

STAFF REPORT 7/24/2019 MEETING  
APPLICATION NUMBER 19-6330  
ADDRESS: 479 W. WILLIS  
HISTORIC DISTRICT: WILLIS SELDEN  
APPLICANT: THOMAS ROBERTS

PREPARED BY: J. ROSS

## PROPOSAL

The building located at 479 W. Willis is a four-story apartment building with a basement-level living space located within the Willis Selden Historic District. The resource is clad with brick and displays stone detailing. Windows are vinyl, with the exception of the casement windows and transoms on the front elevation, first story and nine windows at the rear elevation. Scarring at the front elevation parapet indicates that a cornice once existed at this location. The existing main entrance includes exterior concrete stairs with brick low walls on each side. The stair landing is quarry tile, surrounded by four brick piers, and covered by a masonry and brick balcony. The entry door and windows on either side have arched tops with surrounding stone work to match the quoins at the corners of the building. On either side of the covered entry are two floating concrete benches over which one can view the exterior stairs down to the basement apartment units.

Please note that the Commission approved an extensive proposal for the rehabilitation of the building at the July 10, 2017 regular meeting. With the current submittal, the applicant is seeking the Commission's approval of the following new work items as per the attached **drawings, specs, and narrative**:

- At the front elevation, install two new tenant mailboxes under the existing covered porch. Specifically, a cluster box unit would be installed on each side of the main entrance, approximately 3" above the existing concrete bench/sill and will be mounted to the inside of the masonry piers and wall surface. One of the cluster box units will include an intercom system. Each of the units will be mounted in a larger perforated metal panel (with a dark bronze finish) that is topped with a metal coping/drip edge. Please note that a color sample has not been provided with the current proposal.

## STAFF OBSERVATIONS

Please note the following:

- The proposed new mailboxes will be highly visible from the public right-of-way when viewing the building's primary elevation at an oblique angle.
- The applicant has noted that he desires to locate the mailboxes/intercom on the porch (rather than installing the mailboxes in the front yard area/detached from the building) because the equipment will "...provide fall protection for the open stairs below each side of the entry porch."

It is staff's opinion that the front porch is a highly-visible, distinctive feature of the building. Although the work is reversible, it is staff's opinion that the proposed equipment/enclosure of the porch openings will negatively impact its historic character. More appropriate balustrades and railings could be proposed to meet code requirement for fall protection.

## APPLICABLE ELEMENTS OF DESIGN

(7) *Relationship of Materials*. A majority of buildings are faced with brick and feature stone or cast stone trim. Single-family residential buildings are generally faced with brick and feature wooden brackets,

bay windows, vergeboards, timbering, porch supports, dentils, entablature, or other classically inspired elements, and other details depending on style. A small number of single-family residential buildings feature wood clapboard siding. Stone or stone facing defines the foundations of buildings at 643-647 and 748 West Alexandrine Avenue, 481 Brainard Avenue, 3957 and 4107 Cass Avenue, and 500 West Willis Avenue, the lower levels of buildings at 4120 Cass Avenue, 3761 Second Avenue, 495-497 West Willis Avenue, and the entire primary façade of buildings at 624 and 627 West Alexandrine Avenue and 3977 Cass Avenue. The buildings at 3901 Cass Avenue, commonly known as Cass Avenue Methodist Church, 3900 and 3977 Second Avenue, and 4100 Third Avenue are composed primarily of stone. Sash windows are historically wood but have, in many cases, been replaced with windows of more modern materials. Stone is used for window sills on a majority of buildings within the district. While roofs within the district are generally flat and not visible, pitched roofs typically feature visible slate or asphalt shingles. Buildings at 686 Selden and 711 West Alexandrine Avenue feature clay tile roofs. The building at 3901 Cass Avenue, commonly known as Cass Avenue Methodist Church, features a copper roof on its tower.

- (8) *Relationship of Textures.* On a majority of buildings within the district, the major textural effect is that of brick with mortar joints juxtaposed with cast stone or limestone trim. Patterned brickwork is used to create subtle detail on commercial and apartment buildings, such as spandrels and rectangular panels, and more pronounced textural interest where it exists on the upper stories of buildings, such as at 461 West Alexandrine Avenue, and in an arcaded cornice on the building at 711 West Alexandrine Avenue. Where they exist, detailed wooden vergeboards, gables, brackets, and dormers create considerable textural interest on all single-family residential buildings in the district. Rough-cut stone with thick mortar joints creates considerable textural interest on buildings where it exists, while other buildings feature smooth stone with thin mortar joints. In general, asphalt shingle roofs do not contribute to textural interest.
- (9) *Relationