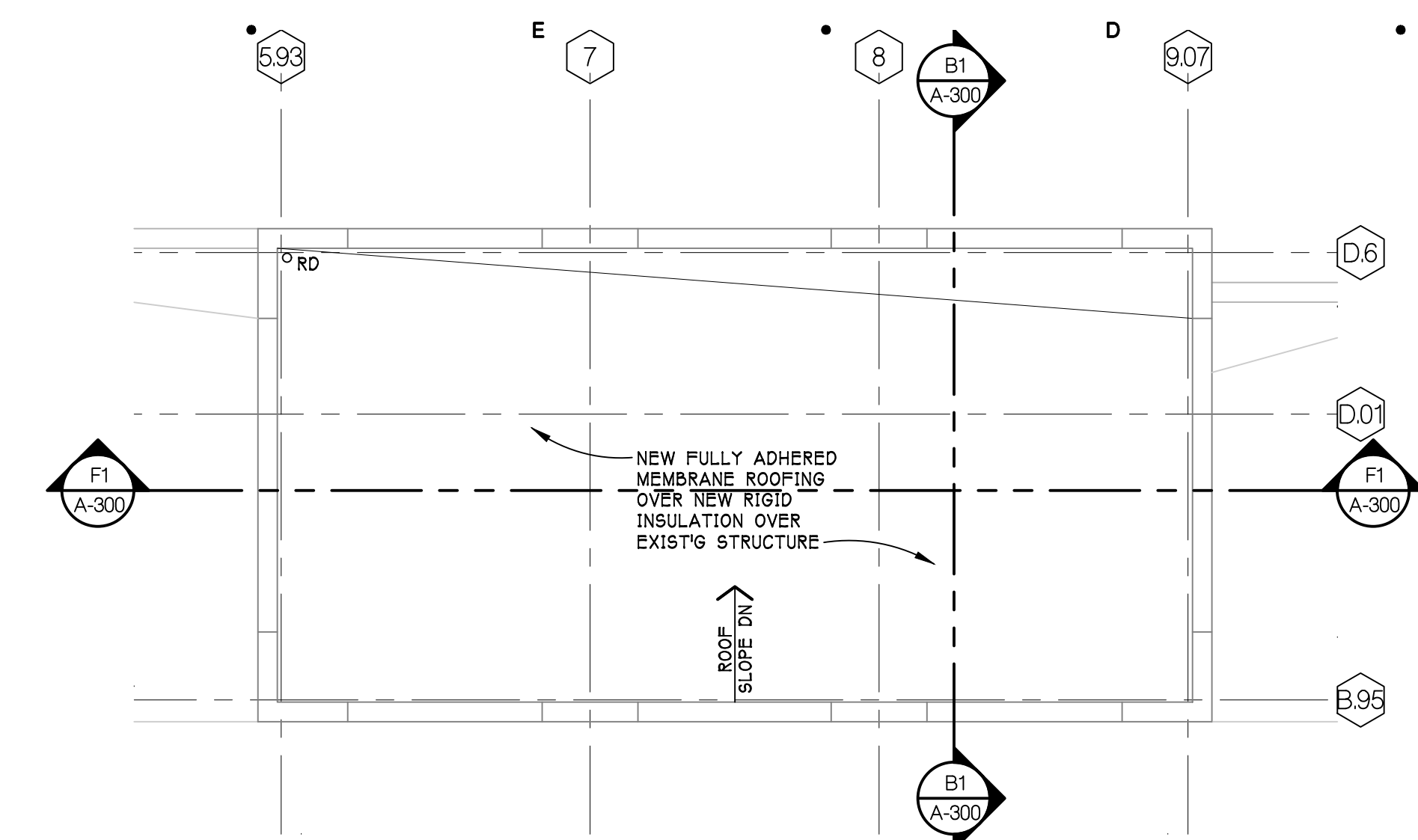
150 BAGLEY AVENUE
 DETROIT, MICHIGAN
 RENOVATION / RESTORATION

PROJECT

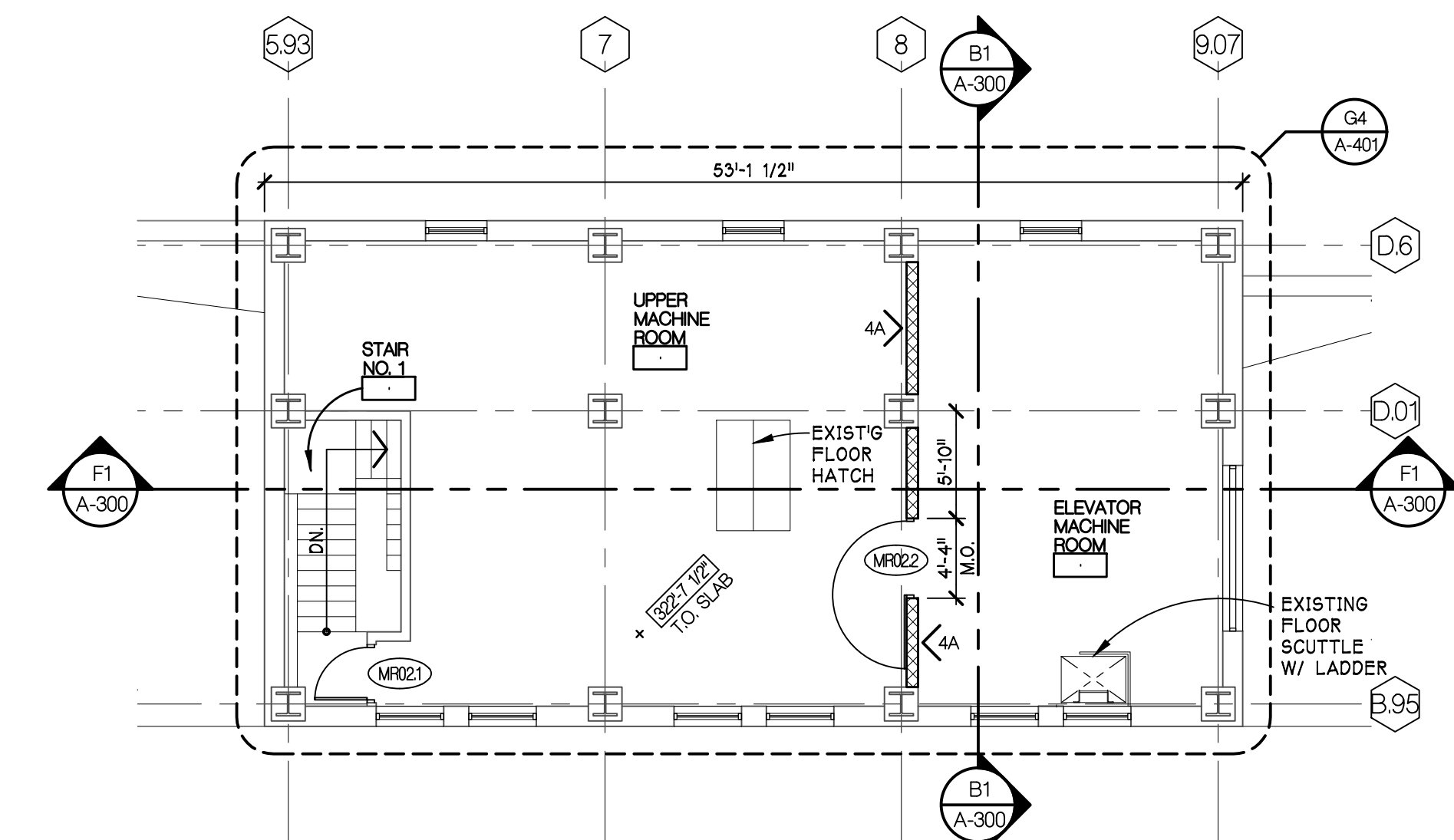
CONSULTANT

ROOF PLAN
 SHEET TITLE
15-802
 PROJECT NUMBER
A-105
 SHEET NUMBER

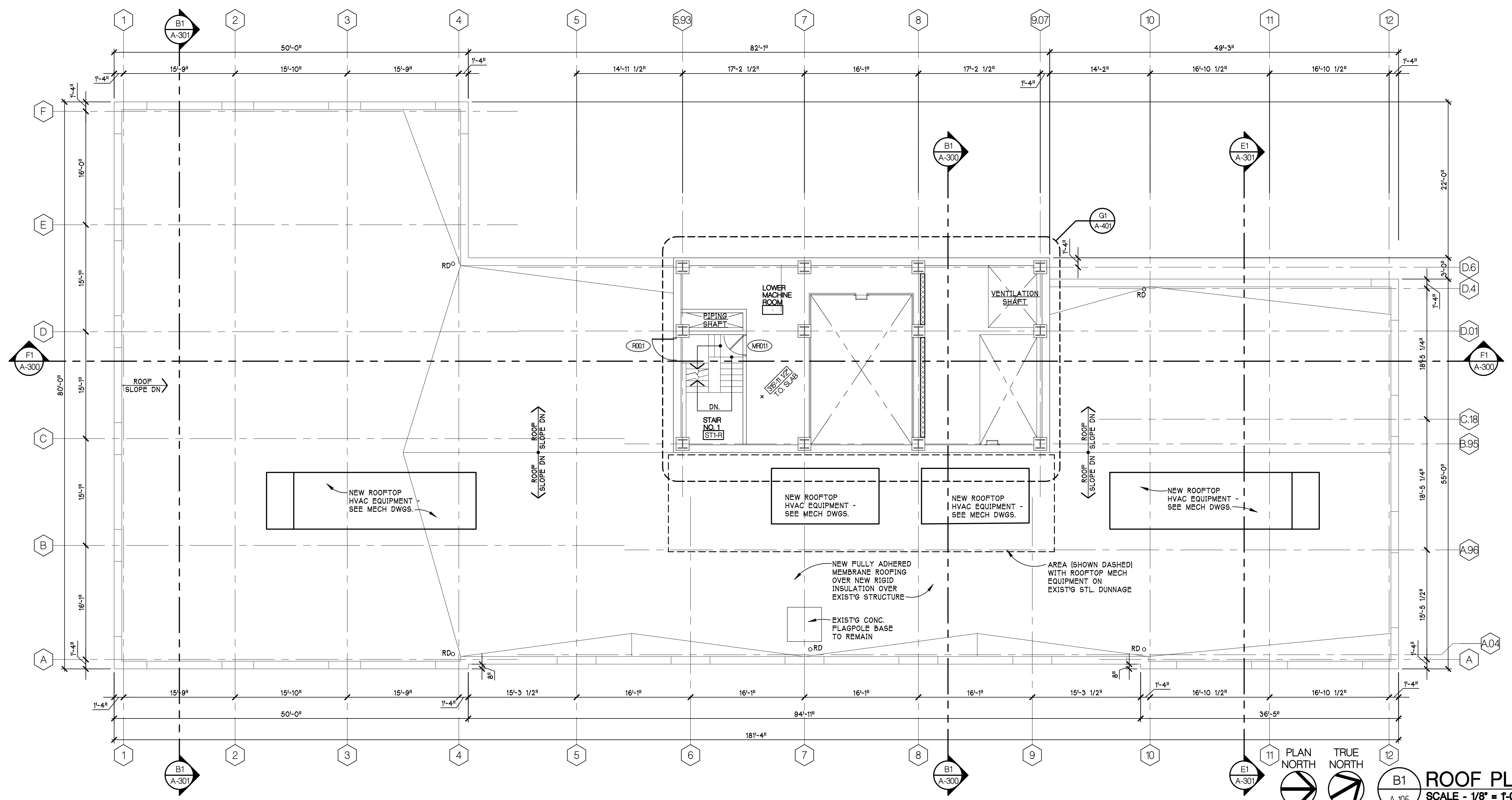
PROGRESS PRINT - NOT FOR CONSTRUCTION



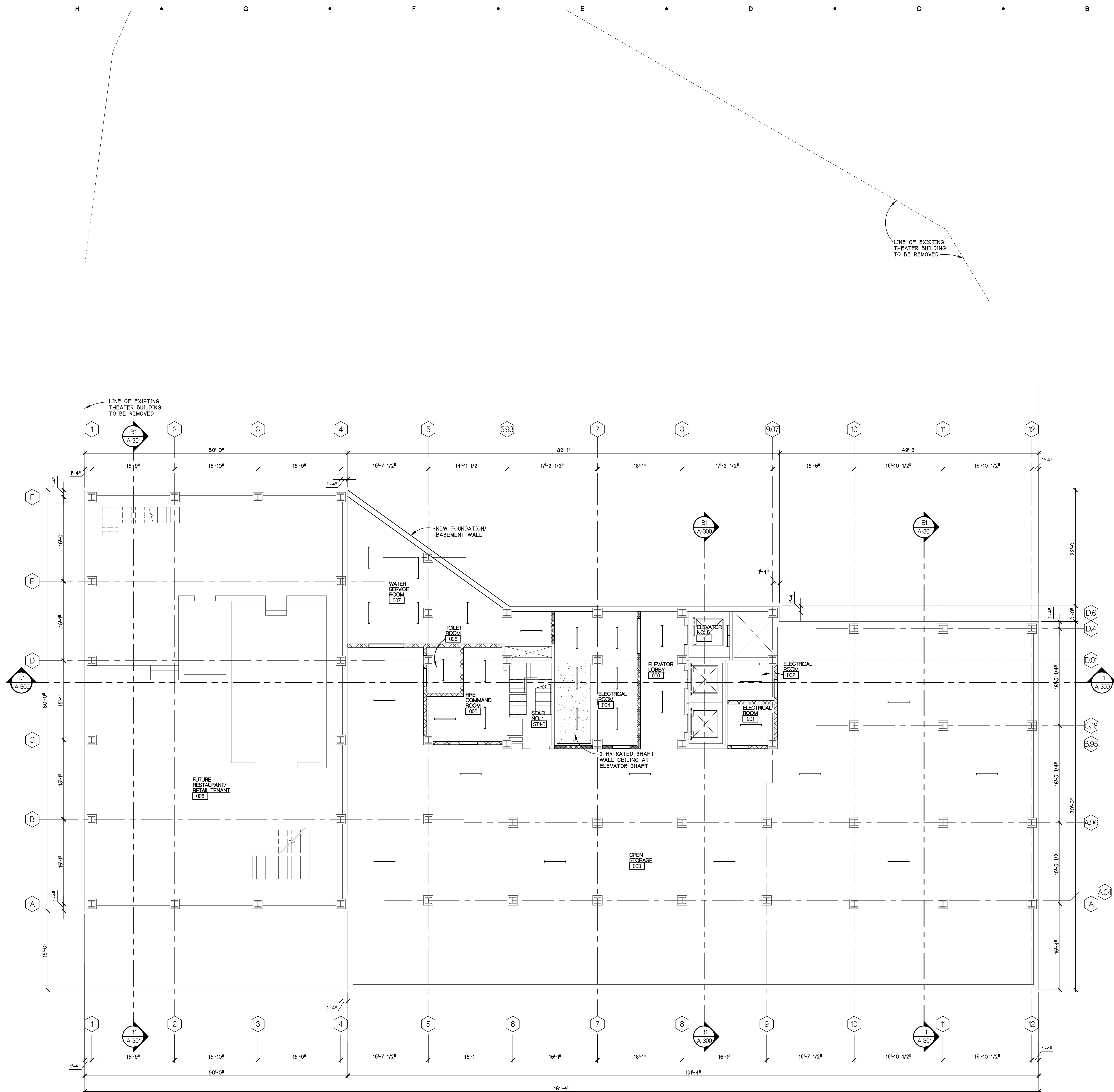
PLAN NORTH TRUE NORTH
 B1 HIGH ROOF PLAN
 A-105 SCALE - 1/8" = 1'-0"
10/16/19



PLAN NORTH TRUE NORTH
 B1 UPPER MACHINE RM. FLOOR PLAN
 A-105 SCALE - 1/8" = 1'-0"
10/16/19



PLAN NORTH TRUE NORTH
 B1 ROOF PLAN
 A-105 SCALE - 1/8" = 1'-0"
10/16/19



REFLECTED CEILING PLAN LEGEND

- SURFACE MOUNTED CLG LIGHT. SHADING INDICATES NIGHT LIGHT.
- RECESSED MOUNTED CLG LIGHT. SHADING INDICATES NIGHT LIGHT.
- PENDANT LIGHT FIXTURE
- WALL SCONCE. REFER TO ELEVATIONS FOR VERTICAL LOCATION.
- WALL MOUNTED LIGHT FIXTURE
- SURFACE MTD FLUORESCENT FIXTURE. SHADING INDICATES NIGHT LIGHT.
- WALL MTD FLUORESCENT LIGHT FIXTURE. SHADING INDICATES NIGHT LIGHT.
- CEILING MOUNTED EXIT LIGHT
- WALL MOUNTED EXIT LIGHT
- WALL WASH FIXTURE
- CEILING MOUNTED PROJECTOR
- + 8'-0" CEILING OR SOFFIT HEIGHT ABOVE FINISH FLOOR
- SMOKE DETECTOR
- FIRE ALARM NOTIFICATION DEVICE
- SECURITY SYSTEM
- SUPPLY AIR DIFFUSER
- RETURN AIR/EXHAUST DIFFUSER
- 8'-0" (+/-) HIGH GYPSUM BOARD CEILING OR SOFFIT
- 9'-0" (+/-) HIGH GYPSUM BOARD CEILING OR SOFFIT
- EXISTING CEILING - SEE ROOM FINISH SCHEDULE

NOTES:
 1. REFER TO THE ELECTRICAL DRAWINGS AND SCHEDULES FOR ADDITIONAL INFORMATION.
 2. REFER TO THE MECHANICAL DRAWINGS AND SCHEDULES FOR ADDITIONAL INFORMATION.
 3. ALL APARTMENT SUITE CEILINGS WILL CONSIST OF 2 LAYERS OF 5/8" GYP. BD. STAGGERED.

PLAN NORTH TRUE NORTH
BASEMENT REFLECTED CEILING PLAN
 SCALE - 1/8" = 1'-0"
 C1 A-150

SHEET NOTES:
 1. --- INDICATES 1 HR. RATED PARTITION
 2. --- INDICATES 2 HR. RATED PARTITION

Drawing: P:\2015\15020\Drawings\CD\Arch\150.dwg
 Date: Oct 15, 2019, 11:13am
 Layout: A-150
 Plotted by: amgman

PROGRESS PRINT - NOT FOR CONSTRUCTION

FDD REVIEW	10/16/2018
90% CD	04/24/2018
PROGRESS PRINTING	11/13/2018
PROGRESS SET	10/24/2018
NPS PACKAGE	01/03/2018
DATE ISSUED	
DRAWN BY	
CHECKED BY	

HOBBS + BLACK
 ARCHITECTS
 100 N. State St.
 Ann Arbor, MI 48104
 P. 734.663.4189
 www.hobbs-black.com

150 BAGLEY AVENUE
 DETROIT, MICHIGAN
 RENOVATION / RESTORATION

PROJECT

CONSULTANT

PROGRESS PRINT - NOT FOR CONSTRUCTION

FIRST FLOOR REFLECTED CEILING PLAN

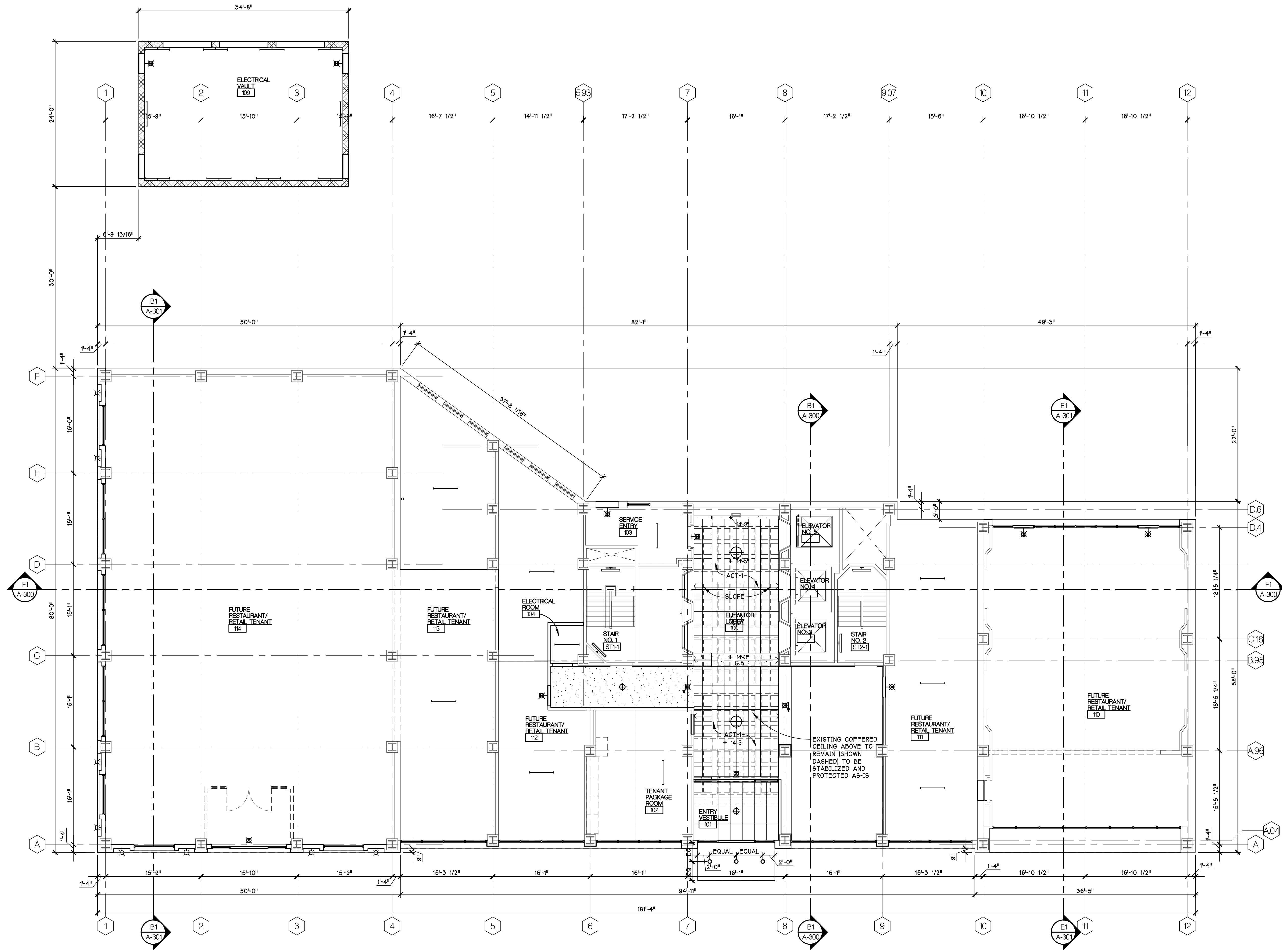
SHEET TITLE

15-802

PROJECT NUMBER

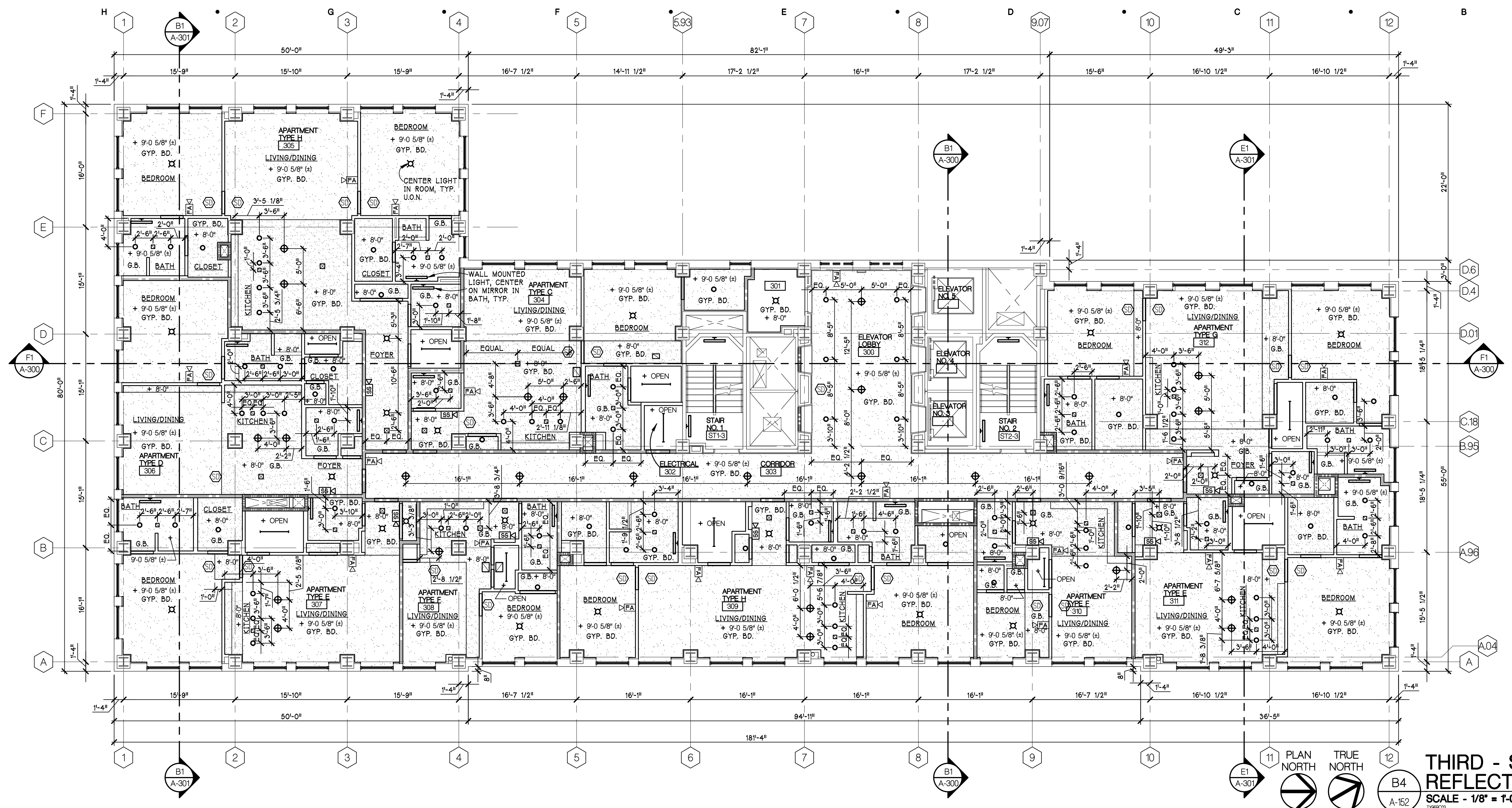
A-151

SHEET NUMBER

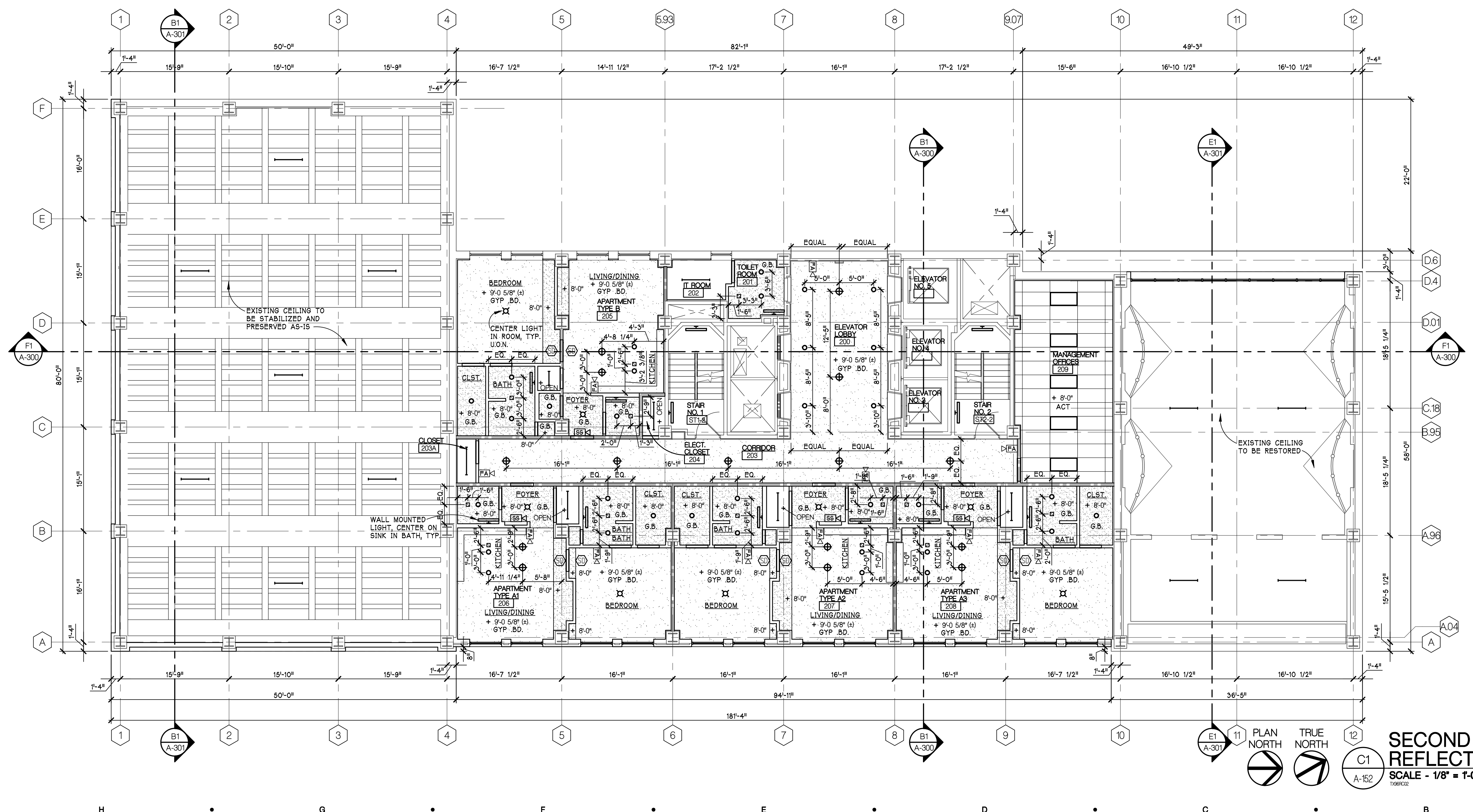


PLAN NORTH TRUE NORTH
 C1 A-151
FIRST FLOOR REFLECTED CEILING PLAN
 SCALE - 1/8" = 1'-0"

Drawing: P:\2015\15020\Drawings\CD\Architectural\151.dwg
 Date: Oct 15, 2018, 11:11 pm
 Layout: A-151
 Plotted by: amogwan



THIRD - SEVENTEENTH FL REFLECTED CEILING PLAN
 (3RD FLOOR SHOWN)
 SCALE - 1/8" = 1'-0"



SECOND FLOOR REFLECTED CEILING PLAN
 SCALE - 1/8" = 1'-0"

REFLECTED CEILING PLAN LEGEND

- SURFACE MOUNTED CLG LIGHT. SHADING INDICATES NIGHT LIGHT.
- RECESSED MOUNTED CLG LIGHT. SHADING INDICATES NIGHT LIGHT.
- PENDANT LIGHT FIXTURE
- WALL SCONCE. REFER TO ELEVATIONS FOR VERTICAL LOCATION.
- WALL MOUNTED LIGHT FIXTURE
- SURFACE MTD FLUORESCENT FIXTURE. SHADING INDICATES NIGHT LIGHT.
- WALL MTD FLUORESCENT LIGHT FIXTURE. SHADING INDICATES NIGHT LIGHT.
- CEILING MOUNTED EXIT LIGHT
- WALL MOUNTED EXIT LIGHT
- WALL WASH FIXTURE
- CEILING MOUNTED PROJECTOR
- + 8'-0" CEILING OR SOFFIT HEIGHT ABOVE FINISH FLOOR
- SMOKE DETECTOR
- FIRE ALARM NOTIFICATION DEVICE
- SECURITY SYSTEM
- SUPPLY AIR DIFFUSER
- RETURN AIR/EXHAUST DIFFUSER
- 8"-0" 1/2" HIGH GYPSUM BOARD CEILING OR SOFFIT
- 9"-0" 1/2" HIGH GYPSUM BOARD CEILING OR SOFFIT
- EXISTING CEILING - SEE ROOM FINISH SCHEDULE

NOTES:
 1. REFER TO THE ELECTRICAL DRAWINGS AND SCHEDULES

SHEET NOTES:
 1. _____ INDICATES 1 HR. RATED PARTITION
 2. _____ INDICATES 2 HR. RATED PARTITION

Drawing: P120151150200DWG03A170151152.dwg
 Date: Oct 15, 2019, 1:10pm
 Layout: A1-152
 Plotted by: amgwan

PROGRESS PRINT - NOT FOR CONSTRUCTION

FDD REVIEW	10/16/2018
90% CD	04/24/2018
PROGRESS PRINTING	11/13/2018
PROGRESS SET	10/24/2018
NPS PACKAGE	01/03/2018
DATE ISSUED	
DRAWN BY	
CHECKED BY	

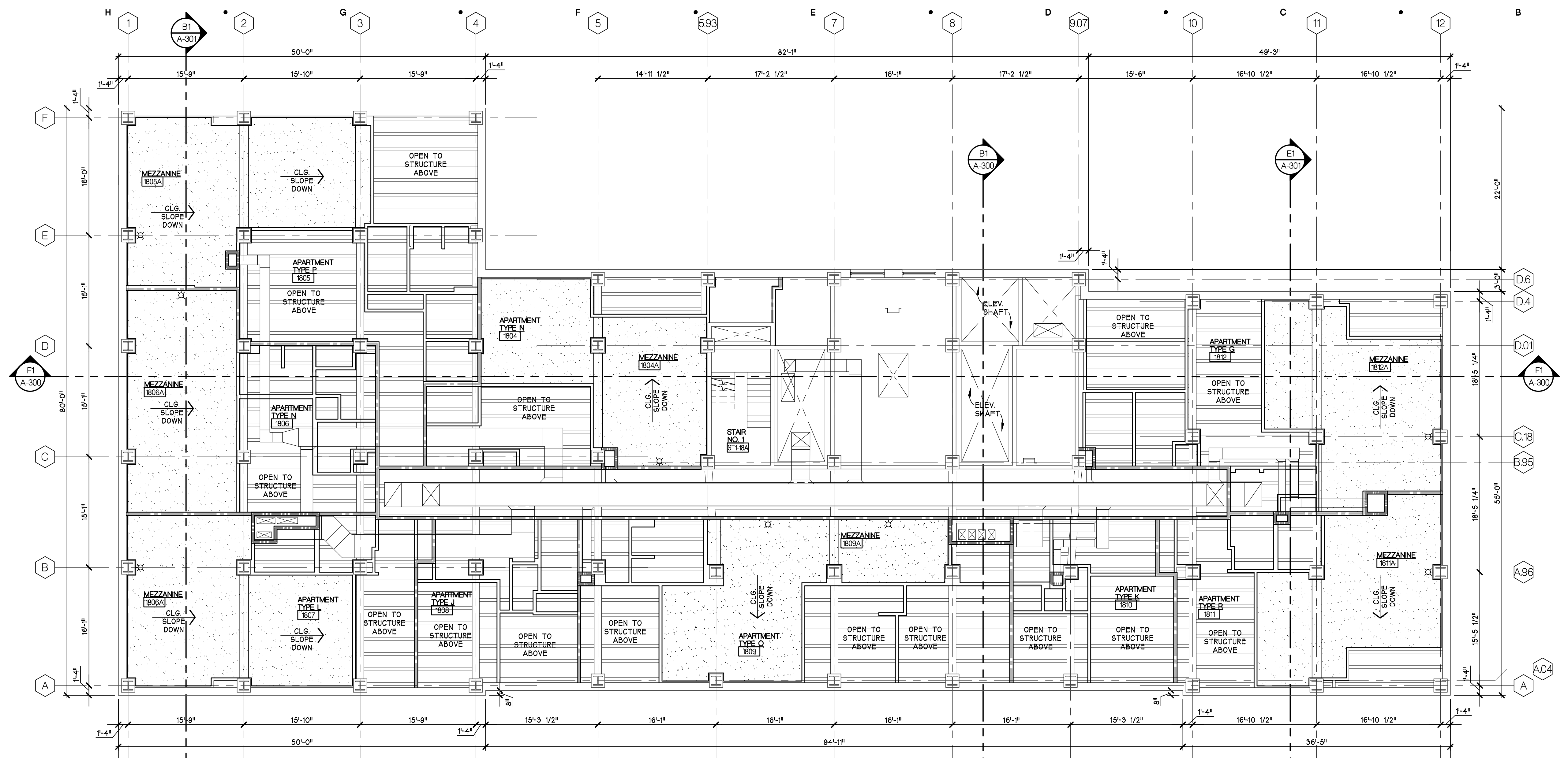
HOBBS + BLACK
 ARCHITECTS
 100 N. State St.
 Ann Arbor, MI 48104
 P. 734.663.4189
 www.hobbs-black.com

150 BAGLEY AVENUE
 DETROIT, MICHIGAN
 RENOVATION / RESTORATION

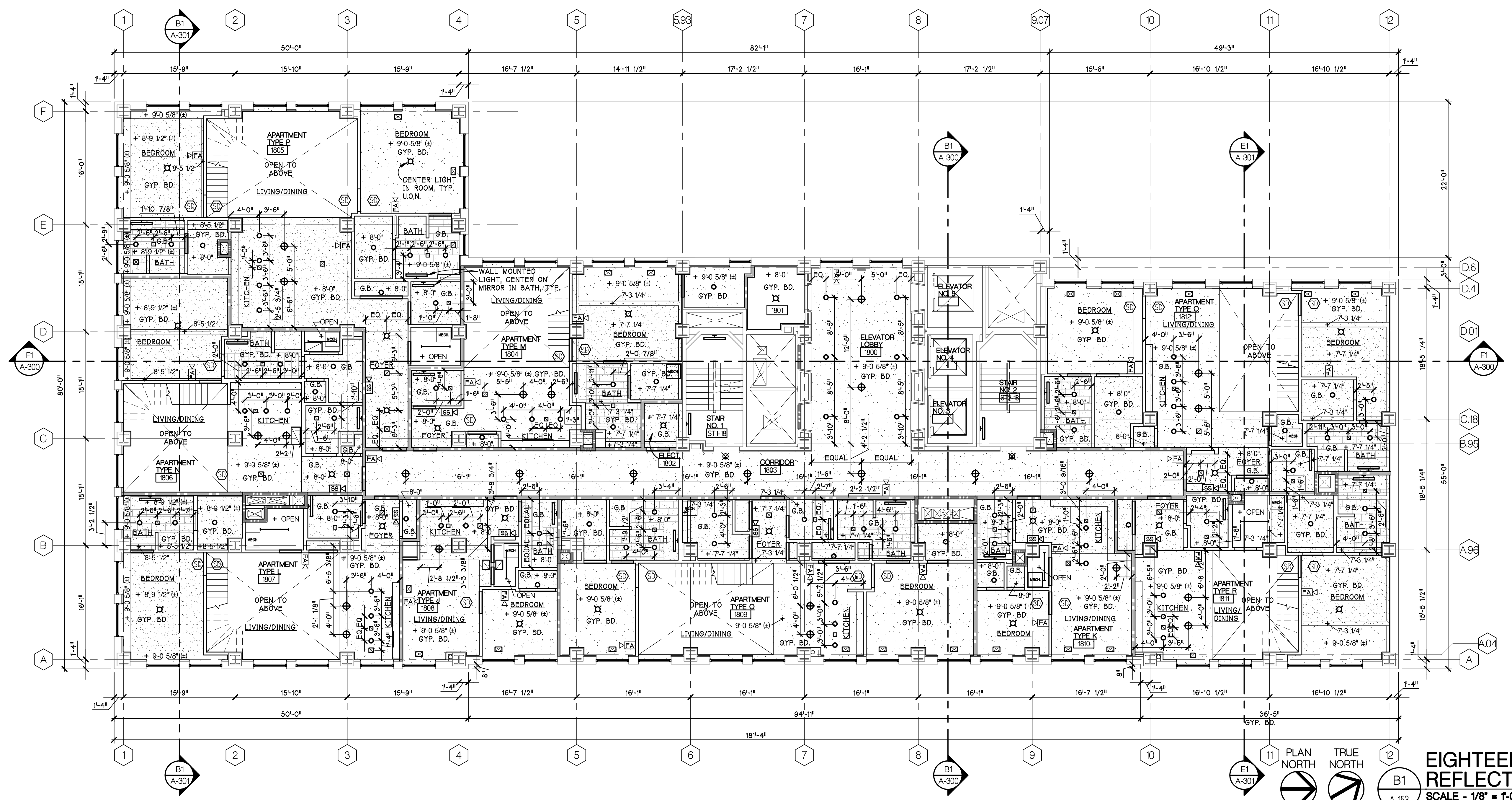
PROJECT
 CONSULTANT

EIGHTEENTH FL & MEZZANINE REFLECTED CEILING PLANS
 SHEET TITLE

15-802
 PROJECT NUMBER
A-153
 SHEET NUMBER



18TH FL. MEZZANINE REFLECTED CEILING PLAN
 SCALE - 1/8" = 1'-0"



EIGHTEENTH FLOOR REFLECTED CEILING PLAN
 SCALE - 1/8" = 1'-0"

REFLECTED CEILING PLAN LEGEND	
	SURFACE MOUNTED CLG LIGHT. SHADING INDICATES NIGHT LIGHT.
	RECESSED MOUNTED CLG LIGHT. SHADING INDICATES NIGHT LIGHT.
	PENDANT LIGHT FIXTURE
	WALL SCONCE. REFER TO ELEVATIONS FOR VERTICAL LOCATION.
	WALL MOUNTED LIGHT FIXTURE
	SURFACE MTD FLUORESCENT FIXTURE. SHADING INDICATES NIGHT LIGHT.
	WALL MTD FLUORESCENT LIGHT FIXTURE. SHADING INDICATES NIGHT LIGHT.
	CEILING MOUNTED EXIT LIGHT
	WALL MOUNTED EXIT LIGHT
	WALL WASH FIXTURE
	CEILING MOUNTED PROJECTOR
	+ 8'-0" CEILING OR SOFFIT HEIGHT ABOVE FINISH FLOOR
	SMOKE DETECTOR
	FIRE ALARM NOTIFICATION DEVICE
	SECURITY SYSTEM
	SUPPLY AIR DIFFUSER
	RETURN AIR/EXHAUST DIFFUSER
	8"-0" 1/2" HIGH GYPSUM BOARD CEILING OR SOFFIT
	9"-0" 1/2" HIGH GYPSUM BOARD CEILING OR SOFFIT
	EXISTING CEILING - SEE ROOM FINISH SCHEDULE

NOTES:
 1. REFER TO THE ELECTRICAL DRAWINGS AND SCHEDULES FOR ADDITIONAL INFORMATION.
 2. REFER TO THE MECHANICAL DRAWINGS AND SCHEDULES FOR ADDITIONAL INFORMATION.
 3. ALL APARTMENT SUITE CEILINGS WILL CONSIST OF 2 LAYERS OF 5/8" GYP. BD. STAGGERED.

PROGRESS PRINT - NOT FOR CONSTRUCTION

FDD REVIEW	10/16/2018
90% CD	04/24/2018
PROGRESS PRINTING	11/13/2018
PROGRESS SET	10/24/2018
NPS PACKAGE	01/03/2018
DATE ISSUED	

DRAWN BY
 CHECKED BY

HOBBS + BLACK
 ARCHITECTS

100 N. State St.
 Ann Arbor, MI 48104
 P. 734.663.4189
 www.hobbs-black.com

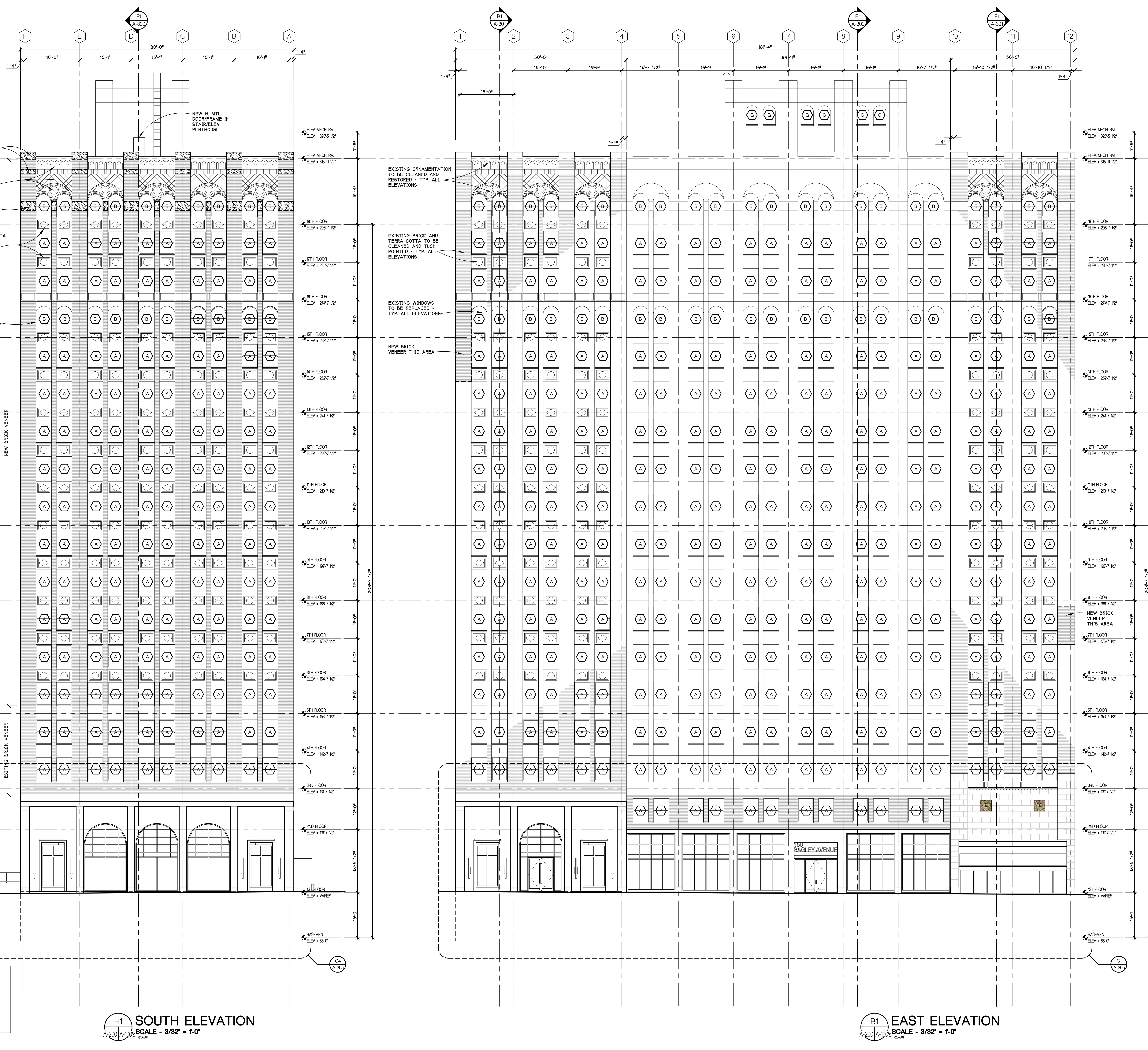
150 BAGLEY AVENUE
 DETROIT, MICHIGAN
 RENOVATION / RESTORATION

PROJECT
 CONSULTANT

EXTERIOR ELEVATIONS
 SHEET TITLE

15-802
 PROJECT NUMBER

A-200
 SHEET NUMBER



SHEET NOTES:

1. NEW MECHANICAL ROOFTOP MOUNTED EQUIPMENT OMITTED FROM DRAWING FOR ILLUSTRATION CLARITY PURPOSES.
2. REFER TO SHEET A-210 FOR NEW WINDOW TYPES.
3. REFER TO SHEET A-600 FOR NEW DOOR & FRAME INFORMATION.
4. ALL WINDOWS SHOWN ON THE EXTERIOR ELEVATION ARE NEW AND ARE INSTALLED IN EXISTING MASONRY OPENINGS, U.N.O. (TYP).

H1 SOUTH ELEVATION
 A-200 A-100s SCALE - 3/32" = 1'-0"

B1 EAST ELEVATION
 A-200 A-100s SCALE - 3/32" = 1'-0"

Drawing: P:\2015\15-802\Drawings\CD\Arch\15-802-A-200.dwg
 Date: Oct 15, 2018, 1:01pm
 Layout: A-200
 Plotted by: emogman

PROGRESS PRINT - NOT FOR CONSTRUCTION



SHEET NOTES:

1. NEW MECHANICAL ROOFTOP MOUNTED EQUIPMENT OMITTED FROM DRAWING FOR ILLUSTRATION CLARITY PURPOSES.
2. REFER TO SHEET A-210 FOR NEW WINDOW TYPES.
3. REFER TO SHEET A-600 FOR NEW DOOR & FRAME INFORMATION.
4. ALL WINDOWS SHOWN ON THE EXTERIOR ELEVATION ARE NEW AND ARE INSTALLED IN EXISTING MASONRY OPENINGS, UNO. (TYP).

NORTH ELEVATION
 SCALE - 3/32" = 1'-0"
 A-201A-100s

WEST ELEVATION
 SCALE - 3/32" = 1'-0"
 A-201A-100s

PROGRESS PRINT - NOT FOR CONSTRUCTION

DATE ISSUED
 DRAWN BY
 CHECKED BY

HOBBS + BLACK ARCHITECTS
 100 N. State St.
 Ann Arbor, MI 48104
 P. 734.663.4189
 www.hobbs-black.com

150 BAGLEY AVENUE
 DETROIT, MICHIGAN
 RENOVATION / RESTORATION

PROJECT

CONSULTANT

EXTERIOR ELEVATIONS

SHEET TITLE

15-802
 PROJECT NUMBER

A-201
 SHEET NUMBER

Drawing: P:\2015\15-802\Drawings\CD\Arch\15-802_01.dwg
 Date: Oct 15, 2015, 1:04pm
 Layout: A-201
 Plotted by: amogman

PD REVIEW	10/16/2018
90% CD	04/24/2019
PROGRESS PRINTING	11/13/2018
PROGRESS SET	10/24/2018
NPS PACKAGE	01/03/2018
	DATE ISSUED

DRAWN BY
 CHECKED BY

HOBBS + BLACK
 ARCHITECTS
 100 N. State St.
 Ann Arbor, MI 48104
 P. 734.663.4189
 www.hobbs-black.com

150 BAGLEY AVENUE
 DETROIT, MICHIGAN
 RENOVATION / RESTORATION

PROJECT
 CONSULTANT

PROGRESS PRINT - NOT FOR CONSTRUCTION

BUILDING SECTIONS

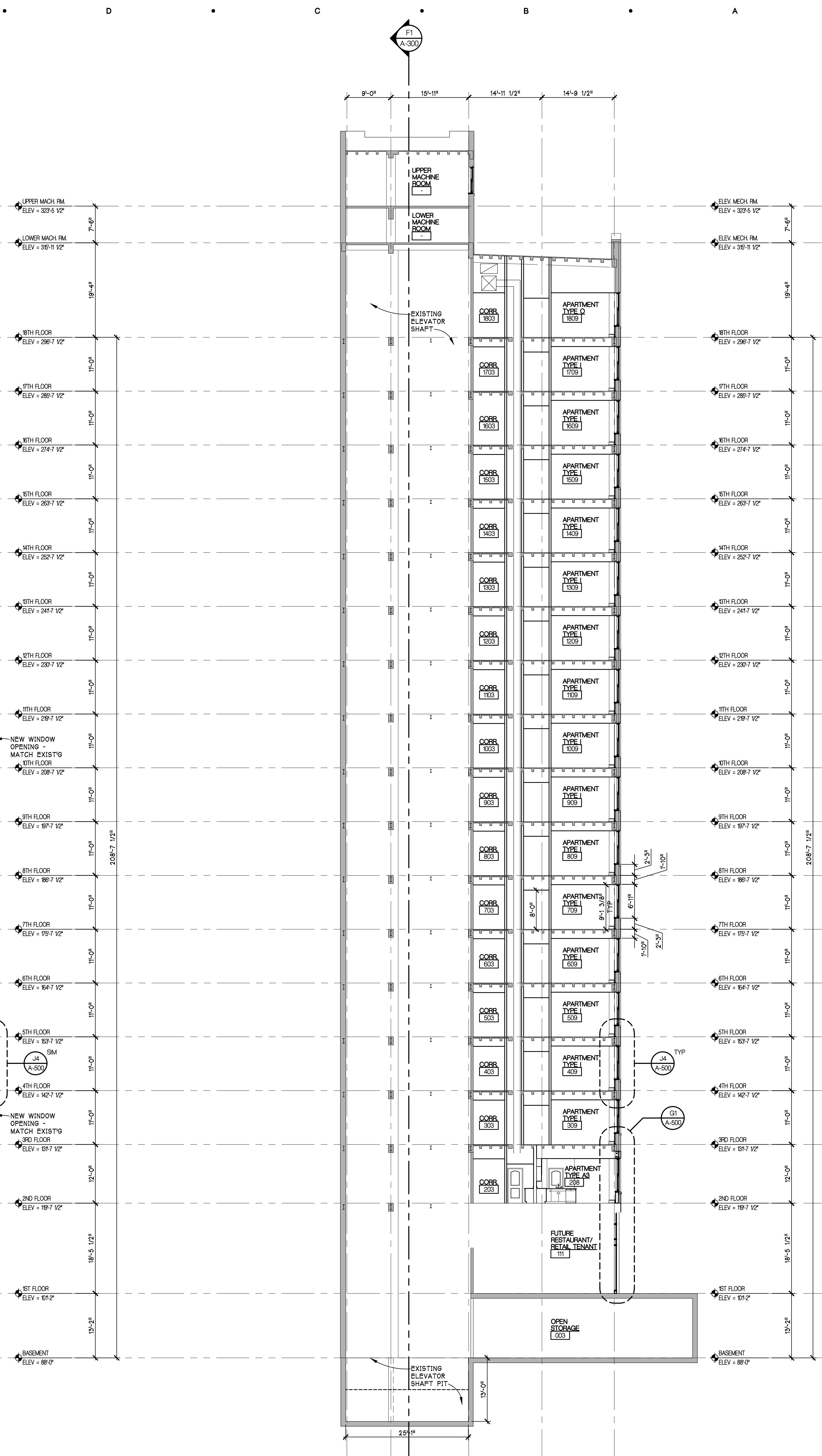
SHEET TITLE

15-802
 PROJECT NUMBER

A-300
 SHEET NUMBER



B1 BUILDING SECTION
 SCALE - 3/32" = 1'-0"



B1 BUILDING SECTION
 SCALE - 3/32" = 1'-0"

Drawing: P:\2015\15020\Drawings\CD\A-300.dwg
 Date: Oct 15, 2018 11:24:00am
 Layout: A-300
 Plotted by: dmigwan

FDD REVIEW	10/16/2018
90% CD	04/24/2018
PROGRESS PRINTING	11/13/2018
PROGRESS SET	10/24/2018
NPS PACKAGE	01/03/2018
DATE ISSUED	

DRAWN BY
 CHECKED BY

HOBBS + BLACK
 ARCHITECTS
 100 N. State St.
 Ann Arbor, MI 48104
 P. 734.663.4189
 www.hobbs-black.com

150 BAGLEY AVENUE
 DETROIT, MICHIGAN
 RENOVATION / RESTORATION

PROJECT

CONSULTANT

BUILDING SECTIONS

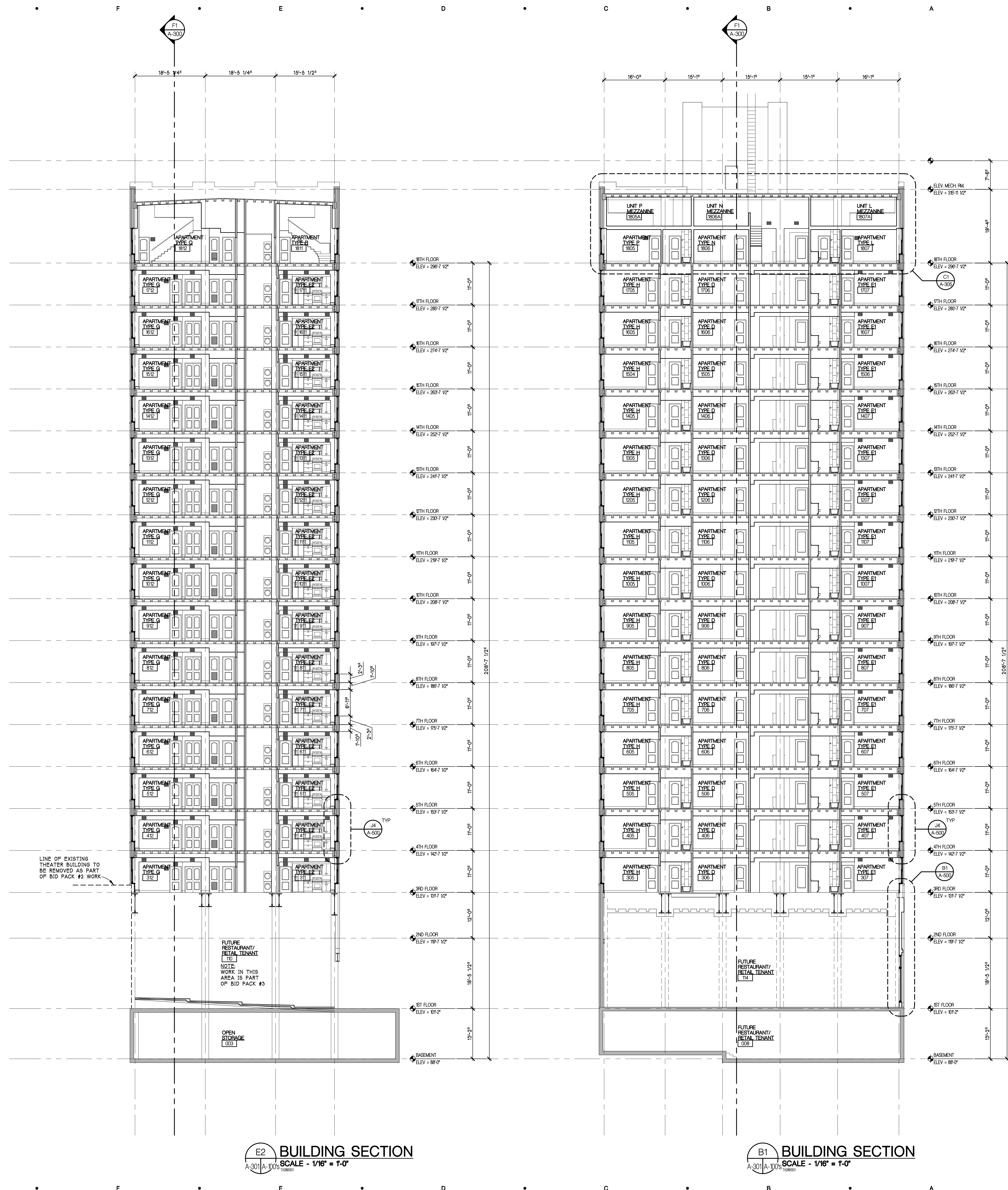
SHEET TITLE

15-802

PROJECT NUMBER

A-301

SHEET NUMBER



E2 BUILDING SECTION
 SCALE - 1/16" = 1'-0"

B1 BUILDING SECTION
 SCALE - 1/16" = 1'-0"

LINE OF EXISTING THEATER BUILDING TO BE REMOVED AS PART OF BID PACK #2 WORK

FUTURE RESTAURANT/RETAIL TENANT
 NOTE: WORK IN THIS AREA IS PART OF BID PACK #3

FUTURE RESTAURANT/RETAIL TENANT

Drawing: P:\2015\15-802\Drawings\CD\Architectural\A-301.dwg
 Date: Oct 15, 2018, 12:44pm
 Layout: A-301
 Plotted by: omcgowan

PROGRESS PRINT - NOT FOR CONSTRUCTION

FDD REVIEW	10/16/2018
90X CD	04/24/2018
PROGRESS PRINTING	11/13/2018
PROGRESS SET	10/24/2018
NPS PACKAGE	01/03/2018
DATE ISSUED	
DRAWN BY	
CHECKED BY	

HOBBS + BLACK
 ARCHITECTS
 100 N. State St.
 Ann Arbor, MI 48104
 P. 734.663.4189
 www.hobbs-black.com

150 BAGLEY AVENUE
 DETROIT, MICHIGAN
 RENOVATION / RESTORATION

PROJECT

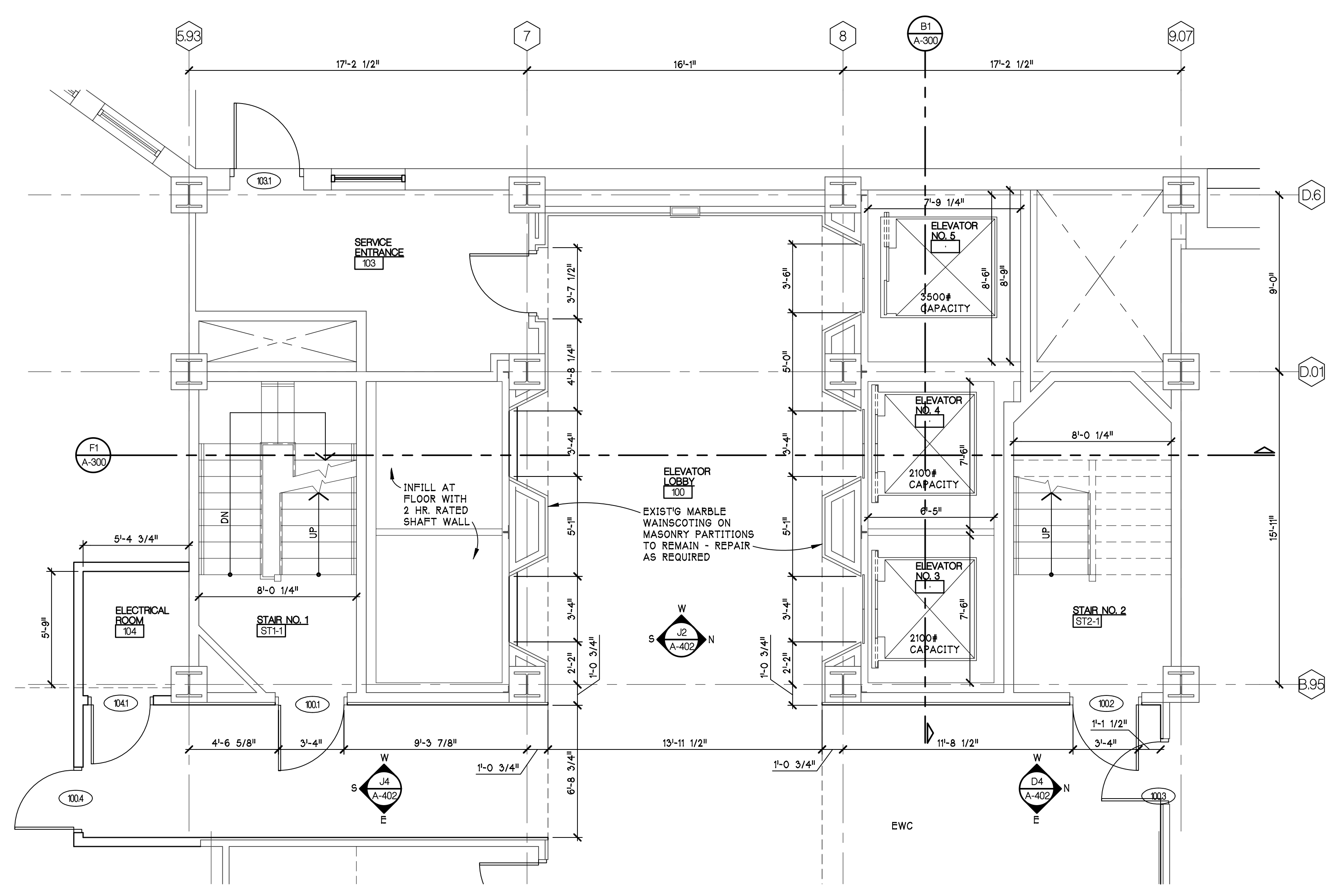
CONSULTANT

ENLARGED FLOOR PLANS AT ELEVATOR/STAIR CORE
 SHEET TITLE

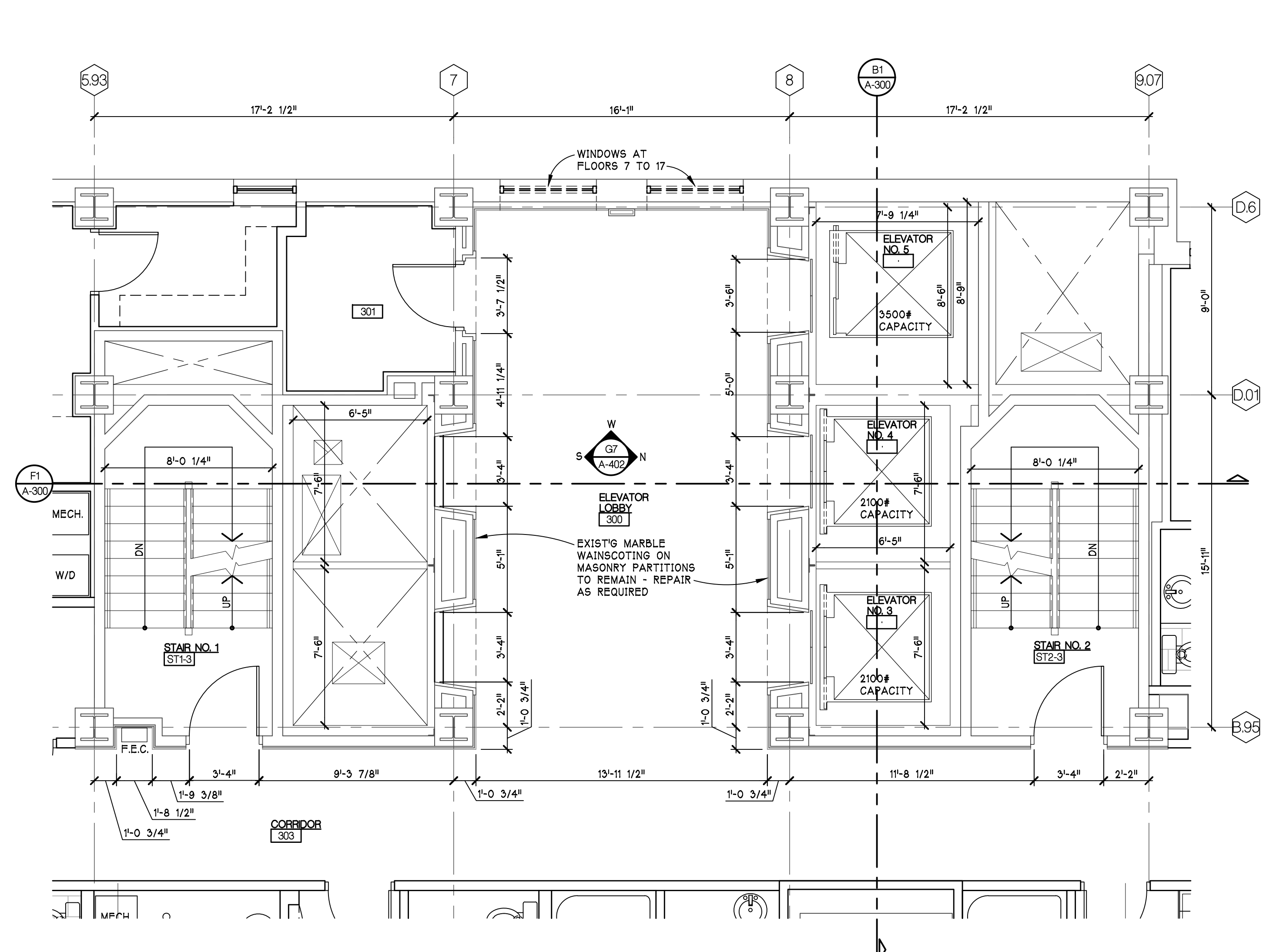
15-802
 PROJECT NUMBER

A-400
 SHEET NUMBER

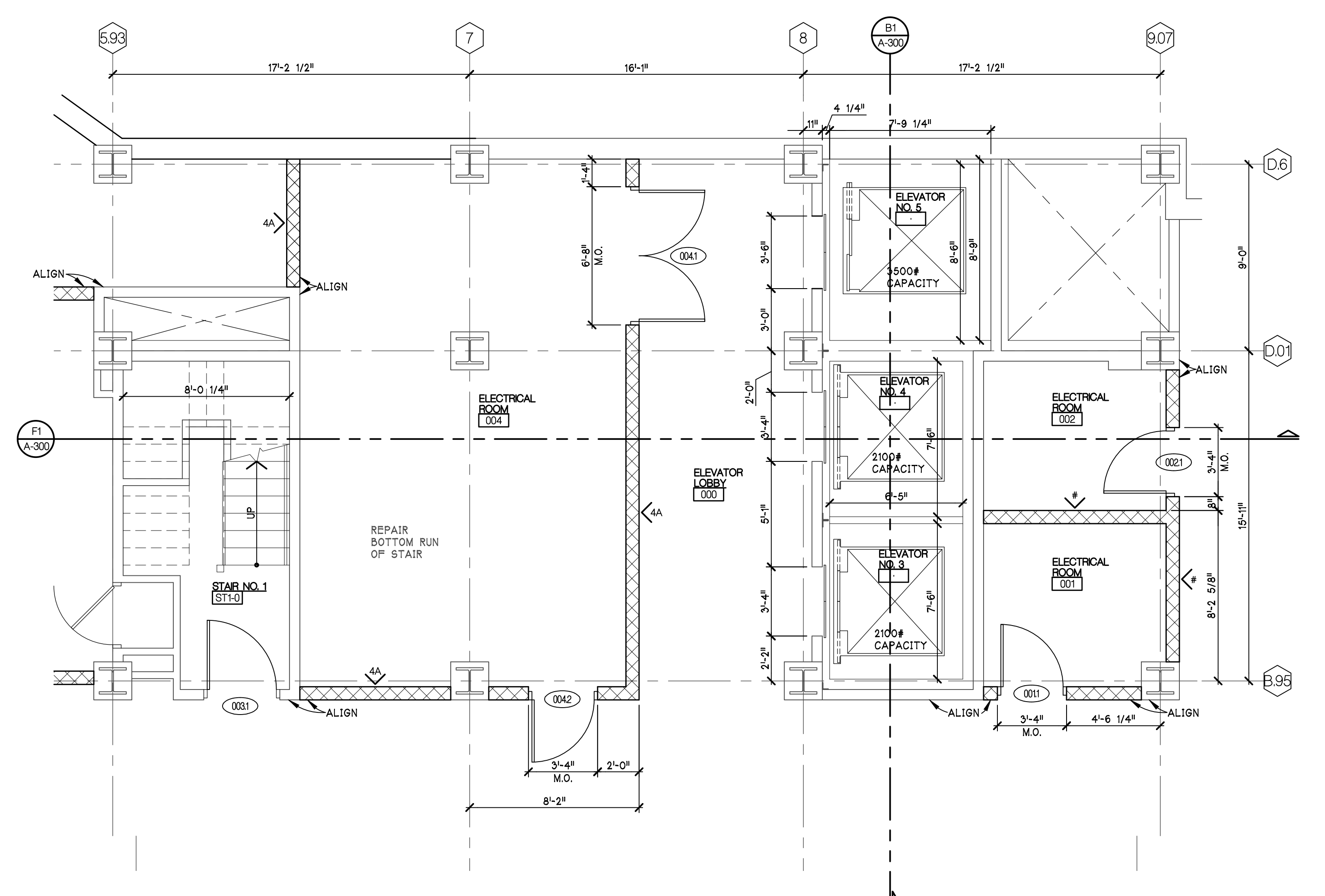
PROGRESS PRINT - NOT FOR CONSTRUCTION



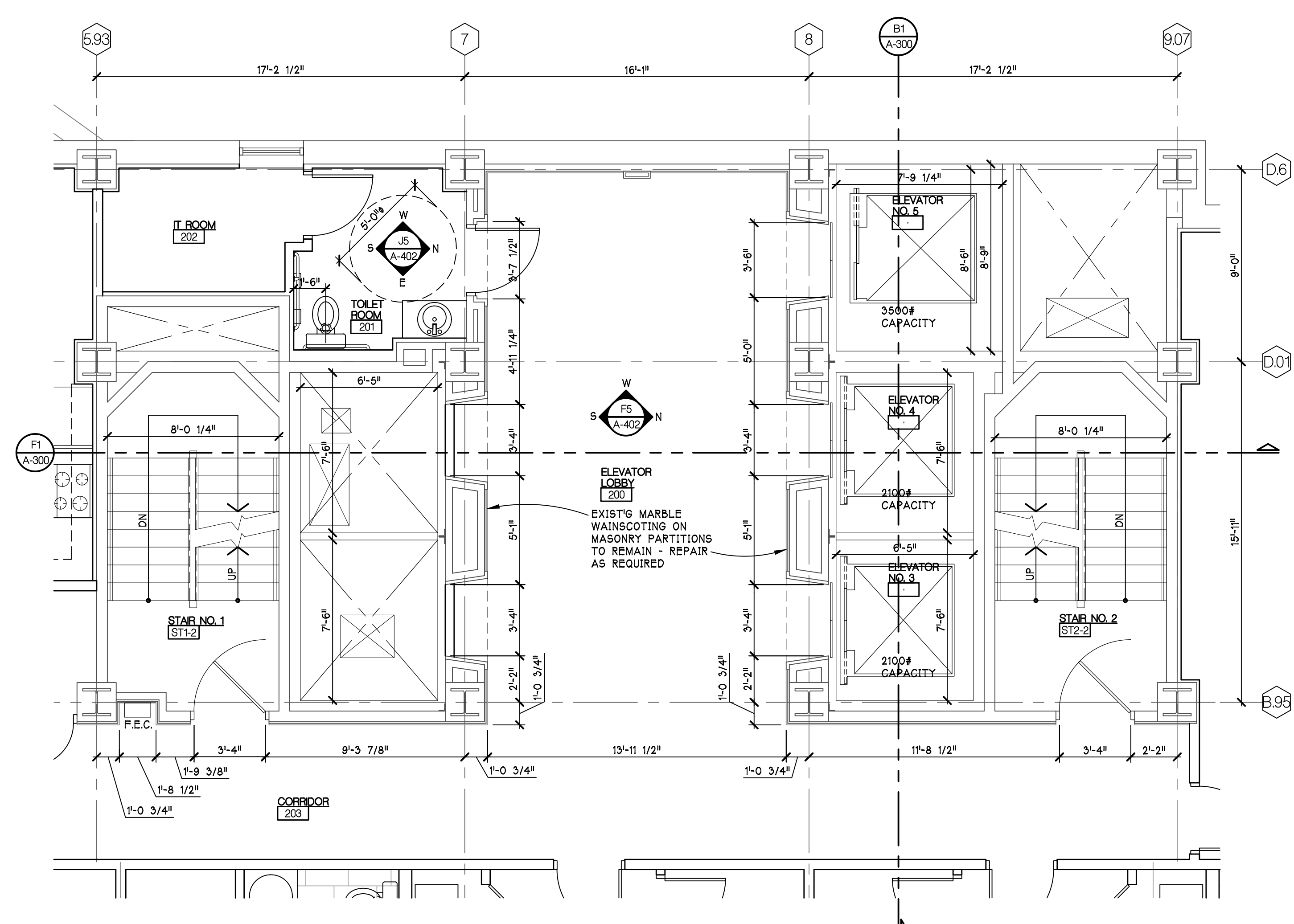
PLAN NORTH TRUE NORTH
 ENLARGED FIRST FLOOR PLAN AT ELEVATOR/STAIR CORE
 SCALE - 1/4" = 1'-0"
 G4
 A-400/A-103
 A-113



PLAN NORTH TRUE NORTH
 ENLARGED FLOOR PLAN AT TYPICAL ELEVATOR/STAIR CORE
 SCALE - 1/4" = 1'-0"
 G4
 A-400/A-103
 A-113

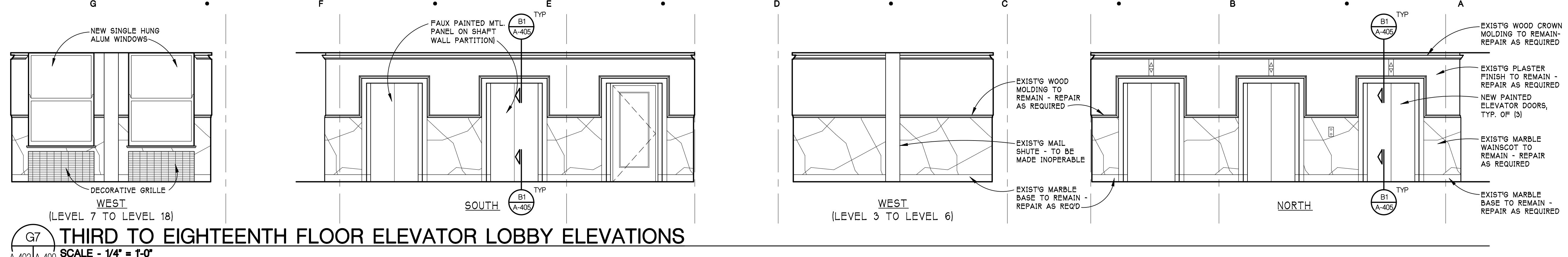


PLAN NORTH TRUE NORTH
 ENLARGED BASEMENT FLOOR PLAN AT ELEVATOR/STAIR CORE
 SCALE - 1/4" = 1'-0"
 C1
 A-400/A-100
 A-112

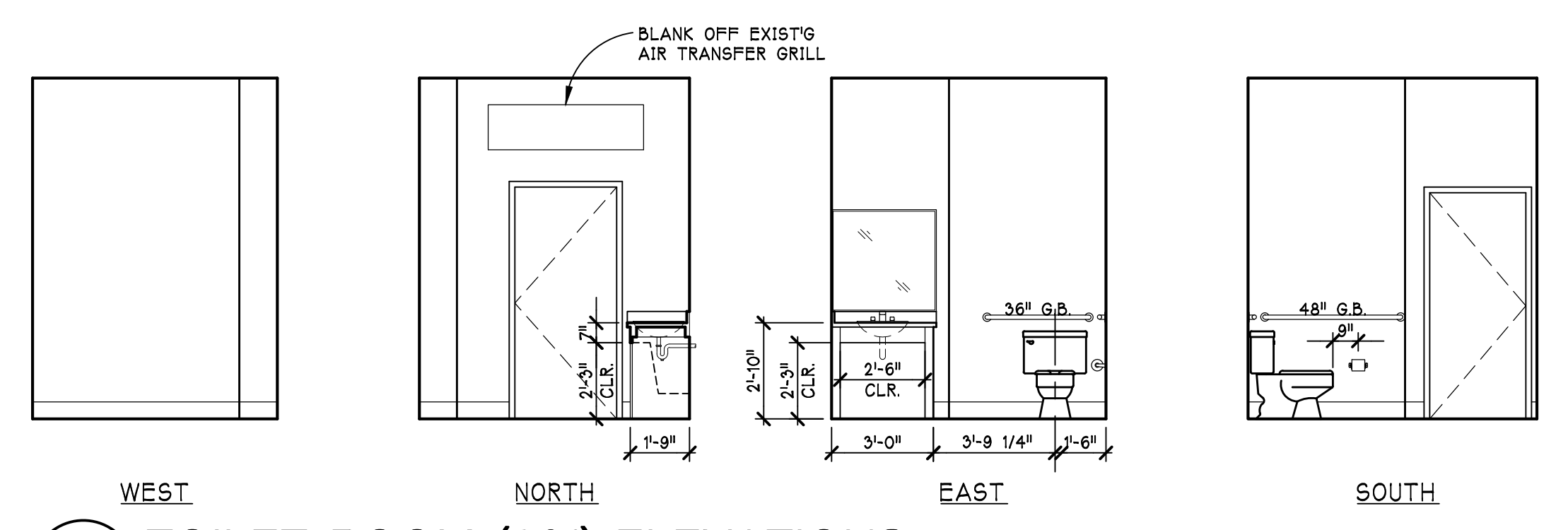


PLAN NORTH TRUE NORTH
 ENLARGED SECOND FLOOR PLAN AT ELEVATOR/STAIR CORE
 SCALE - 1/4" = 1'-0"
 G1
 A-400/A-102
 A-112

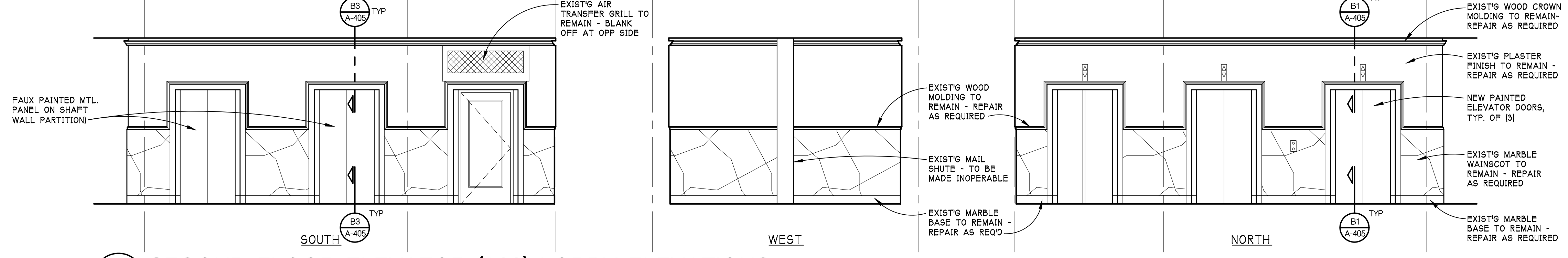
Drawn: P1201515/2020/04/24/17/15/18/19/20/21/22/23/24/25/26/27/28/29/30/31/32/33/34/35/36/37/38/39/40/41/42/43/44/45/46/47/48/49/50/51/52/53/54/55/56/57/58/59/60/61/62/63/64/65/66/67/68/69/70/71/72/73/74/75/76/77/78/79/80/81/82/83/84/85/86/87/88/89/90/91/92/93/94/95/96/97/98/99/100/101/102/103/104/105/106/107/108/109/110/111/112/113/114/115/116/117/118/119/120/121/122/123/124/125/126/127/128/129/130/131/132/133/134/135/136/137/138/139/140/141/142/143/144/145/146/147/148/149/150/151/152/153/154/155/156/157/158/159/160/161/162/163/164/165/166/167/168/169/170/171/172/173/174/175/176/177/178/179/180/181/182/183/184/185/186/187/188/189/190/191/192/193/194/195/196/197/198/199/200/201/202/203/204/205/206/207/208/209/210/211/212/213/214/215/216/217/218/219/220/221/222/223/224/225/226/227/228/229/230/231/232/233/234/235/236/237/238/239/240/241/242/243/244/245/246/247/248/249/250/251/252/253/254/255/256/257/258/259/260/261/262/263/264/265/266/267/268/269/270/271/272/273/274/275/276/277/278/279/280/281/282/283/284/285/286/287/288/289/290/291/292/293/294/295/296/297/298/299/300/301/302/303/304/305/306/307/308/309/310/311/312/313/314/315/316/317/318/319/320/321/322/323/324/325/326/327/328/329/330/331/332/333/334/335/336/337/338/339/340/341/342/343/344/345/346/347/348/349/350/351/352/353/354/355/356/357/358/359/360/361/362/363/364/365/366/367/368/369/370/371/372/373/374/375/376/377/378/379/380/381/382/383/384/385/386/387/388/389/390/391/392/393/394/395/396/397/398/399/400/401/402/403/404/405/406/407/408/409/410/411/412/413/414/415/416/417/418/419/420/421/422/423/424/425/426/427/428/429/430/431/432/433/434/435/436/437/438/439/440/441/442/443/444/445/446/447/448/449/450/451/452/453/454/455/456/457/458/459/460/461/462/463/464/465/466/467/468/469/470/471/472/473/474/475/476/477/478/479/480/481/482/483/484/485/486/487/488/489/490/491/492/493/494/495/496/497/498/499/500/501/502/503/504/505/506/507/508/509/510/511/512/513/514/515/516/517/518/519/520/521/522/523/524/525/526/527/528/529/530/531/532/533/534/535/536/537/538/539/540/541/542/543/544/545/546/547/548/549/550/551/552/553/554/555/556/557/558/559/560/561/562/563/564/565/566/567/568/569/570/571/572/573/574/575/576/577/578/579/580/581/582/583/584/585/586/587/588/589/590/591/592/593/594/595/596/597/598/599/600/601/602/603/604/605/606/607/608/609/610/611/612/613/614/615/616/617/618/619/620/621/622/623/624/625/626/627/628/629/630/631/632/633/634/635/636/637/638/639/640/641/642/643/644/645/646/647/648/649/650/651/652/653/654/655/656/657/658/659/660/661/662/663/664/665/666/667/668/669/670/671/672/673/674/675/676/677/678/679/680/681/682/683/684/685/686/687/688/689/690/691/692/693/694/695/696/697/698/699/700/701/702/703/704/705/706/707/708/709/710/711/712/713/714/715/716/717/718/719/720/721/722/723/724/725/726/727/728/729/730/731/732/733/734/735/736/737/738/739/740/741/742/743/744/745/746/747/748/749/750/751/752/753/754/755/756/757/758/759/760/761/762/763/764/765/766/767/768/769/770/771/772/773/774/775/776/777/778/779/780/781/782/783/784/785/786/787/788/789/790/791/792/793/794/795/796/797/798/799/800/801/802/803/804/805/806/807/808/809/810/811/812/813/814/815/816/817/818/819/820/821/822/823/824/825/826/827/828/829/830/831/832/833/834/835/836/837/838/839/840/841/842/843/844/845/846/847/848/849/850/851/852/853/854/855/856/857/858/859/860/861/862/863/864/865/866/867/868/869/870/871/872/873/874/875/876/877/878/879/880/881/882/883/884/885/886/887/888/889/890/891/892/893/894/895/896/897/898/899/900/901/902/903/904/905/906/907/908/909/910/911/912/913/914/915/916/917/918/919/920/921/922/923/924/925/926/927/928/929/930/931/932/933/934/935/936/937/938/939/940/941/942/943/944/945/946/947/948/949/950/951/952/953/954/955/956/957/958/959/960/961/962/963/964/965/966/967/968/969/970/971/972/973/974/975/976/977/978/979/980/981/982/983/984/985/986/987/988/989/990/991/992/993/994/995/996/997/998/999/1000



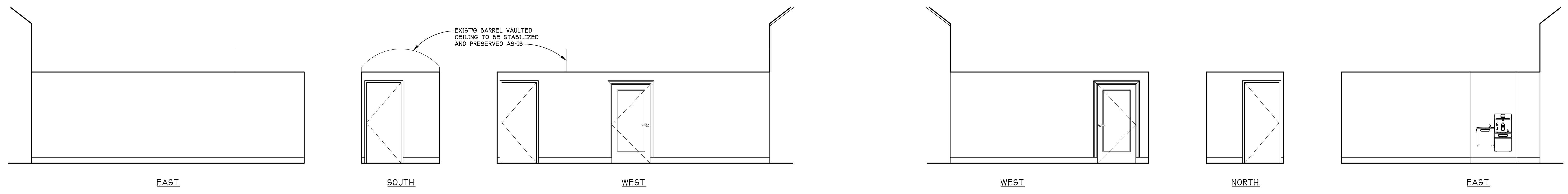
G7 THIRD TO EIGHTEENTH FLOOR ELEVATOR LOBBY ELEVATIONS
 SCALE - 1/4" = 1'-0"
 A-402 A-400
 TYP



J5 TOILET ROOM (201) ELEVATIONS
 SCALE - 1/4" = 1'-0"
 A-402 A-400
 TYP

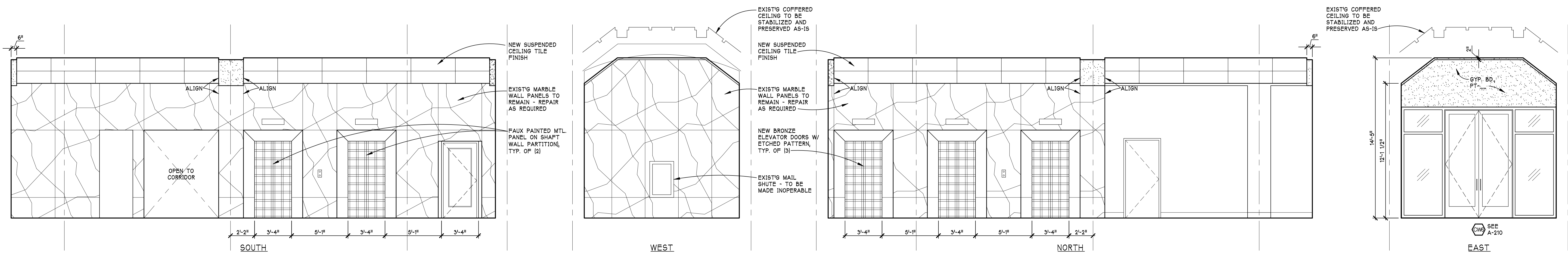


F5 SECOND FLOOR ELEVATOR (200) LOBBY ELEVATIONS
 SCALE - 1/4" = 1'-0"
 A-402 A-400
 TYP

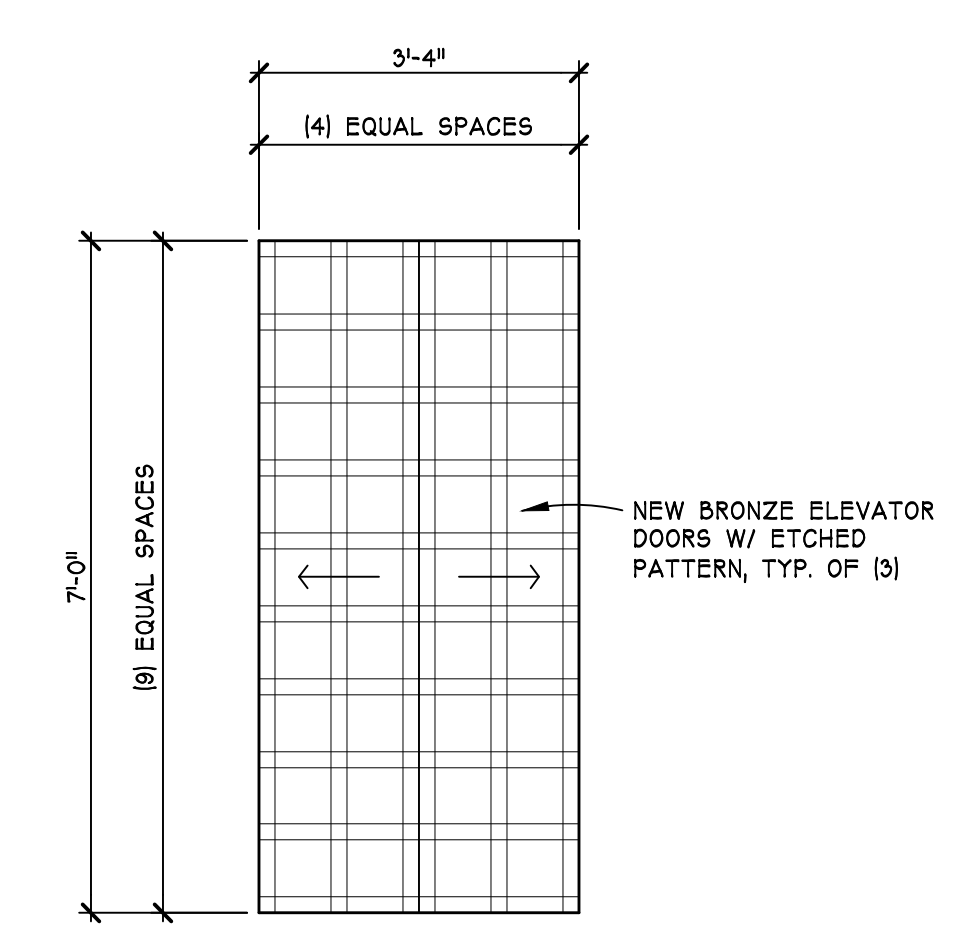


J4 FIRST FLOOR ELEVATOR LOBBY SOUTH CORRIDOR ELEVATIONS
 SCALE - 1/4" = 1'-0"
 A-402 A-400
 TYP

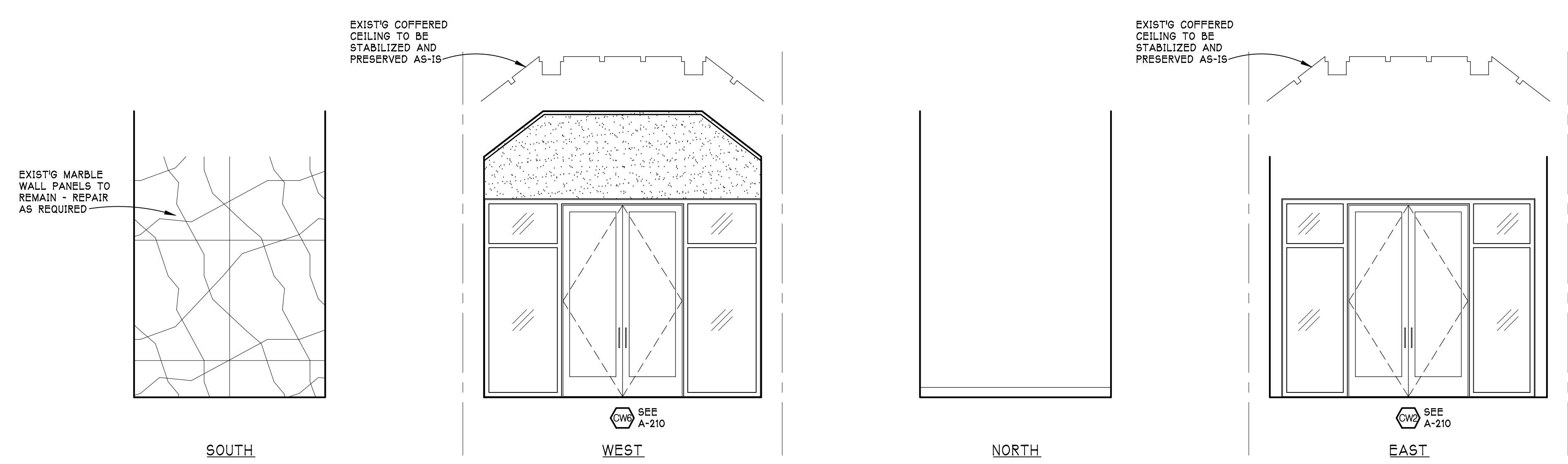
D4 FIRST FLOOR ELEVATOR LOBBY NORTH CORRIDOR ELEVATIONS
 SCALE - 1/4" = 1'-0"
 A-402 A-400
 TYP



J2 FIRST FLOOR ELEVATOR LOBBY (100) ELEVATIONS
 SCALE - 1/4" = 1'-0"
 A-402 A-400
 TYP



J1 ELEVATOR DOORS ENLARGED ELEVATION
 SCALE - 1/2" = 1'-0"
 A-402 A-400
 TYP



E1 ENTRY VESTIBULE (101) ELEVATIONS
 SCALE - 1/4" = 1'-0"
 A-402 A-400
 TYP

FDD REVIEW	10/16/2018
90X CD	04/24/2018
PROGRESS PRINTING	11/13/2018
PROGRESS SET	10/24/2018
NPS PACKAGE	01/03/2018
DATE ISSUED	
DRAWN BY	
CHECKED BY	

HOBBS + BLACK ARCHITECTS
 100 N. State St.
 Ann Arbor, MI 48104
 P. 734.663.4189
 www.hobbs-black.com

150 BAGLEY AVENUE
 DETROIT, MICHIGAN
 RENOVATION / RESTORATION

PROJECT

CONSULTANT

ELEVATOR LOBBIES INTERIOR ELEVATIONS
 SHEET TITLE

15-802
 PROJECT NUMBER

A-402
 SHEET NUMBER

Drawing: P:\2015\15-802\Drawings\A-402\15-802.dwg
 Date: Oct 15, 2015, 12:31 pm
 Layout: A-402
 Plotted by: smcgowan

PROGRESS PRINT - NOT FOR CONSTRUCTION

TRANSMITTAL

SENT VIA: Fed Ex

DATE: August 21, 2017

COMPANY: State Historic Preservation Office
Michigan State Housing Development Authority
735 E. Michigan Ave, PO Box 30044
Lansing, MI 48909

ATTENTION: Robbert McKay, Historical Architect

FROM: Brian Bagnick

RE: Part 1 Submittal

PROJECT: 150 Bagley Street, Detroit, MI

COPIES	DATE	DESCRIPTION
2	08/21/2017	Hard Copies of Part 1 Submission for 150 Bagley Street, Detroit, MI
1		CD copy of Part 1 Submission for 150 Bagley Street, Detroit, MI

Remarks:

Please let us know if you need any more information.

Signature: 

Name: Brian Bagnick

Cc: Emmett Moten, BDG, Transmittal Only

Document1



UNITED STATES DEPARTMENT OF THE INTERIOR
NATIONAL PARK SERVICE

OMB Approved
No. 1024-0009
Form 10-168
Rev. 2014

HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 1 - EVALUATION OF SIGNIFICANCE

NPS Project Number

Instructions: This page must bear the applicant's original signature and must be dated. The National Park Service certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes precedence. A copy of this form will be provided to the Internal Revenue Service.

1. Property Name United Artists Building

Street 150 Bagley

City Detroit

County Wayne

State MI

Zip 48226

Name of Historic District Grand Circus Park Historic District

National Register district certified state or local district potential district

2. Nature of request (check only one box)

- certification that the building contributes to the significance of the above-named historic district or National Register property for rehabilitation purposes.
- certification that the building contributes to the significance of the above-named historic district for a charitable contribution for conservation purposes.
- certification that the building does not contribute to the significance of the above-named district.
- preliminary determination for individual listing in the National Register.
- preliminary determination that a building located within a potential historic district contributes to the significance of the district.
- preliminary determination that a building outside the period or area of significance contributes to the significance of the district.

3. Project Contact (if different from applicant)

Name Brian Bagnick

Company Hobbs+Black Associates Inc.

Street 100 North State Street

City Ann Arbor

State MI

Zip 48104

Telephone (734) 663-4189

Email Address bbagnick@hobbs-black.com

4. Applicant

I hereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that (check one or both boxes, as applicable) (1) I am the owner of the above-described property within the meaning of "owner" set forth in 36 CFR § 67.2 (2011); and/or (2) if I am not the fee simple owner of the above-described property, the fee simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which (i) either is attached to this application form and incorporated herein, or has been previously submitted, and (ii) meets the requirements of 36 CFR § 67.3(n)(1) (2011). For purposes of this attestation, the singular shall include the plural wherever appropriate. I understand that knowing and willful falsification of factual representations in this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumstances, provides for imprisonment of up to 5 years.

Name Ernest L. Moten

Signature

Date 8/18/2017

Applicant Entity Bagley Development Group, LLC

SSN

or TIN 821489514

Street 525 W. Lafayette Blvd. #629

City Detroit

State MI

Zip 48226

Telephone (313) 610-7038

Email Address esmoten@sbglobal.net

NPS Official Use Only

The National Park Service has reviewed the Historic Preservation Certification Application - Part 1 for the above-named property and has determined that the property

- contributes to the significance of the above-named district or National Register property and is a "certified historic structure" for rehabilitation purposes.
- contributes to the significance of the above-named district and is a "certified historic structure" for a charitable contribution for conservation purposes
- does not contribute to the significance of the above-named district.

Preliminary Determinations:

- appears to meet the National Register Criteria for Evaluation and will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer according to the procedures set forth in 36 CFR Part 60.
- does not appear to meet the National Register Criteria for Evaluation and will likely not be listed in the National Register.
- appears to contribute to the significance of a potential historic district, which will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer.
- appears to contribute to the significance of a registered historic district if the period or area of significance as documented in the National Register nomination or district documentation on file with the NPS is expanded by the State Historic Preservation Officer.
- does not appear to qualify as a certified historic structure.

Date

National Park Service Authorized Signature

NPS comments attached

HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 1 – EVALUATION OF SIGNIFICANCE

Property name United Artists Building NPS Project Number _____
Property address 150 Bagley Detroit Wayne MI 48226

5. Description of physical appearance

Facing southeast on Bagley, the eighteen story tall United Artists Building is clad in red orange brick with terra cotta decoration and trim. It has a tripartite design executed in the Renaissance Revival style. The building has an L-shaped footprint with the theater building tucked into the west side or rear of the building. The front facade of the office building is ten bays wide and has a two story tall commercial base. The northernmost bay contains the theater entrance and is clad in terra cotta with Renaissance Revival details that is in poor condition. Many of the details are missing but there are two decorative carved panels and the remains of a blind balustrade running across the top. The storefront below the cladding has been boarded closed. The south nine bays were re-done in the 1960s in the International Style. The bays are separated by aluminum clad piers. The first floor storefronts are recessed and capped by shallow arches. The building entrance is located in the center of the building. A separate commercial space entrance is located toward the south end of the elevation and has a projecting flat metal canopy. Above the storefronts the wall is clad in green granite or marble. There is a row of fixed windows with aluminum frames across the second floor. The shaft of the building, floors three through fifteen, has two one-over-one double hung windows in each bay at every floor. The bays are separated by brick clad piers. The spandrel panels between the third, fourth, and fifth floor windows are green granite to match the storefront. The remainder of the spandrel panels on the building are terra cotta and alternate between the floors with a round medallion or diamond pattern in the center. The fifteenth floor windows have arched tops, the wall is clad in terra cotta around them. There is a terra cotta band giving the appearance of dentils at the sill line of the sixteenth floor windows marking the top of the building. The sixteenth through eighteenth floor windows are one-over-one windows with metal spandrel panels between floors. The eighteenth floor windows have arched tops and terra cotta surrounds. A blind arcade executed in terra cotta caps the building.

The south elevation is five bays wide and duplicates the detailing of the facade. The two story base has aluminum clad piers and the bays are infilled with fixed aluminum frame windows. The upper stories match the facade, there are green granite spandrel panels between the third, fourth and fifth floor windows with terra cotta spandrel panels above. The brick cladding has been stripped on the piers between bays beginning at the fifth floor.

The southern three bays of the west elevation project forward of the remainder of the building and duplicate the detailing and decoration of the front and south facades. The remainder of the elevation is clad in matching brick and has pairs of one-over-one windows at every floor in almost every bay. One bay has a single small one-over-one window at every floor and one bay is void of openings. A two to three story brick clad penthouse projects above the roof. The shorter west wall of the theater has boarded doors at the ground level and a metal fire escape.

The north elevation of the office building is three bays wide, the four-story tall theater building extends to the west. The theater portion of the elevation has no openings and has a limestone coping at the top of the wall. The office building is a solid brick wall for the first three stories. Beginning at the fourth floor there are two three-over-three windows in each bay at every floor, except for at the tenth and eighteenth floors. A solid terra cotta band runs across the elevation at the sixteenth floor window sills.

The theater vestibule and lobby are rectangular in plan and lead to a rotunda shaped foyer. The 2 story ceiling consists of vaulted plaster. The walls are lined with laced plaster details, sculptured Indian maidens, mirrors, ornamental metal wainscoting and a granite base. The flooring consists of marble in the lobby and mosaic tile in the vestibule. The floor slopes up from the exterior doors along Bagley Street to the theater level.

The Theater itself was the smallest of the Detroit movie palaces, seating approximately 2,000 people. Although built primarily for films, the theater had an orchestra pit that provided sound for silent films, and a stage for live performances. It was decorated throughout with Gothic plaster. The walls were adorned with lacy plaster and the ceiling a plaster dome. The stage was flanked with projecting canopies over the proscenium and organ grilles.

The retail spaces were located on the first floor, and were designed to house small shops. The walls and ceilings of these tenant spaces have a smooth plaster finish. Mechanical ductwork is left exposed. And, mezzanines are located toward the rear of the spaces.

**HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 1 – EVALUATION OF SIGNIFICANCE**

Property name United Artists Building NPS Project Number _____
Property address 150 Bagley Detroit Wayne MI 48226

The southeast corner of Clifford and Bagley was occupied by the Peoples' State Bank. The Bank interior consists of marble flooring in the public area, a decorative plaster arch on the west wall and a 2 story coffered, painted ceiling. The public stair to the lower level is clad in granite.

The office building lobby has a marble floor and marble clad walls. The vaulted ceiling has a coffered design. The upper floors of the office building are similar. A double bank of elevators with stairs on the backside is located in the center of the building along the west wall. The elevator lobbies at each floor typically have marble floors and marble wainscoting with plaster walls above and a plaster ceiling. A double-loaded corridor with marble floors and wainscoting originally followed the L-shaped footprint of the building. However, this corridor only remains at 2 of the 18 floors. The remaining corridor doors are wood with wood trim. The office areas are open and have a variety of finishes and alterations.

Date(s) of building(s) 1928 Date(s) of alteration(s) c. 1960

Has building been moved? no yes, specify date _____

6. Statement of significance

The United Artists Building contributes to the Grand Circus Park Historic District. The district is significant for its collection of early 20th century buildings designed by notable Detroit architects such as Albert Kahn, C. Howard Crane and Louis Kamper in architectural styles popular at the time surrounding Grand Circus Park which is significant for its association with civic events and landscape design, including notable monuments. In the 1920s the district became a popular entertainment district due to the large number of theaters constructed in the area. The United Artists Building was constructed within the district's period of significance which is c. 1860 through 1950.

The United Artists Building and movie theater opened in 1928, the theater was designed in the Spanish Gothic style. Designed by noted Detroit theater architect C. Howard Crane. The building was one of many constructed across the United States by the United Artists Movie Studio. The studio was founded in 1919 by movie stars including Charlie Chaplin, Mary Pickford, and Douglas Fairbanks.

In 1957 the building was sold to the Detroit Automobile Inter-Insurance Exchange of the Automobile Association of Michigan. In the early 1960s the new owner remodeled the building and added the International style detailing of the first two floors and a new bank lobby. The building has been vacant since 1974 when the Automobile Association moved out of the building.

7. Photographs and maps. Send photographs and map with application.

**UNITED ARTISTS BUILDING
150 Bagley, Detroit MI 48226**

**Part 1 Submission
for Historic Preservation
Certification Application**

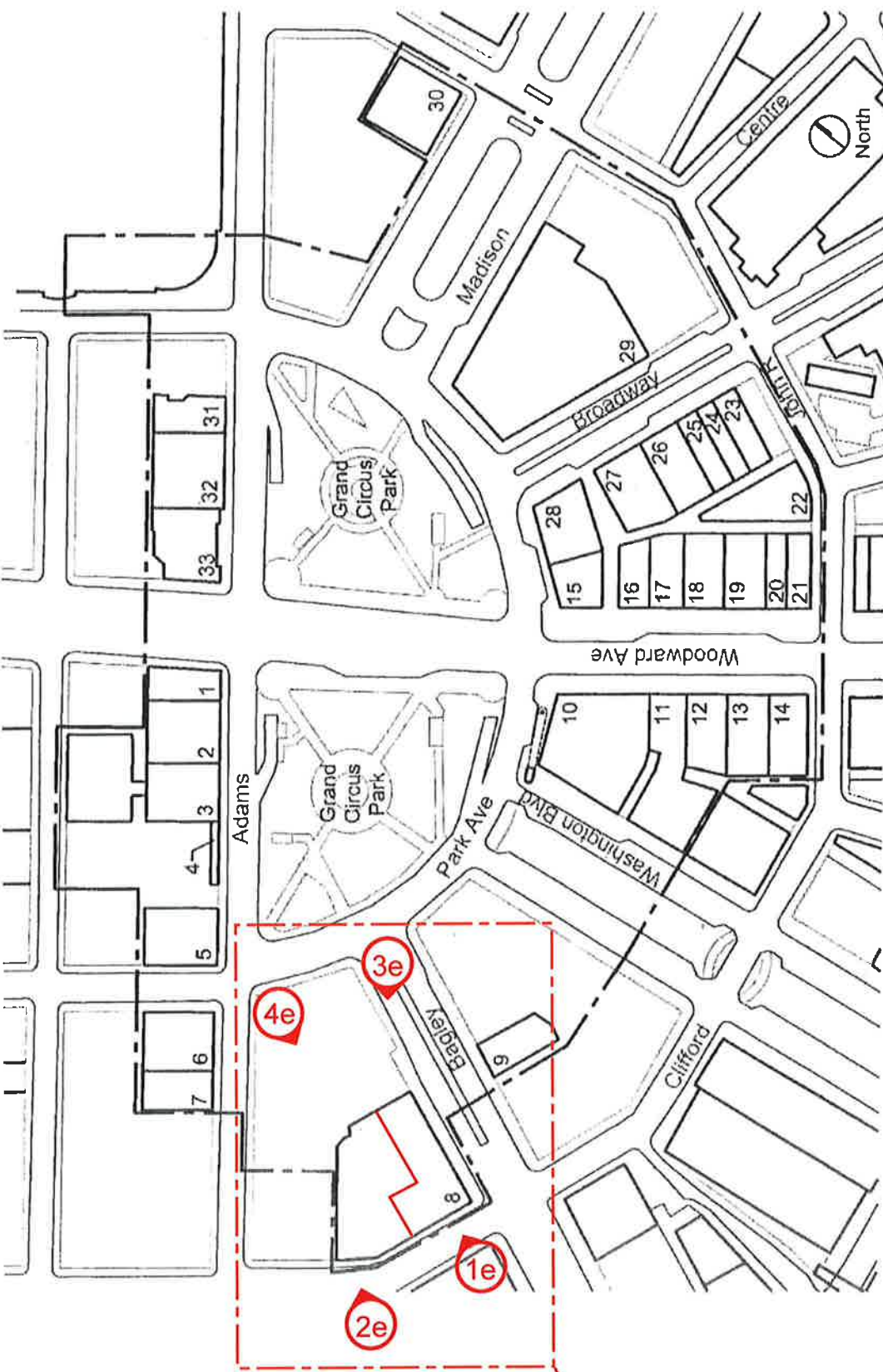
By:

Hobbs + Black Associates, Inc.
100 North State Street
Ann Arbor, MI 48104
734-663-4189

August 18, 2017

H+B Project No. 15-802





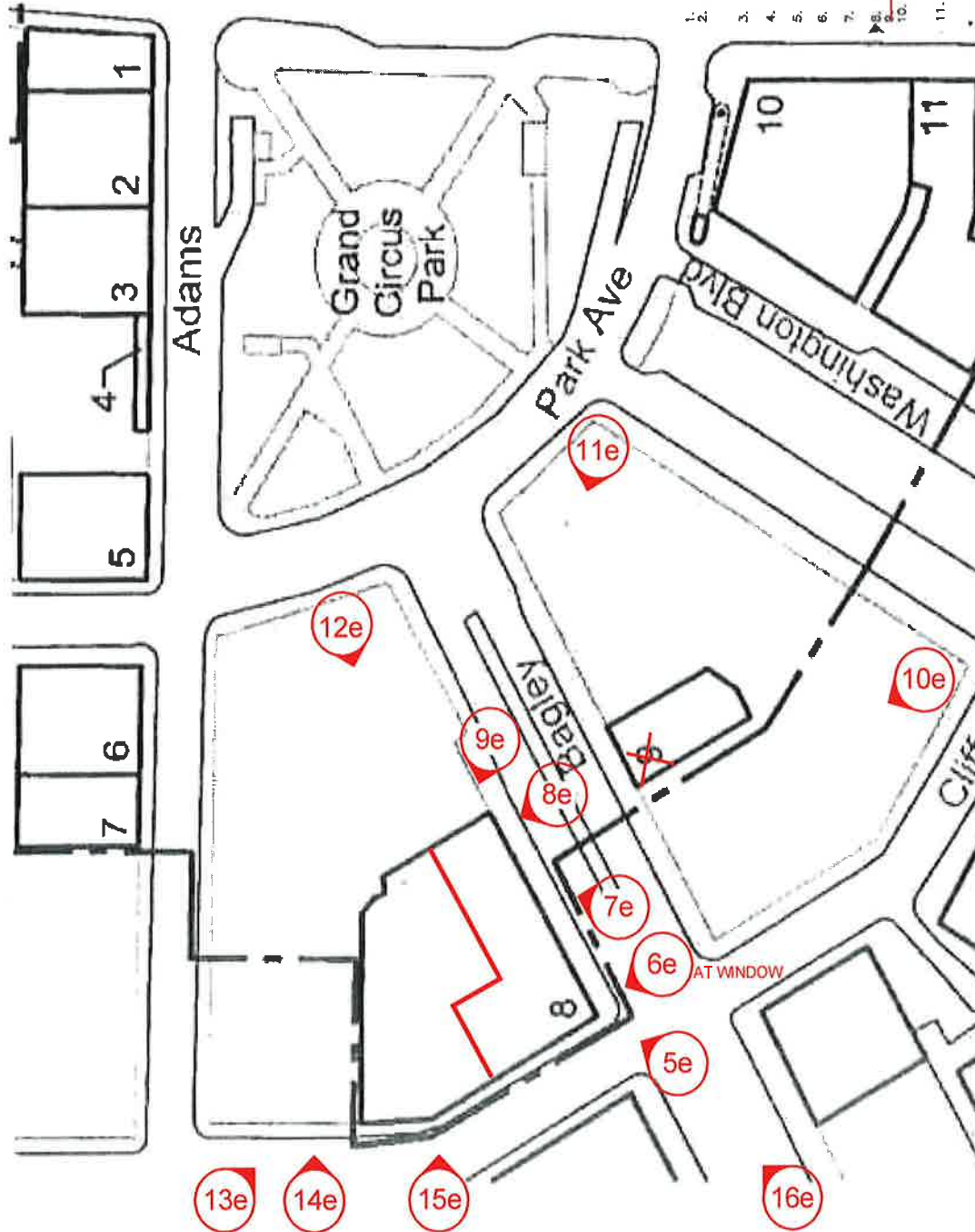
SEE ENLARGED PLAN A

- | | | |
|---|--|---|
| 1. 10 West Adams - Fyfe Building | 11. 1545 Woodward - Himelthoch's Building | 22. 33 John R. - Metropolitan Building |
| 2. 18 West Adams - First National and Central Savings Bank (Rub BBO Restaurant) | 12. 1525 Woodward - Fisher Arcade | 23. 1509 Broadway - Wurflitzer Building |
| 3. 28 West Adams - Stroh Tower (Grand Park Centre Building) | 13. 1515 Woodward - Grinnell Brothers' Store | 24. 1515 Broadway - Eureka Building |
| 4. 44 West Adams - Façade of the Fine Arts Building | 14. 1505 Woodward - Richman Brother's Store | 25. 1521 Broadway - Hartz Building |
| 5. 76 West Adams - Kresge (Kales) Building | 15. 10 Withereil - David Broderick Tower | 26. 1529 Broadway - Simmons & Clark |
| 6. 96 West Adams - Park Avenue Building (2001 Park Ave.) | 16. 1550 Woodward - Kay Baum Store | 27. 1535 Broadway - Madison Building |
| 7. 114 West Adams - Briggs Hotel (Milner Park Apartments) | 17. 1540 Woodward - Telenswa Theater | 28. 22 Withereil - Capitol Theater (Detroit Opera House) |
| 8. 150 Bagley - United Artists Building | 18. 1528 Woodward - United Foundation Building | 29. 1526 Broadway - Detroit Telephone Company Building (Borden Companies) |
| 9. 139 Bagley - abandoned building (Demolished) | 19. 1520 Woodward - Lane Bryant Island | 30. 163 Madison - Detroit Telephone Company Building (Borden Companies) |
| 10. 1553 Woodward - David Whitney Building | 20. 1508 Woodward - A&M Coney | 31. 47 East Adams - Women's Exchange Building (Cheli's Chill Bar) |
| | 21. 1500 Woodward - Schwankovsky's Temple of Music | 32. 27 East Adams - Parish House and Annex of Central United Methodist Church |
| | | 33. 25 East Adams - Central United Methodist Church |

150 BAGLEY ST.
 UNITED ARTIST BUILDING DETROIT, MICHIGAN 15-802

PHOTO KEY PLAN
 SITE PLAN
 NO SCALE

MAP OF GRAND CIRCUS PARK HISTORIC DISTRICT



1. 10 West Adams - Fyre Building
2. 18 West Adams - First National and Central Savings Bank (Rub B80)
3. 20 West Adams - Stroh Tower
4. 44 West Adams - Centre Building (Grand Park Centre Building)
5. Fine Arts Building - Foye of the Fine Arts Building
6. 78 West Adams - Kresge (Kales) Building
7. 96 West Adams - Park Avenue Building (2001 Park Ave.)
8. 114 West Adams - Briggs Hotel
9. 130 Bagley - United Artists Building (Miller Park Apartments)
10. 1545 Woodward - David Whitney Building (Demolished)
11. 1545 Woodward - Hirnelhood's Building

150 BAGLEY ST.

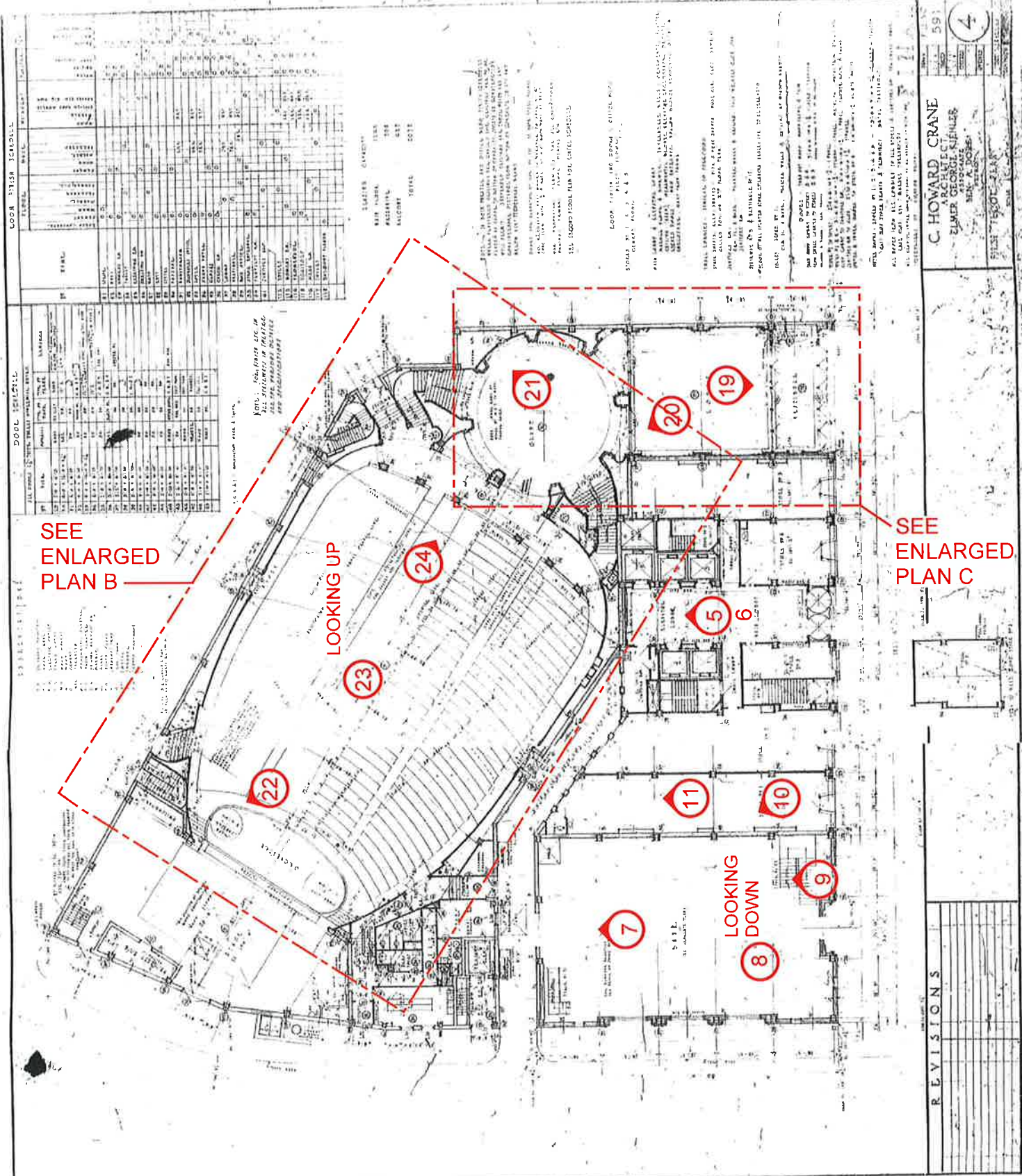
UNITED ARTIST BUILDING

DETROIT, MICHIGAN

15-802

PHOTO KEY PLAN
ENLARGED SITE PLAN A
NO SCALE

HOBBS + BLACK ARCHITECTS



SEE ENLARGED PLAN B

LOOKING UP

LOOKING DOWN

SEE ENLARGED PLAN C

REVISIONS

C. HOWARD CRANE
 ARCHITECT
 ELMER GEORGE RYAN
 ASSOCIATES
 150 BAGLEY ST.
 DETROIT, MI 48201
 591
 4

150 BAGLEY ST.
 UNITED ARTIST BUILDING DETROIT, MICHIGAN 15-802

PHOTO KEY PLAN
 @ MAIN LEVEL
 NO SCALE

HOBBS + BLACK ARCHITECTS

© 2017 Hobbs + Black Associates, Inc. DATE PRINTED: 08/16/17
 FILE NAME: P:\2015\15802\DOCS\Historic Preservation Certification Application\20170816.indd

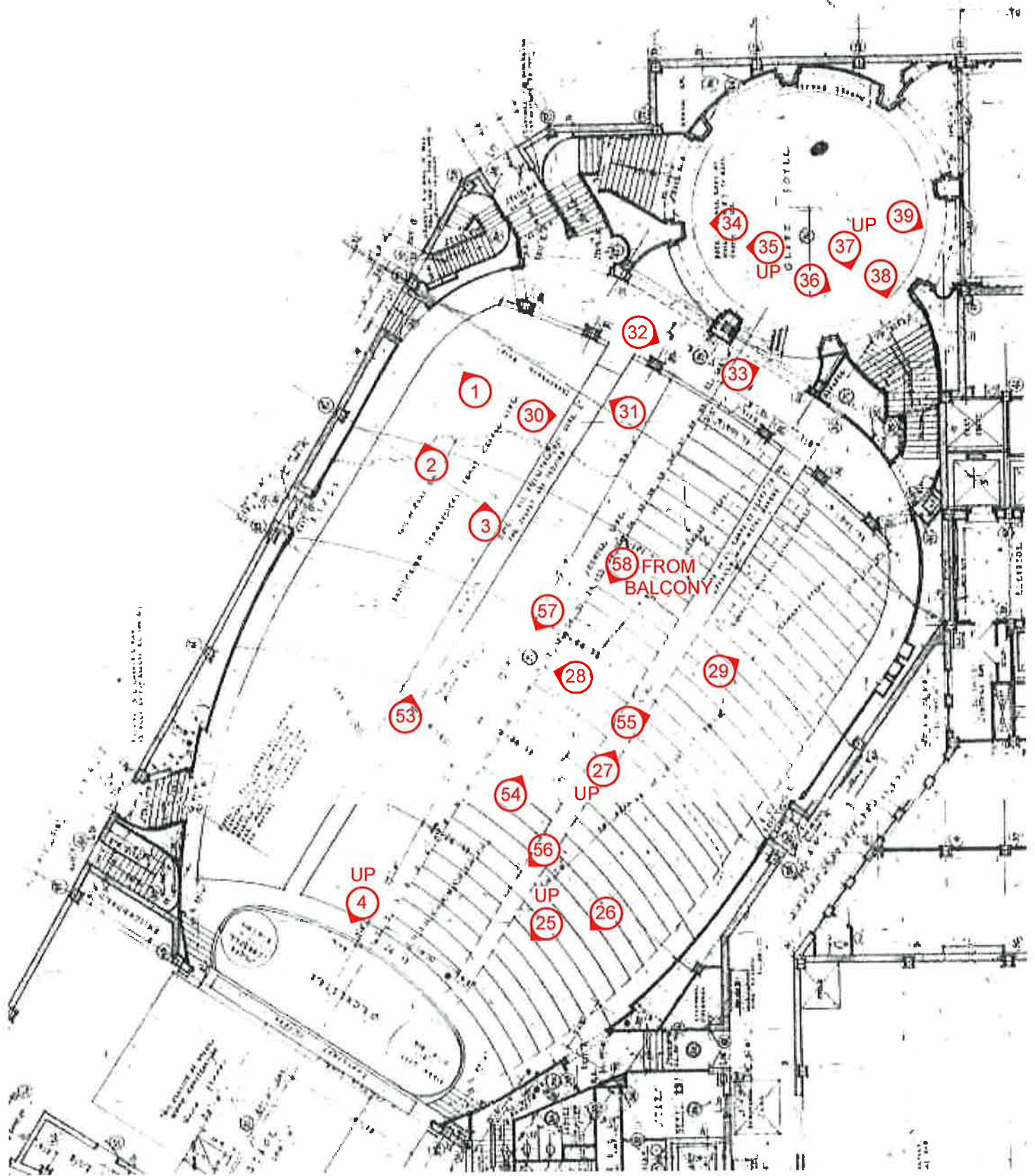


PHOTO KEY PLAN
 ENLARGED PLAN B @ MAIN LEVEL
 NO SCALE

150 BAGLEY ST.
 UNITED ARTIST BUILDING DETROIT, MICHIGAN 15-802

HOBBS + BLACK ARCHITECTS

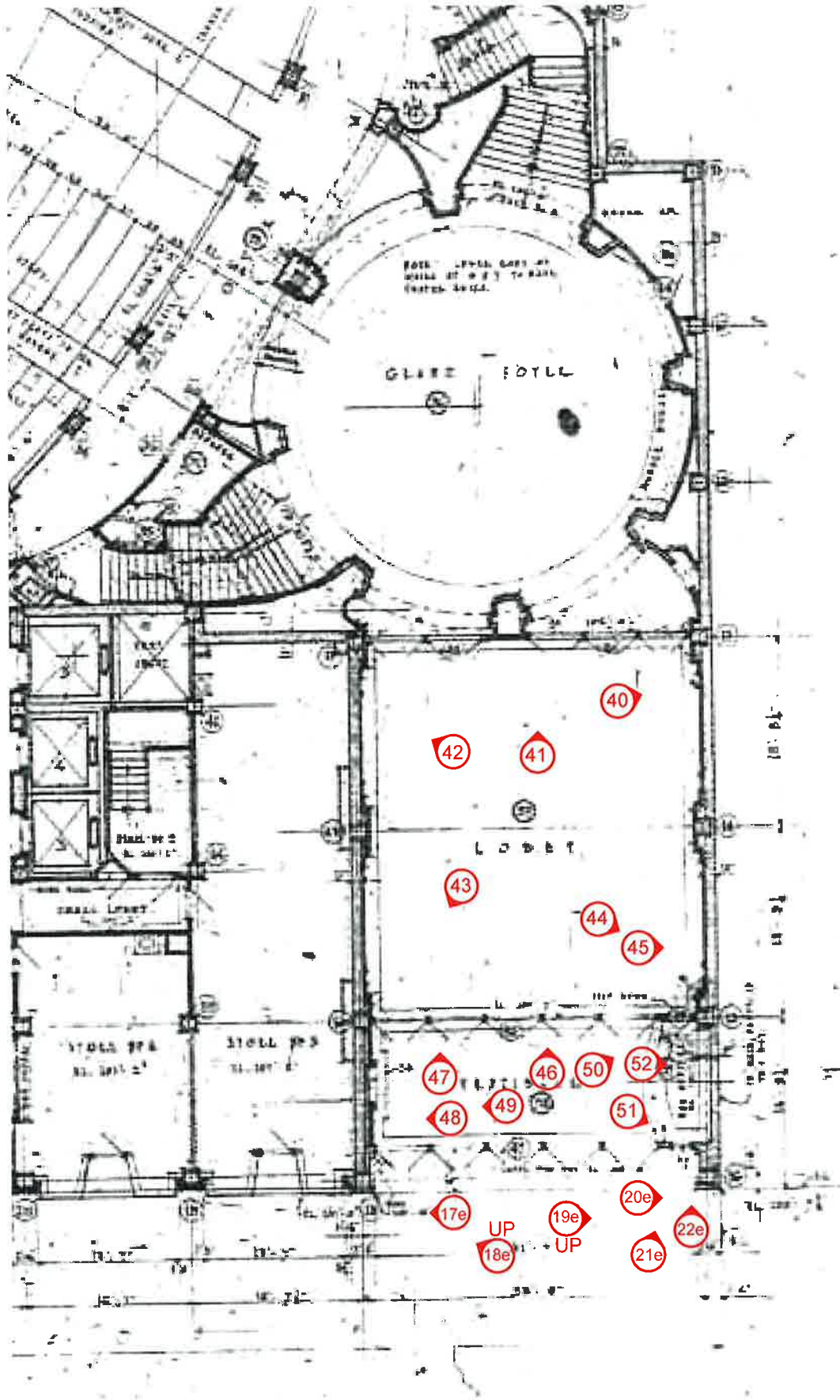


PHOTO KEY PLAN
 ENLARGED FLOOR PLAN C @ MAIN LEVEL
 NO SCALE

150 BAGLEY ST.
 UNITED ARTIST BUILDING DETROIT, MICHIGAN 15-802

HOBBS + BLACK ARCHITECTS



150 BAGLEY ST.

UNITED ARTIST BUILDING

DETROIT, MICHIGAN

15-802

1E OF 80

SOUTH FACADE

VIEWED FROM CLIFFORD STREET



HOBBS + BLACK ARCHITECTS

© 2017 HOBBS + BLACK ASSOCIATES, INC. DATE PRINTED: 08/16/17
FILE NAME: P:\2015\15802\DOCS\HISTORIC PRESERVATION CERTIFICATION APPLICATION\20170816.INDO



2E OF 80

PARTIAL WEST AND SOUTH FACADES
VIEWED FROM CLIFFORD STREET

150 BAGLEY ST.

UNITED ARTIST BUILDING

DETROIT, MICHIGAN

15-802



HOBBS + BLACK ARCHITECTS

© 2017 HOBBS + BLACK ASSOCIATES, INC. DATE PRINTED: 08/16/17
FILE NAME: P:\2015\15802\DOCS\HISTORIC PRESERVATION CERTIFICATION APPLICATION\20170816.INDD



3E OF 80

PARTIAL EAST AND NORTH FACADES
VIEWED FROM BAGLEY AVENUE

150 BAGLEY ST.

UNITED ARTIST BUILDING

DETROIT, MICHIGAN

15-802



HOBBS + BLACK ARCHITECTS

© 2017 HOBBS + BLACK ASSOCIATES, INC. DATE PRINTED: 08/16/17
FILE NAME: P:\2015\15802\DOCS\HISTORIC PRESERVATION CERTIFICATION APPLICATION\20170816.INDD



4E OF 80

150 BAGLEY ST.

UNITED ARTIST BUILDING

DETROIT, MICHIGAN

15-802

PARTIAL NORTH AND WEST FACADES
VIEWED FROM CORNER OF ADAMS AND PARK AVE



HOBBS + BLACK ARCHITECTS

© 2017 HOBBS + BLACK ASSOCIATES, INC. DATE PRINTED: 08/16/17
FILE NAME: P:\2015\15802\DOCS\HISTORIC PRESERVATION CERTIFICATION APPLICATION\20170816.INDD



5E OF 80

150 BAGLEY ST.

UNITED ARTIST BUILDING

DETROIT, MICHIGAN

15-802

PARTIAL SOUTH AND EAST FACADES
VIEWED FROM CORNER OF BAGLEY AND CLIFFORD

HOBBS + BLACK ARCHITECTS

© 2017 Hobbs + Black Associates, Inc. DATE PRINTED: 08/16/17
FILE NAME: P:\2015\15802\DOCS\HISTORIC PRESERVATION CERTIFICATION APPLICATION\20170816.rwd



150 BAGLEY ST.

UNITED ARTIST BUILDING

DETROIT, MICHIGAN

15-802

6E OF 80
PARTIAL EAST FACADE @ WINDOW
VIEWED FROM BAGLEY



HOBBS + BLACK ARCHITECTS

© 2017 HOBBS + BLACK ASSOCIATES, INC. DATE PRINTED: 08/16/17
FILE NAME: P:\2015\15802\DOCS\HISTORIC PRESERVATION CERTIFICATION APPLICATION\20170816.INDD



7E OF 80

PARTIAL EAST FACADE @ ARCHES
VIEWED FROM BAGLEY

150 BAGLEY ST.

UNITED ARTIST BUILDING

DETROIT, MICHIGAN

15-802

HOBBS + BLACK ARCHITECTS

© 2017 HOBBS + BLACK ASSOCIATES, INC. DATE PRINTED: 08/16/17
FILE NAME: P:\2015\15802\DOCS\HISTORIC PRESERVATION CERTIFICATION APPLICATION\20170816.rxd



150 BAGLEY ST.

UNITED ARTIST BUILDING

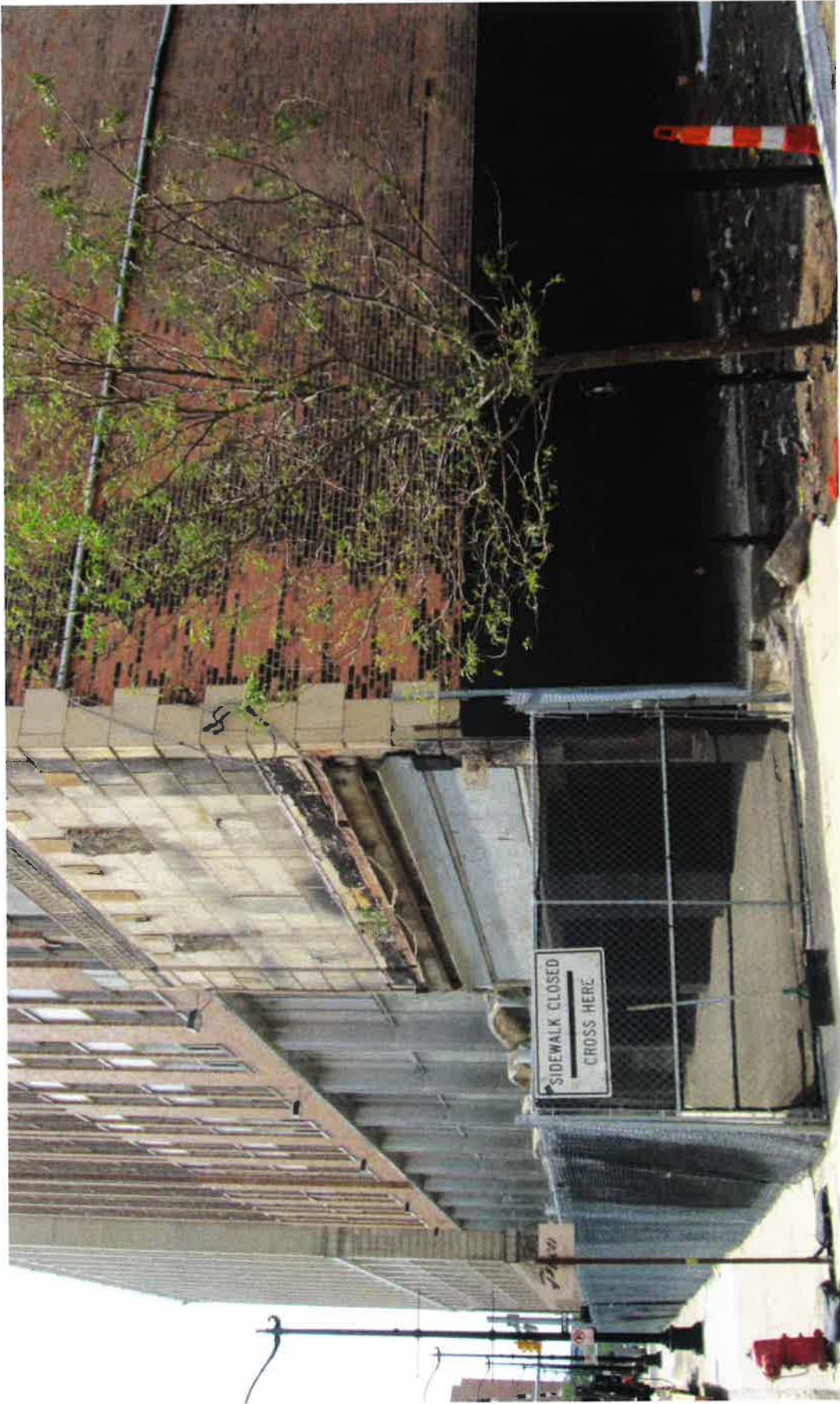
DETROIT, MICHIGAN

15-802

8E OF 80
PARTIAL EAST FACADE
VIEWED FROM BAGLEY

HOBBS + BLACK ARCHITECTS

© 2017 HOBBS + BLACK ASSOCIATES, INC. DATE PRINTED: 08/16/17
FILE NAME: P:\2015\15802\DOCS\HISTORIC PRESERVATION CERTIFICATION APPLICATION\20170816.INDD



9E OF 80

PARTIAL FACADE @ NORTH EAST CORNER
VIEWED FROM BAGLEY

150 BAGLEY ST.

UNITED ARTIST BUILDING

DETROIT, MICHIGAN

15-802

HOBBS + BLACK ARCHITECTS

© 2017 HOBBS + BLACK ASSOCIATES, INC. DATE PRINTED: 08/16/17
FILE NAME: P:\2015\15802\DOCS\HISTORIC PRESERVATION CERTIFICATION APPLICATION\20170816.JPG



150 BAGLEY ST.
UNITED ARTIST BUILDING

DETROIT, MICHIGAN

15-802

10E OF 80
EAST FACADE
VIEWED FROM WASHINGTON BLVD

HOBBS + BLACK ARCHITECTS

© 2017 Hobbs + Black Associates, Inc. DATE PRINTED: 08/16/17
FILE NAME: P:\2015\15802\DOCS\HISTORIC PRESERVATION CERTIFICATION APPLICATION\20170816.INDD



150 BAGLEY ST.

UNITED ARTIST BUILDING

DETROIT, MICHIGAN

15-802

VIEWED FROM CORNER OF WASHINGTON & PARK

11E OF 80

EAST AND SOUTH FACADES

HOBBS + BLACK ARCHITECTS

© 2017 HOBBS + BLACK ASSOCIATES, INC. DATE PRINTED: 08/16/17
FILE NAME: P:\2015\15802\DOCS\HISTORIC PRESERVATION CERTIFICATION APPLICATION\20170816.INDD



150 BAGLEY ST.

UNITED ARTIST BUILDING

DETROIT, MICHIGAN

15-802

12E OF 80
PARTIAL SOUTH FACADE
VIEWED FROM PARK AVE



HOBBS + BLACK ARCHITECTS

© 2017 HOBBS + BLACK ASSOCIATES, INC. DATE PRINTED: 08/16/17
FILE NAME: P:\2015\15802\DOCS\HISTORIC PRESERVATION CERTIFICATION APPLICATION\20170816.INDD



150 BAGLEY ST.

UNITED ARTIST BUILDING

DETROIT, MICHIGAN

15-802

13E OF 80

PARTIAL WEST & SOUTH FACADES
VIEWED FROM CLIFFORD



HOBBS + BLACK ARCHITECTS

© 2017 HOBBS + BLACK ASSOCIATES, INC. DATE PRINTED: 08/16/17
FILE NAME: P:\2015\15802\DOCS\HISTORIC PRESERVATION CERTIFICATION APPLICATION\20170816.INDD



14E OF 80

PARTIAL SOUTH FACADES & PARKING LOT
VIEWED FROM CLIFFORD

150 BAGLEY ST.

UNITED ARTIST BUILDING

DETROIT, MICHIGAN

15-802



HOBBS + BLACK ARCHITECTS

© 2017 HOBBS + BLACK ASSOCIATES, INC. DATE PRINTED: 08/16/17
FILE NAME: P:\2015\15802\DOCS\HISTORIC PRESERVATION CERTIFICATION APPLICATION\20170816.INDD



150 BAGLEY ST.

UNITED ARTIST BUILDING

DETROIT, MICHIGAN

15-802

15E OF 80
PARTIAL SOUTH FACADE
VIEWED FROM CLIFFORD

HOBBS + BLACK ARCHITECTS

© 2017 HOBBS + BLACK ASSOCIATES, INC. DATE PRINTED: 08/16/17
FILE NAME: P:\2015\15802\DOCS\HISTORIC PRESERVATION CERTIFICATION APPLICATION\20170816.rpd



150 BAGLEY ST.

UNITED ARTIST BUILDING

DETROIT, MICHIGAN

15-802

16E OF 80
EAST FACADE
VIEWED FROM CLIFFORD & WASHINGTON

HOBBS + BLACK ARCHITECTS

© 2017 HOBBS + BLACK ASSOCIATES, INC. DATE PRINTED: 08/16/17
FILE NAME: P:\2015\15802\DOCS\HISTORIC PRESERVATION CERTIFICATION APPLICATION\20170816.INDD



150 BAGLEY ST.

UNITED ARTIST BUILDING

DETROIT, MICHIGAN

15-802

HOBBS + BLACK ARCHITECTS

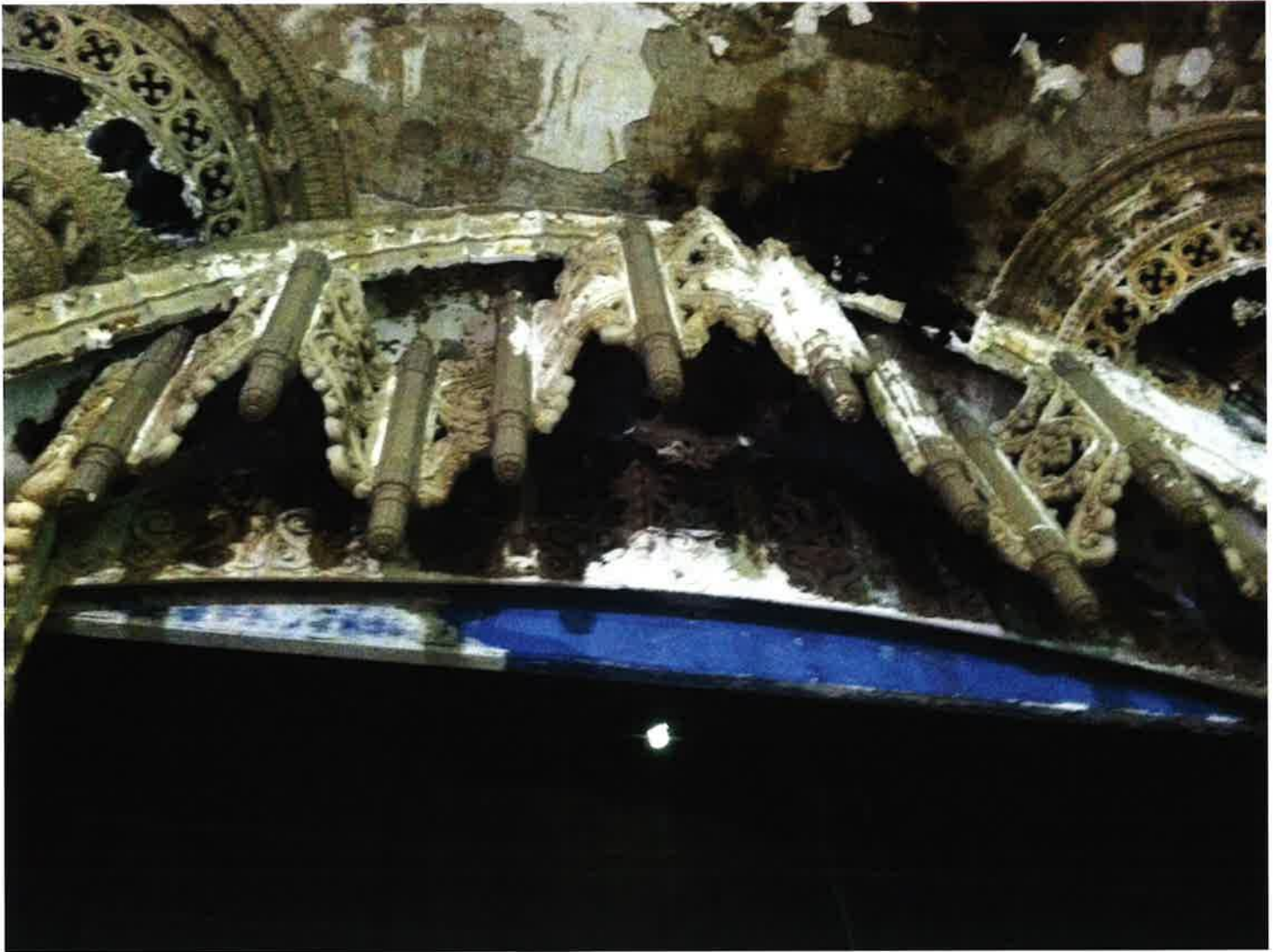


150 BAGLEY ST.
UNITED ARTIST BUILDING DETROIT, MICHIGAN 15-802



150 BAGLEY ST.
UNITED ARTIST BUILDING DETROIT, MICHIGAN 15-802

HOBBS + BLACK ARCHITECTS



150 BAGLEY ST.

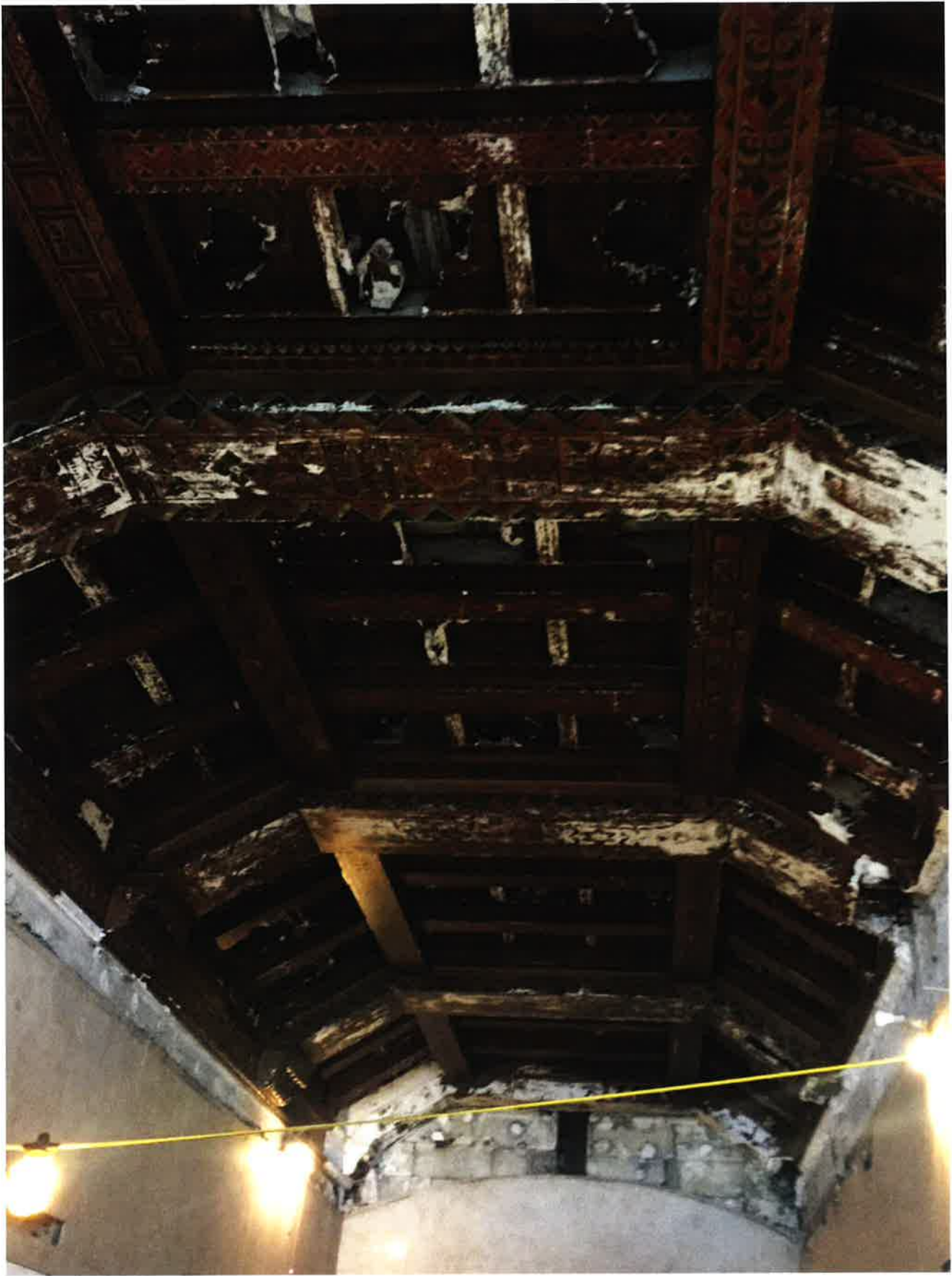
UNITED ARTIST BUILDING

DETROIT, MICHIGAN

15-802

HOBBS + BLACK ARCHITECTS

© 2017 HOBBS + BLACK ASSOCIATES, INC. DATE PRINTED: 08/16/17
FILE NAME: P:\2015\15802\DOCS\HISTORIC PRESERVATION CERTIFICATION APPLICATION\20170816.INDD



150 BAGLEY ST.

UNITED ARTIST BUILDING

DETROIT, MICHIGAN

15-802

HOBBS + BLACK ARCHITECTS



6 of 80

MAIN ENTRY LOBBY WALLS

VIEWED FROM ENTRY DOORS LOOKING WEST

150 BAGLEY ST.

UNITED ARTIST BUILDING

DETROIT, MICHIGAN

15-802

HOBBS + BLACK ARCHITECTS

© 2017 HOBBS + BLACK ASSOCIATES, INC. DATE PRINTED: 08/16/17
FILE NAME: P:\2015\15802\DOCS\HISTORIC PRESERVATION CERTIFICATION APPLICATION\20170816.JPG



150 BAGLEY ST.
UNITED ARTIST BUILDING

DETROIT, MICHIGAN

15-802

7 OF 80
BANK PLASTER ARCH
VIEWED FROM BANK LOOKING WEST

HOBBS + BLACK ARCHITECTS

© 2017 HOBBS + BLACK ASSOCIATES, INC. DATE PRINTED: 08/16/17
FILE NAME: P:\2015\15802\DOCS\HISTORIC PRESERVATION CERTIFICATION APPLICATION\20170816.INDD



150 BAGLEY ST.

UNITED ARTIST BUILDING

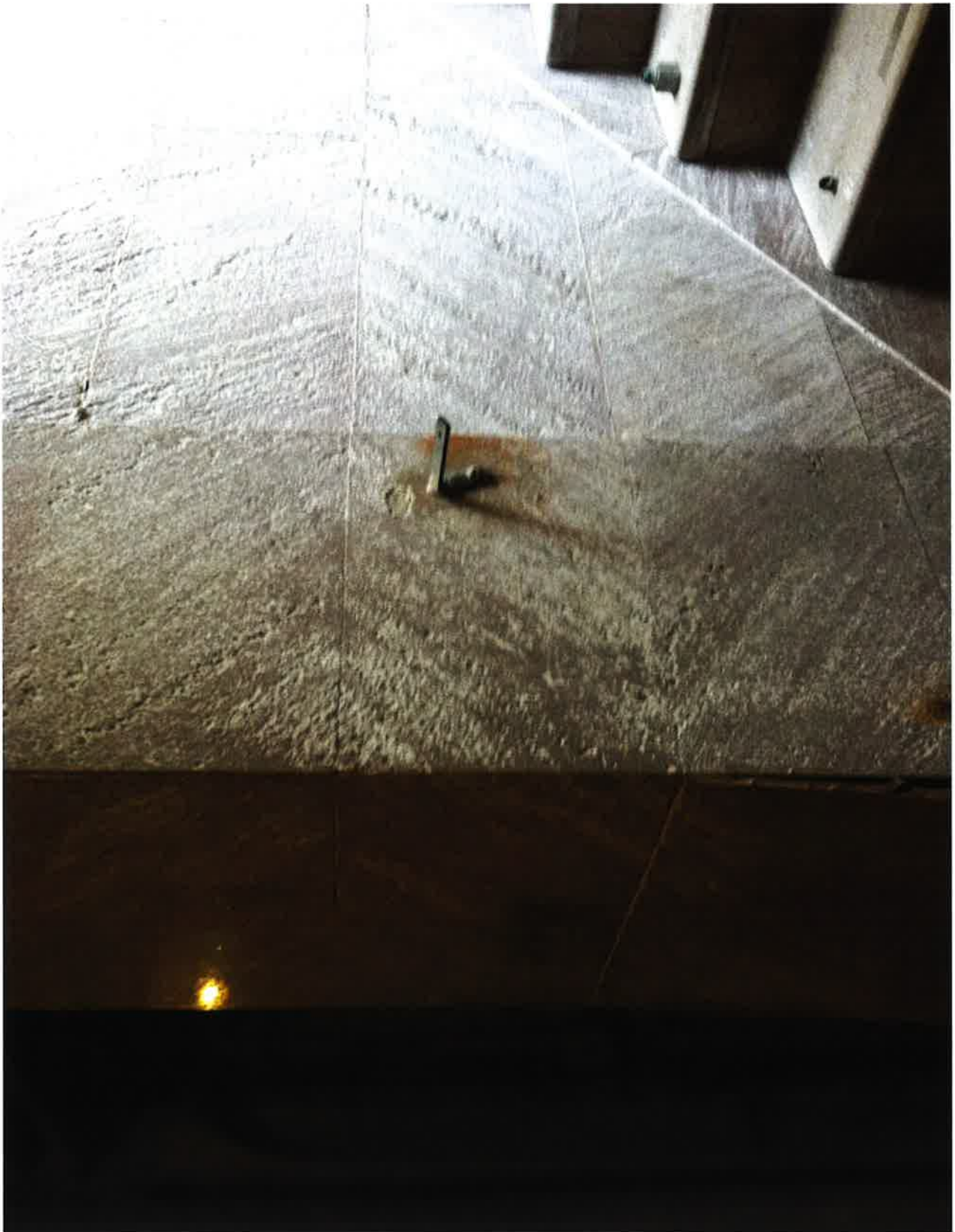
DETROIT, MICHIGAN

15-802

8 OF 80
BANK MARBLE
FLOOR DETAILING

HOBBS + BLACK ARCHITECTS

© 2017 HOBBS + BLACK ASSOCIATES, INC. DATE PRINTED: 08/16/17
FILE NAME: P:\2015\15802\DOCS\HISTORIC PRESERVATION CERTIFICATION APPLICATION\20170816.INDD



150 BAGLEY ST.

UNITED ARTIST BUILDING

DETROIT, MICHIGAN

15-802

9 OF 80

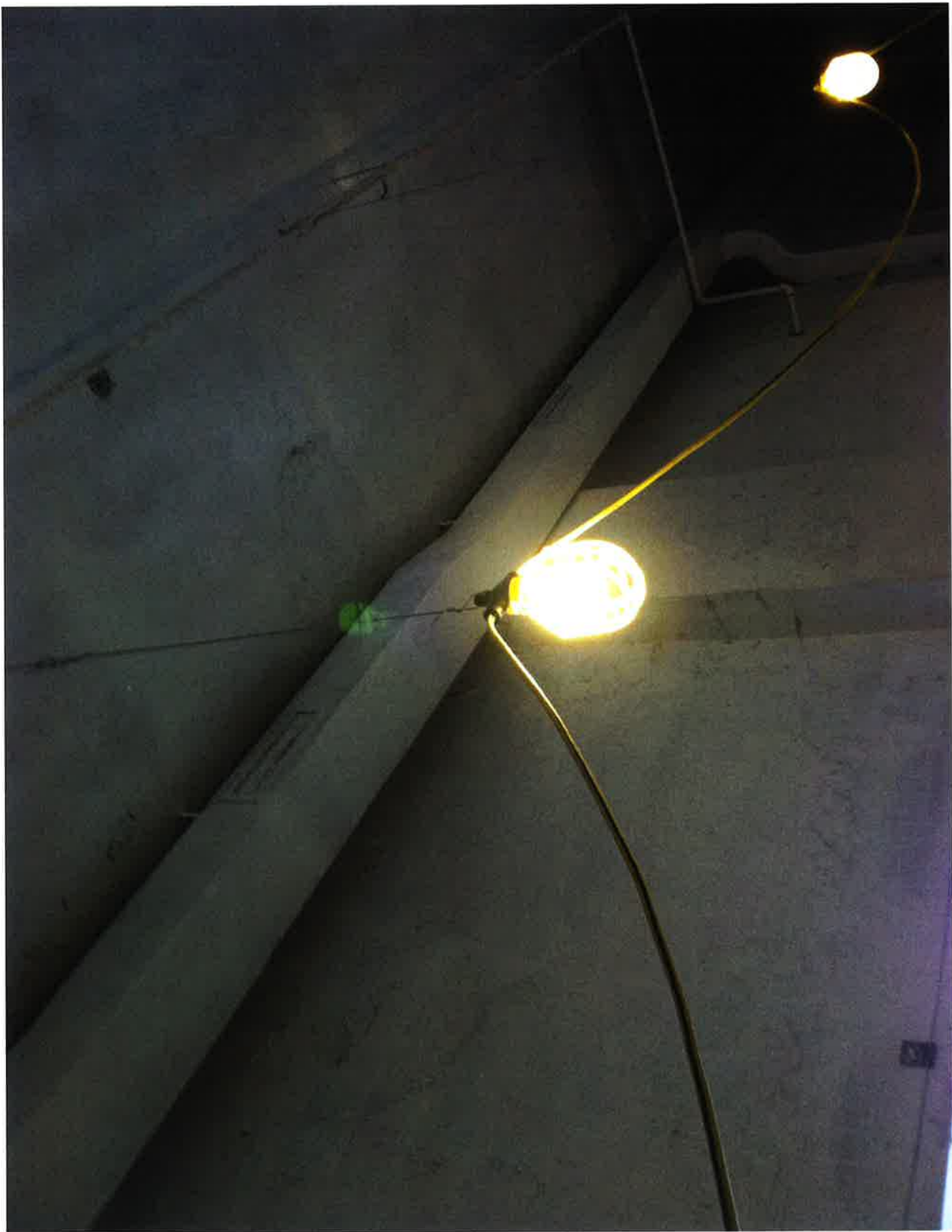
BANK PUBLIC

STAIR TO BASEMENT



HOBBS + BLACK ARCHITECTS

© 2017 HOBBS + BLACK ASSOCIATES, INC. DATE PRINTED: 08/16/17
FILE NAME: P:\2015\15802\DOCS\HISTORIC PRESERVATION CERTIFICATION APPLICATION\20170816.INDD



150 BAGLEY ST.

UNITED ARTIST BUILDING

DETROIT, MICHIGAN

15-802

10 OF 80

FIRST FLOOR

TENANT SPACE CEILING



HOBBS + BLACK ARCHITECTS

© 2017 Hobbs + Black Associates, Inc. DATE PRINTED: 08/16/17
FILE NAME: P:\2015\15802\DOCS\HISTORIC PRESERVATION CERTIFICATION APPLICATION\20170816.INDD



150 BAGLEY ST.

UNITED ARTIST BUILDING

DETROIT, MICHIGAN

15-802

11 OF 80

FIRST FLOOR

TENNANT MEZZANINE



HOBBS + BLACK ARCHITECTS

© 2017 HOBBS + BLACK ASSOCIATES, LLC. DATE PRINTED: 08/16/17
FILE NAME: P:\2015\15802\DOCS\HISTORIC PRESERVATION CERTIFICATION APPLICATION\20170816.RXD



150 BAGLEY ST.

UNITED ARTIST BUILDING

DETROIT, MICHIGAN

15-802

TYPICAL FLOOR ELEVATOR LOBBY
VIEWED FROM COMMON CORRIDOR LOOKING WEST

HOBBS + BLACK ARCHITECTS



150 BAGLEY ST.

UNITED ARTIST BUILDING

DETROIT, MICHIGAN

15-802



HOBBS + BLACK ARCHITECTS



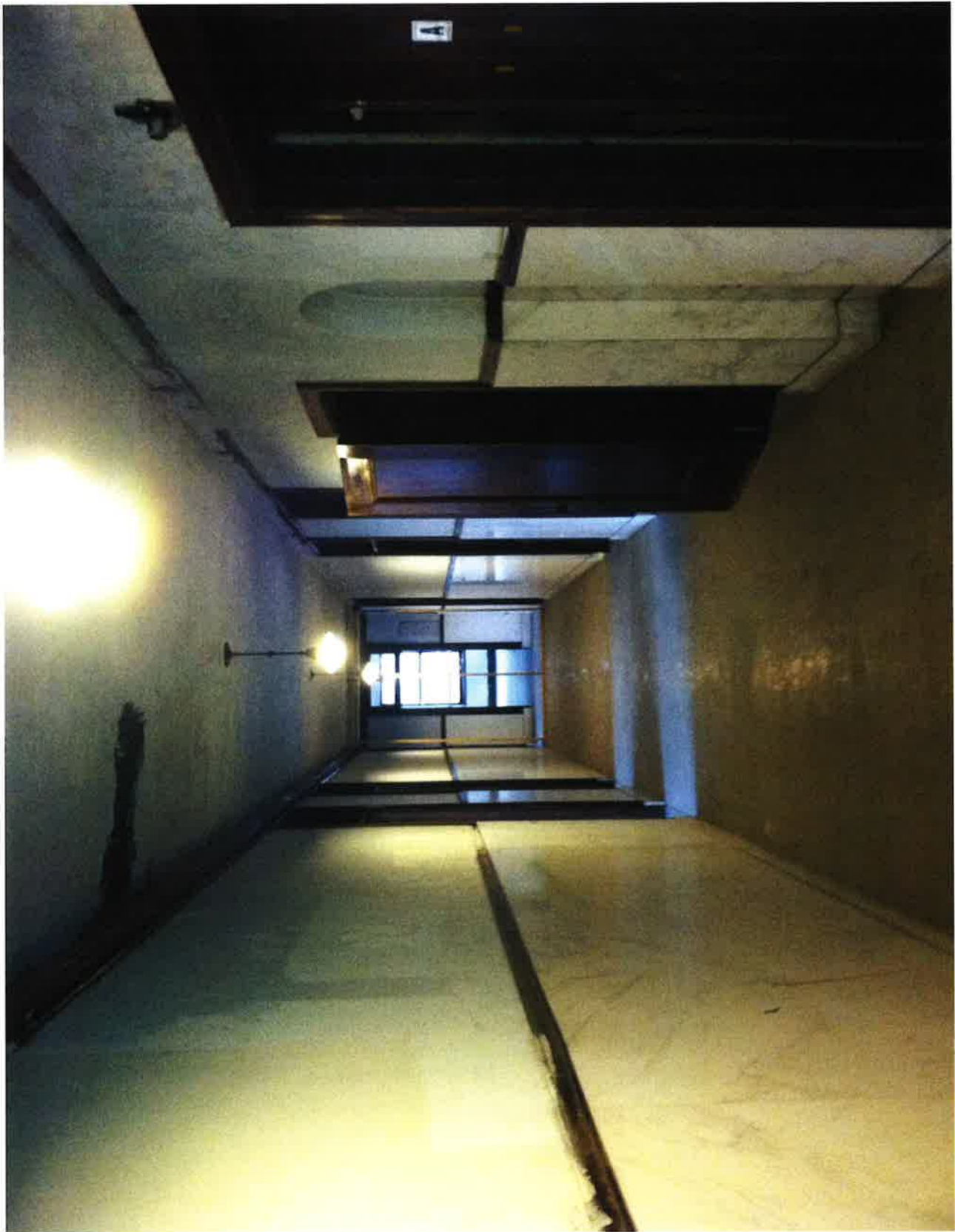
150 BAGLEY ST.

UNITED ARTIST BUILDING

DETROIT, MICHIGAN

15-802

HOBBS + BLACK ARCHITECTS



HOBBS + BLACK ARCHITECTS



150 BAGLEY ST.

UNITED ARTIST BUILDING

DETROIT, MICHIGAN

15-802

HOBBS + BLACK ARCHITECTS



150 BAGLEY ST.

UNITED ARTIST BUILDING

DETROIT, MICHIGAN

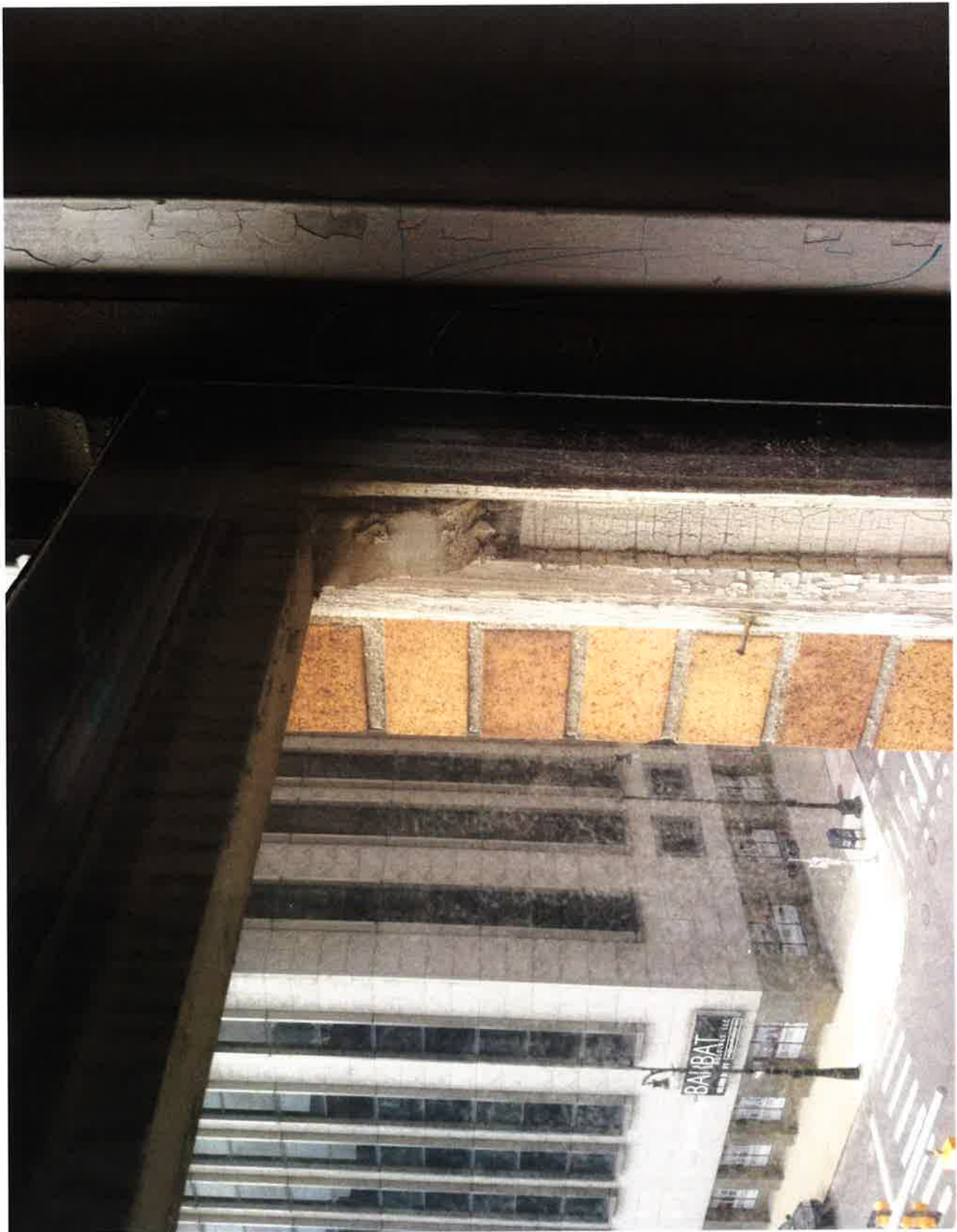
15-802

17 OF 80
INTERIOR OF TYPICAL
NORTH ELEVATION WINDOW



HOBBS + BLACK ARCHITECTS

© 2017 HOBBS + BLACK ASSOCIATES, INC. DATE PRINTED: 08/16/17
FILE NAME: P:\2015\15802\DOCS\HISTORIC PRESERVATION CERTIFICATION APPLICATION\20170816.INDD



150 BAGLEY ST.

UNITED ARTIST BUILDING

DETROIT, MICHIGAN

15-802

18 of 80
INTERIOR OF TYPICAL
EAST WINDOW DETAIL



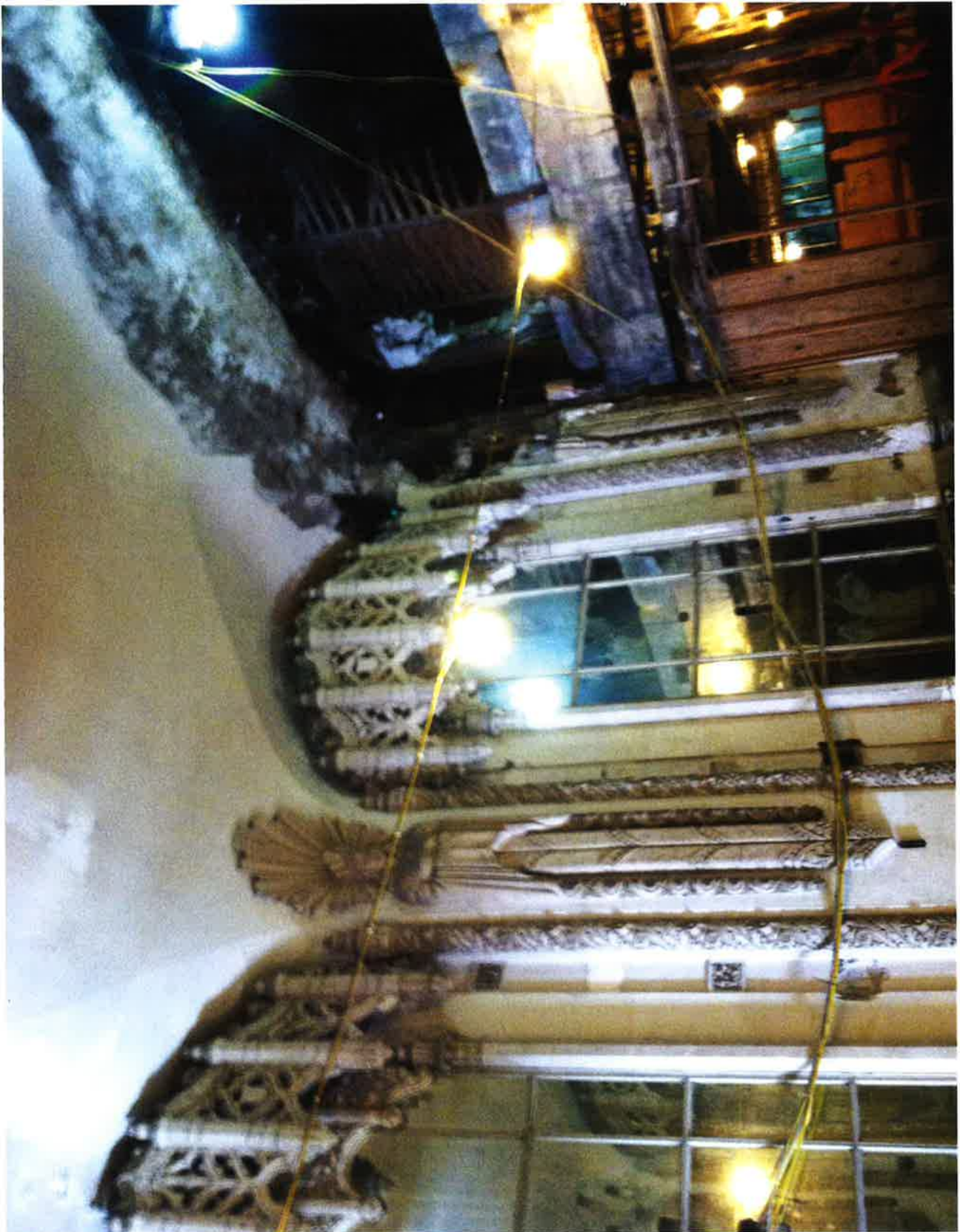
HOBBS + BLACK ARCHITECTS

© 2017 HOBBS + BLACK ASSOCIATES, INC. DATE PRINTED: 08/16/17
FILE NAME: P:\2015\15802\DOCS\HISTORIC PRESERVATION CERTIFICATION APPLICATION\20170816.rnd



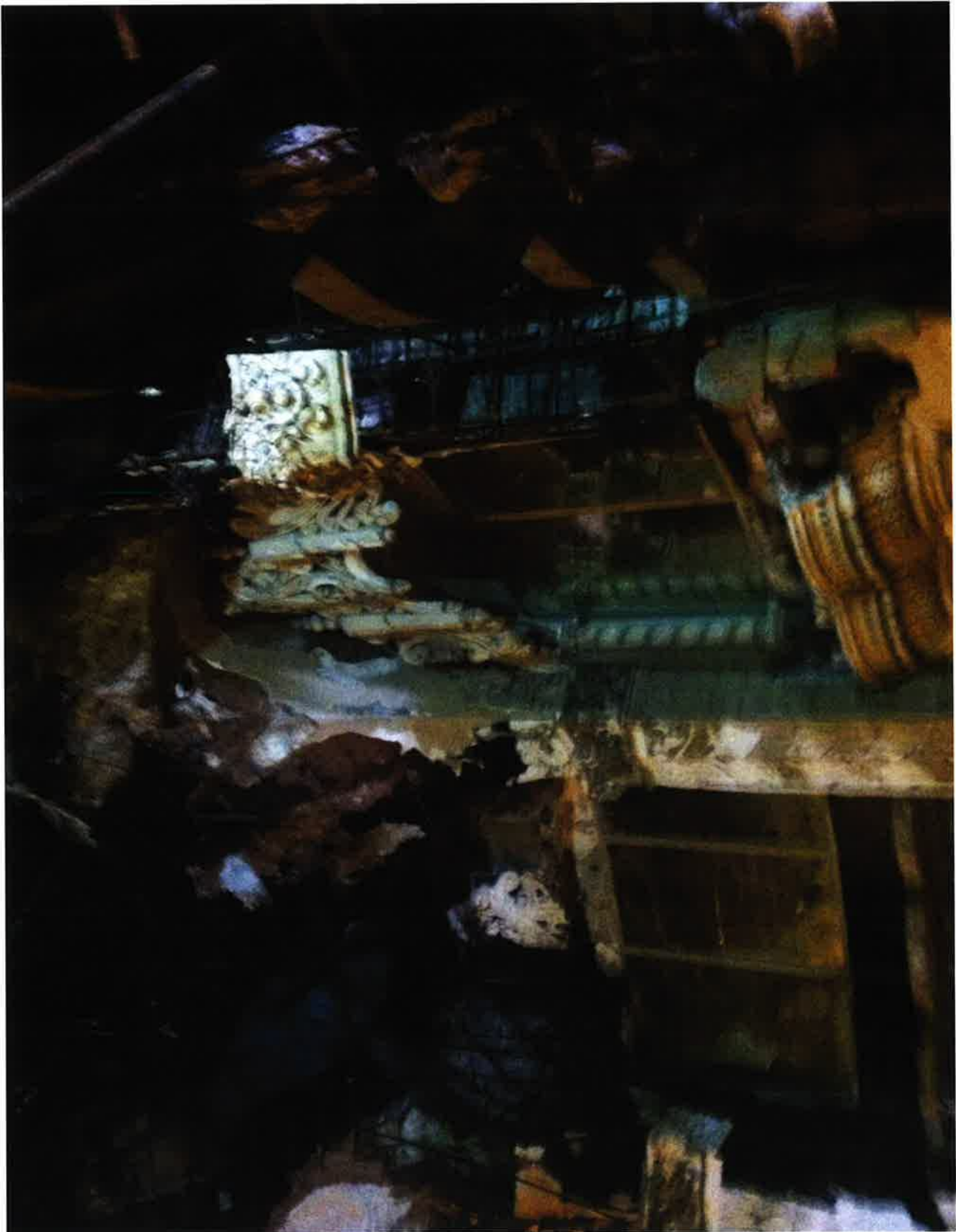
150 BAGLEY ST.
UNITED ARTIST BUILDING DETROIT, MICHIGAN 15-802

HOBBS + BLACK ARCHITECTS



150 BAGLEY ST.
UNITED ARTIST BUILDING DETROIT, MICHIGAN 15-802

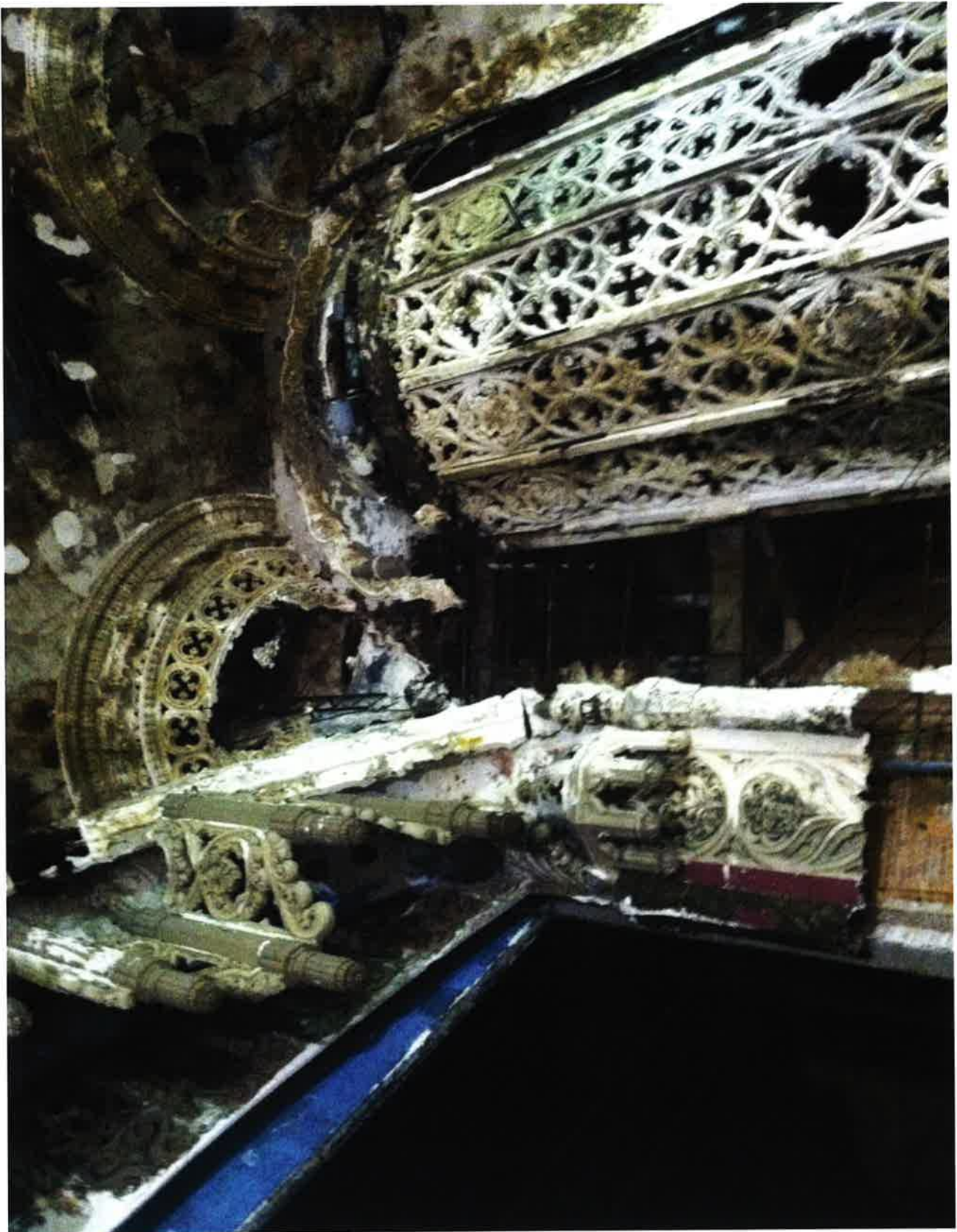
HOBBS + BLACK ARCHITECTS



150 BAGLEY ST.
UNITED ARTIST BUILDING DETROIT, MICHIGAN 15-802

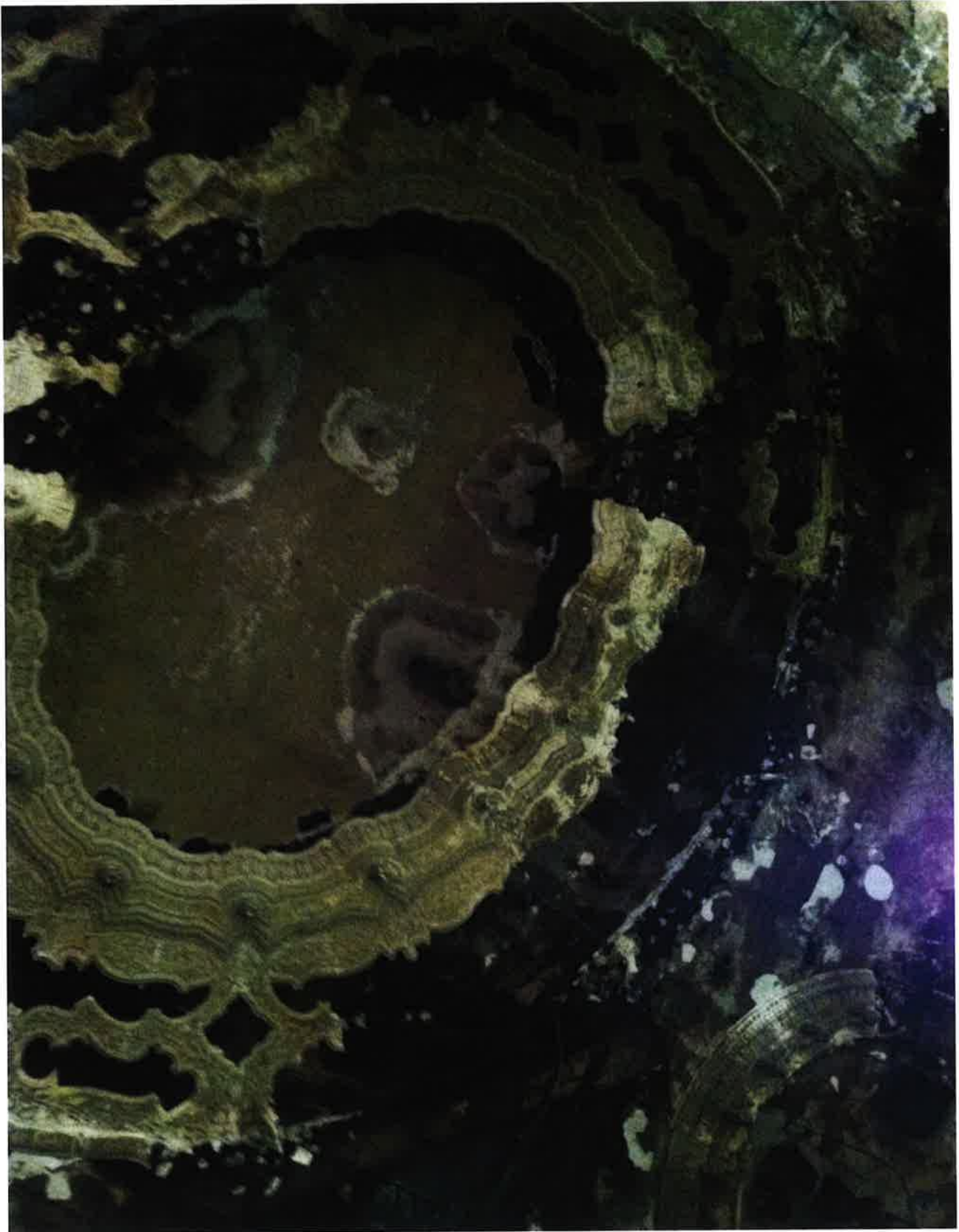
HOBBS + BLACK ARCHITECTS

© 2017 HOBBS + BLACK ASSOCIATES, INC. DATE PRINTED: 08/16/17
FILE NAME: P:\2015\15802\DOCS\HISTORIC PRESERVATION CERTIFICATION APPLICATION\20170816.INDD



150 BAGLEY ST.
UNITED ARTIST BUILDING DETROIT, MICHIGAN 15-802

HOBBS + BLACK ARCHITECTS



23 OF 80
THEATER CEILING

150 BAGLEY ST.
UNITED ARTIST BUILDING DETROIT, MICHIGAN 15-802



HOBBS + BLACK ARCHITECTS

© 2017 HOBBS + BLACK ASSOCIATES, INC. DATE PRINTED: 08/16/17
FILE NAME: P:\2015\15802\DOCS\HISTORIC PRESERVATION CERTIFICATION APPLICATION\20170816.INDD



150 BAGLEY ST.

UNITED ARTIST BUILDING

DETROIT, MICHIGAN

15-802

24 OF 80
THEATER BALCONY
AND PROJECTION BOOTH

HOBBS + BLACK ARCHITECTS

© 2017 Hobbs + Black Associates, Inc. DATE PRINTED: 08/16/17
FILE NAME: P:\2015\15802\DOCS\HISTORIC PRESERVATION CERTIFICATION APPLICATION\20170816.INDD



25 OF 80

THEATER PROSCENIUM OVERALL

150 BAGLEY ST.

UNITED ARTIST BUILDING

DETROIT, MICHIGAN

15-802

HOBBS + BLACK ARCHITECTS

© 2017 HOBBS + BLACK ASSOCIATES, INC. DATE PRINTED: 08/16/17
FILE NAME: P:\2015\15802\DOCS\HISTORIC PRESERVATION CERTIFICATION APPLICATION\20170816.rwd



26 OF 80
THEATER STAGE

150 BAGLEY ST.

UNITED ARTIST BUILDING

DETROIT, MICHIGAN

15-802



HOBBS + BLACK ARCHITECTS

© 2017 HOBBS + BLACK ASSOCIATES, INC. DATE PRINTED: 08/16/17
FILE NAME: P:\2015\15802\DOCS\HISTORIC PRESERVATION CERTIFICATION APPLICATION\20170816.INDO

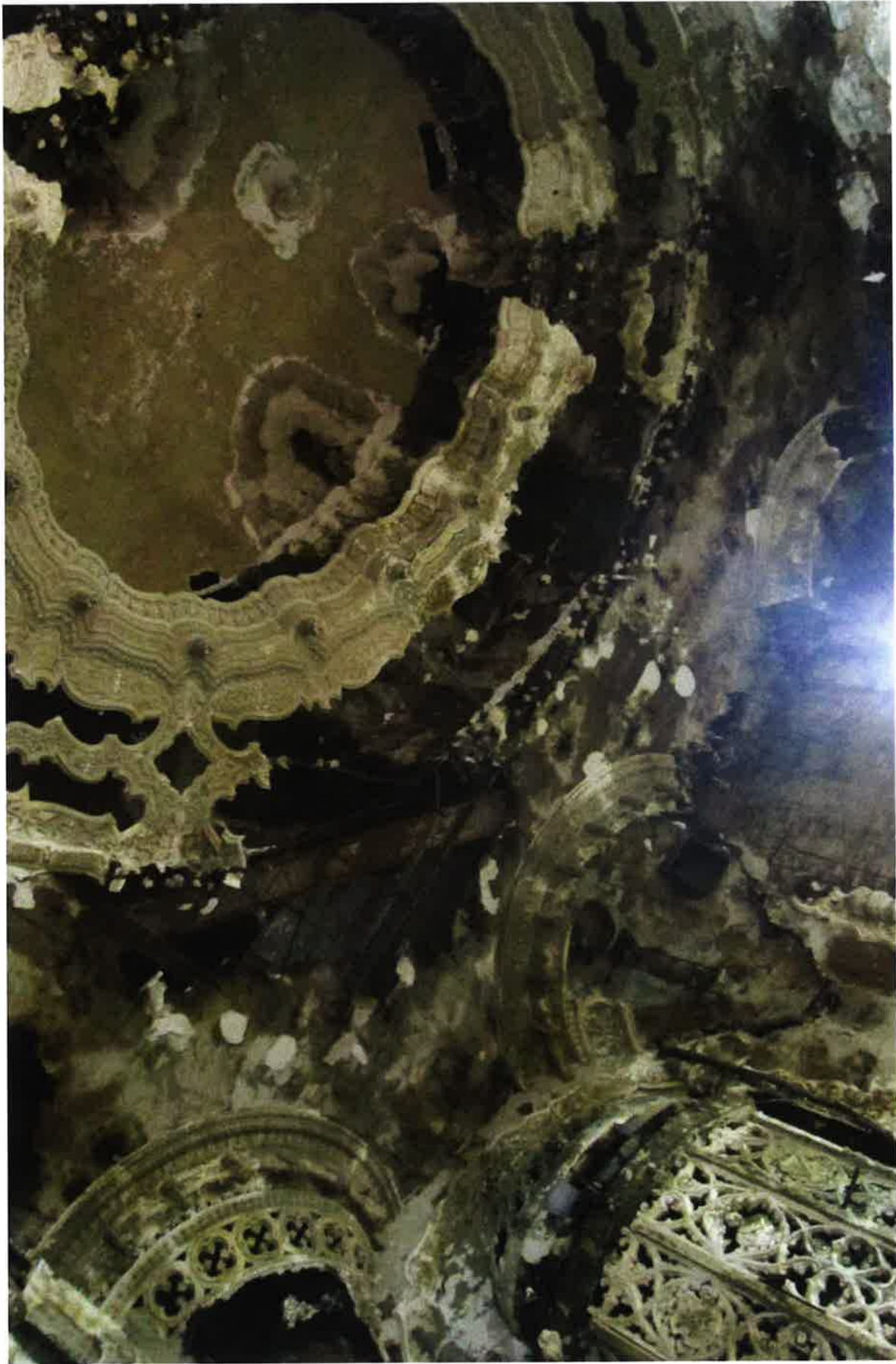


27 OF 80
THEATER CEILING

150 BAGLEY ST.
UNITED ARTIST BUILDING DETROIT, MICHIGAN 15-802

HOBBS + BLACK ARCHITECTS

© 2017 HOBBS + BLACK ASSOCIATES, INC. DATE PRINTED: 08/16/17
FILE NAME: P:\2015\15802\DOCS\HISTORIC PRESERVATION CERTIFICATION APPLICATION\20170816.INDD



28 OF 80
THEATER CEILING

150 BAGLEY ST.
UNITED ARTIST BUILDING DETROIT, MICHIGAN 15-802

HOBBS + BLACK ARCHITECTS

© 2017 HOBBS + BLACK ASSOCIATES, INC. DATE PRINTED: 08/16/17
FILE NAME: P:\2015\15802\DOCS\HISTORIC PRESERVATION CERTIFICATION APPLICATION\20170816.INDD



29 OF 80

THEATER BALCONY AT EAST WALL

150 BAGLEY ST.

UNITED ARTIST BUILDING

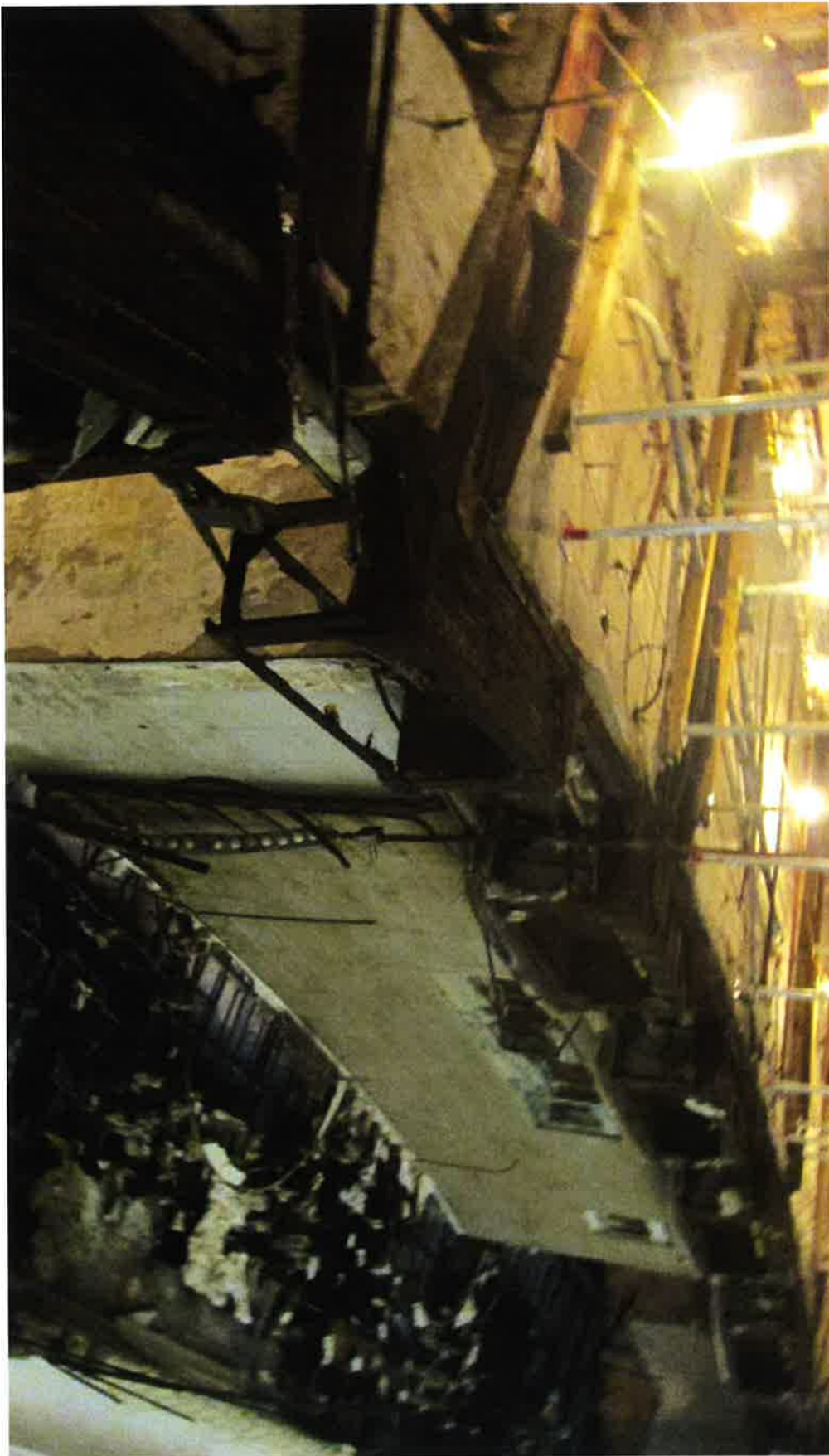
DETROIT, MICHIGAN

15-802



HOBBS + BLACK ARCHITECTS

© 2017 HOBBS + BLACK ASSOCIATES, INC. DATE PRINTED: 08/16/17
FILE NAME: P:\2015\15802\DOCS\HISTORIC PRESERVATION CERTIFICATION APPLICATION\20170816.INDD



30 OF 80
THEATER BALCONY

150 BAGLEY ST.
UNITED ARTIST BUILDING DETROIT, MICHIGAN 15-802

HOBBS + BLACK ARCHITECTS

© 2017 Hobbs + Black Associates, Inc. DATE PRINTED: 08/16/17
FILE NAME: P:\2015\15802\DOCS\Historic Preservation Certification Application\20170816.indd



150 BAGLEY ST.

UNITED ARTIST BUILDING

DETROIT, MICHIGAN

15-802



HOBBS + BLACK ARCHITECTS

© 2017 HOBBS + BLACK ASSOCIATES, INC. DATE PRINTED: 08/16/17
FILE NAME: P:\2015\15802\DOCS\HISTORIC PRESERVATION CERTIFICATION APPLICATION\20170816.INDD



32 OF 80

THEATER UNDER BALCONY

150 BAGLEY ST.

UNITED ARTIST BUILDING

DETROIT, MICHIGAN

15-802



HOBBS + BLACK ARCHITECTS

© 2017 HOBBS + BLACK ASSOCIATES, INC. DATE PRINTED: 08/16/17
FILE NAME: P:\2015\15802\DOCS\HISTORIC PRESERVATION CERTIFICATION APPLICATION\20170816.INDD



150 BAGLEY ST.

UNITED ARTIST BUILDING

DETROIT, MICHIGAN

15-802

HOBBS + BLACK ARCHITECTS

© 2017 HOBBS + BLACK ASSOCIATES, INC. DATE PRINTED: 08/16/17
FILE NAME: P:\2015\15802\DOCS\HISTORIC PRESERVATION CERTIFICATION APPLICATION\20170816.INDD



150 BAGLEY ST.

UNITED ARTIST BUILDING

DETROIT, MICHIGAN

15-802



HOBBS + BLACK ARCHITECTS

© 2017 HOBBS + BLACK ASSOCIATES, INC. DATE PRINTED: 08/16/17
FILE NAME: P:\2015\15802\DOCS\HISTORIC PRESERVATION CERTIFICATION APPLICATION\20170816.INDD



150 BAGLEY ST.

UNITED ARTIST BUILDING

DETROIT, MICHIGAN

15-802



HOBBS + BLACK ARCHITECTS

© 2017 HOBBS + BLACK ASSOCIATES, INC. DATE PRINTED 08/16/17
FILE NAME: P:\2015\15802\DOCS\HISTORIC PRESERVATION CERTIFICATION APPLICATION\20170816.INDD





150 BAGLEY ST.

UNITED ARTIST BUILDING

DETROIT, MICHIGAN

15-802



HOBBS + BLACK ARCHITECTS

© 2017 Hobbs + Black Associates, Inc. DATE PRINTED: 08/16/17
FILE NAME: P:\2015\15802\DOCS\HISTORIC PRESERVATION CERTIFICATION APPLICATION\20170816.INDD



150 BAGLEY ST.

UNITED ARTIST BUILDING

DETROIT, MICHIGAN

15-802



HOBBS + BLACK ARCHITECTS

© 2017 HOBBS + BLACK ASSOCIATES, INC. DATE PRINTED: 08/16/17
FILE NAME: P:\2015\15802\DOCS\HISTORIC PRESERVATION CERTIFICATION APPLICATION\20170816.INDD



150 BAGLEY ST.

UNITED ARTIST BUILDING

DETROIT, MICHIGAN

15-802

HOBBS + BLACK ARCHITECTS



150 BAGLEY ST.

UNITED ARTIST BUILDING

DETROIT, MICHIGAN

15-802

HOBBS + BLACK ARCHITECTS



150 BAGLEY ST.

UNITED ARTIST BUILDING

DETROIT, MICHIGAN

15-802

HOBBS + BLACK ARCHITECTS

© 2017 HOBBS + BLACK ASSOCIATES, INC. DATE PRINTED: 08/16/17
FILE NAME: P:\2015\15802\DOCS\HISTORIC PRESERVATION CERTIFICATION APPLICATION\20170816.INDD



150 BAGLEY ST.

UNITED ARTIST BUILDING

DETROIT, MICHIGAN

15-802

HOBBS + BLACK ARCHITECTS

© 2017 HOBBS + BLACK ASSOCIATES, INC. DATE PRINTED: 08/16/17
FILE NAME: P:\2015\15802\DOCS\HISTORIC PRESERVATION CERTIFICATION APPLICATION\20170816.INDD



43 of 80

LOBBY SOUTHEAST CORNER

150 BAGLEY ST.

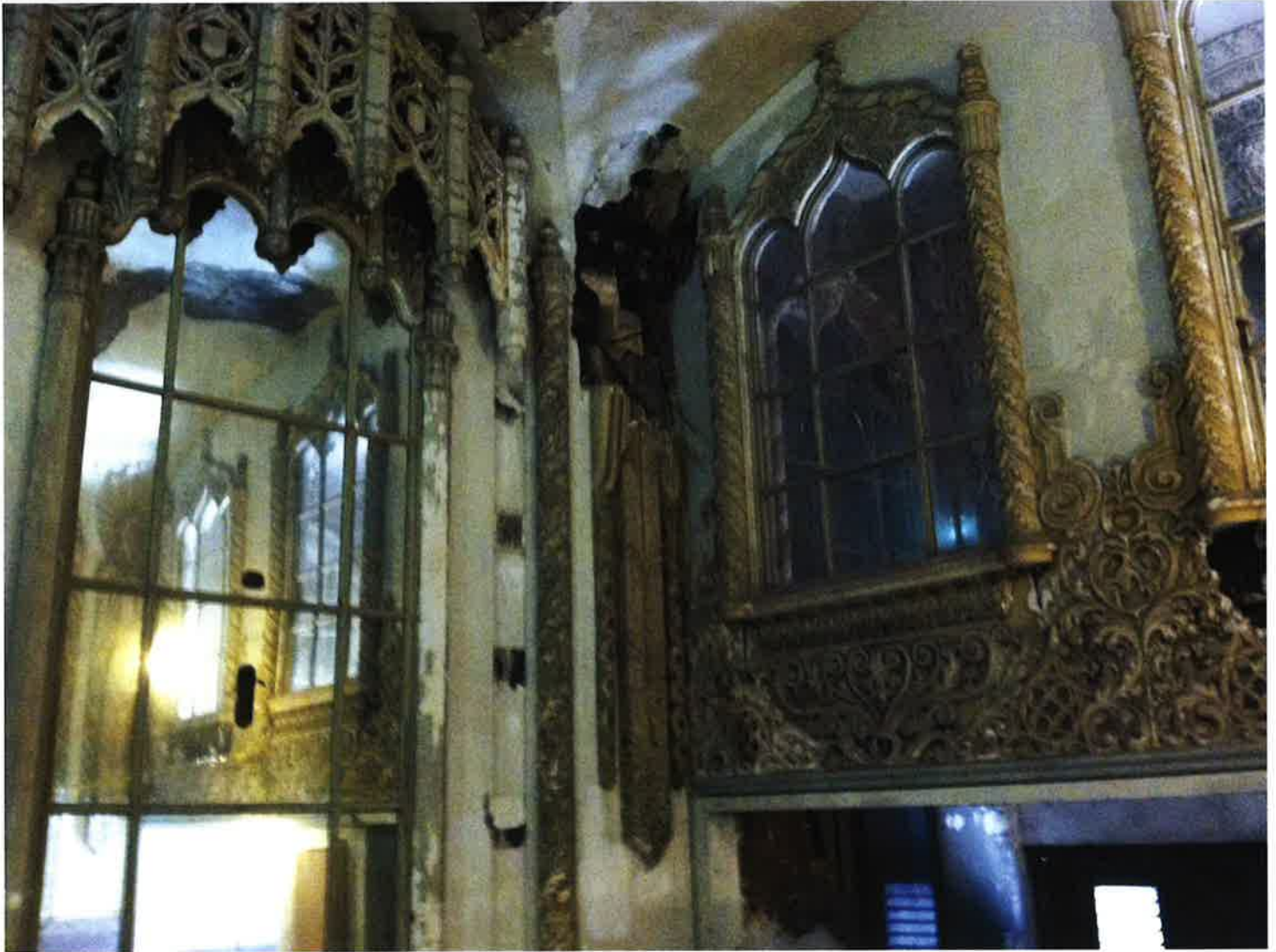
UNITED ARTIST BUILDING

DETROIT, MICHIGAN

15-802

HOBBS + BLACK ARCHITECTS

© 2017 HOBBS + BLACK ASSOCIATES, INC. DATE PRINTED: 08/16/17
FILE NAME: P:\2015\15802\DOCS\HISTORIC PRESERVATION CERTIFICATION APPLICATION\20170816.INDD





150 BAGLEY ST.

UNITED ARTIST BUILDING

DETROIT, MICHIGAN

15-802

HOBBS + BLACK ARCHITECTS

© 2017 HOBBS + BLACK ASSOCIATES, INC. DATE PRINTED: 08/16/17
FILE NAME: P:\2015\15802\DOCS\HISTORIC PRESERVATION CERTIFICATION APPLICATION\20170816.INDD



150 BAGLEY ST.

UNITED ARTIST BUILDING

DETROIT, MICHIGAN

15-802

HOBBS + BLACK ARCHITECTS

© 2017 Hobbs + Black Associates, Inc. DATE PRINTED: 08/16/17
FILE NAME: P:\2015\15802\DOCS\HISTORIC PRESERVATION CERTIFICATION APPLICATION\20170816.INDD



150 BAGLEY ST.

UNITED ARTIST BUILDING

DETROIT, MICHIGAN

15-802

47 OF 80

VESTIBULE WEST WALL

HOBBS + BLACK ARCHITECTS

© 2017 HOBBS + BLACK ASSOCIATES, INC. DATE PRINTED: 08/16/17
FILE NAME: P:\2015\15802\DOCS\HISTORIC PRESERVATION CERTIFICATION APPLICATION\20170816.INDD





150 BAGLEY ST.

UNITED ARTIST BUILDING

DETROIT, MICHIGAN

15-802

HOBBS + BLACK ARCHITECTS



150 BAGLEY ST.

UNITED ARTIST BUILDING

DETROIT, MICHIGAN

15-802

HOBBS + BLACK ARCHITECTS

© 2017 HOBBS + BLACK ASSOCIATES, INC. DATE PRINTED: 08/16/17
FILE NAME: P:\2015\15802\DOCS\HISTORIC PRESERVATION CERTIFICATION APPLICATION\20170816.INDD



150 BAGLEY ST.

UNITED ARTIST BUILDING

DETROIT, MICHIGAN

15-802



HOBBS + BLACK ARCHITECTS

© 2017 Hobbs + Black Associates, Inc. DATE PRINTED: 08/16/17
FILE NAME: P:\2015\15802\DOCS\HISTORIC PRESERVATION CERTIFICATION APPLICATION\20170816.indd



150 BAGLEY ST.

UNITED ARTIST BUILDING

DETROIT, MICHIGAN

15-802



HOBBS + BLACK ARCHITECTS

© 2017 HOBBS + BLACK ASSOCIATES, INC. DATE PRINTED: 08/16/17
FILE NAME: P:\2015\15802\DOCS\HISTORIC PRESERVATION CERTIFICATION APPLICATION\20170816.INDD



150 BAGLEY ST.
UNITED ARTIST BUILDING DETROIT, MICHIGAN 15-802

53 OF 80
THEATER BALCONY WEST VIEW

HOBBS + BLACK ARCHITECTS

© 2017 HOBBS + BLACK ASSOCIATES, INC. DATE PRINTED: 08/16/17
FILE NAME: P:\2015\15802\DOCS\HISTORIC PRESERVATION CERTIFICATION APPLICATION\20170816.INDD



150 BAGLEY ST.
UNITED ARTIST BUILDING DETROIT, MICHIGAN 15-802

54 OF 80
THEATER BALCONY CENTER VIEW

HOBBS + BLACK ARCHITECTS

© 2017 HOBBS + BLACK ASSOCIATES, INC. DATE PRINTED: 08/16/17
FILE NAME: P:\2015\15802\DOCS\HISTORIC PRESERVATION CERTIFICATION APPLICATION\20170816.INDD



150 BAGLEY ST.

UNITED ARTIST BUILDING

DETROIT, MICHIGAN

15-802

HOBBS + BLACK ARCHITECTS

© 2017 Hobbs + Black Associates, Inc. DATE PRINTED: 08/16/17
FILE NAME: P:\2015\15802\DOCS\HISTORIC PRESERVATION CERTIFICATION APPLICATION\20170816.INDD



150 BAGLEY ST.

UNITED ARTIST BUILDING

DETROIT, MICHIGAN

15-802

56 OF 80

THEATER PROSCENIUM

HOBBS + BLACK ARCHITECTS

© 2017 HOBBS + BLACK ASSOCIATES, INC. DATE PRINTED: 08/16/17
FILE NAME: P:\2015\15802\DOCS\HISTORIC PRESERVATION CERTIFICATION APPLICATION\20170816.INDD



150 BAGLEY ST.
UNITED ARTIST BUILDING DETROIT, MICHIGAN 15-802

HOBBS + BLACK ARCHITECTS

© 2017 HOBBS + BLACK ASSOCIATES, INC. DATE PRINTED: 08/16/17
FILE NAME: P:\2015\15802\DOCS\HISTORIC PRESERVATION CERTIFICATION APPLICATION\20170816.INDD



150 BAGLEY ST.

UNITED ARTIST BUILDING

DETROIT, MICHIGAN

15-802



HOBBS + BLACK ARCHITECTS

© 2017 HOBBS + BLACK ASSOCIATES, INC. DATE PRINTED: 08/16/17
FILE NAME: P:\2015\15802\DOCS\HISTORIC PRESERVATION CERTIFICATION APPLICATION\20170816 INDD



UNITED STATES DEPARTMENT OF THE INTERIOR
NATIONAL PARK SERVICE

OMB Approved
No. 1024-0009
Form 10-168
Rev. 2014

HISTORIC PRESERVATION CERTIFICATION APPLICATION
PART 1 - EVALUATION OF SIGNIFICANCE

NPS Project Number 37210

Instructions: This page must bear the applicant's original signature and must be dated. The National Park Service certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes precedence. A copy of this form will be provided to the Internal Revenue Service.

1. Property Name United Artists Building

Street 150 Bagley

City Detroit

County Wayne

State MI

Zip 48226

Name of Historic District Grand Circus Park Historic District

National Register district certified state or local district potential district

2. Nature of request (check only one box)

- certification that the building contributes to the significance of the above-named historic district or National Register property for rehabilitation purposes.
- certification that the building contributes to the significance of the above-named historic district for a charitable contribution for conservation purposes.
- certification that the building does not contribute to the significance of the above-named district.
- preliminary determination for individual listing in the National Register.
- preliminary determination that a building located within a potential historic district contributes to the significance of the district.
- preliminary determination that a building outside the period or area of significance contributes to the significance of the district.

3. Project Contact (if different from applicant)

Name Brian Bagnick

Company Hobbs+Black Associates Inc.

Street 100 North State Street

City Ann Arbor

State MI

Zip 48104

Telephone (734) 663-4189

Email Address bbagnick@hobbs-black.com

4. Applicant

I hereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that [check one or both boxes, as applicable] (1) I am the owner of the above-described property within the meaning of "owner" set forth in 36 CFR § 67.2 (2011), and/or (2) if I am not the fee simple owner of the above-described property, the fee simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which (i) either is attached to this application form and incorporated herein, or has been previously submitted; and (ii) meets the requirements of 36 CFR § 67.34(a)(1) (2011). For purposes of this attestation, the singular shall include the plural wherever appropriate. I understand that knowing and willful falsification of factual representations in this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumstances, provides for imprisonment of up to 5 years.

Name Emmett Moten

Signature

Date 8/18/2017

Applicant Entity Bagley Development Group, LLC

SSN

or TIN 821489514

Street 525 W. Lafayette Blvd. #629

City Detroit

State MI

Zip 48226

Telephone (313) 610-7038

Email Address esmoten@sbcglobal.net

NPS Official Use Only

The National Park Service has reviewed the Historic Preservation Certification Application - Part 1 for the above-named property and has determined that the property:

- contributes to the significance of the above-named district or National Register property and is a "certified historic structure" for rehabilitation purposes.
- contributes to the significance of the above-named district and is a "certified historic structure" for a charitable contribution for conservation purposes.
- does not contribute to the significance of the above-named district.

Preliminary Determinations:

- appears to meet the National Register Criteria for Evaluation and will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer according to the procedures set forth in 36 CFR Part 60.
- does not appear to meet the National Register Criteria for Evaluation and will likely not be listed in the National Register.
- appears to contribute to the significance of a potential historic district, which will likely be listed in the National Register of Historic Places if nominated by the State Historic Preservation Officer.
- appears to contribute to the significance of a registered historic district if the period or area of significance as documented in the National Register nomination or district documentation on file with the NPS is expanded by the State Historic Preservation Officer.
- does not appear to qualify as a certified historic structure.

Date 10/26/17

National Park Service Authorized Signature

NPS comments attached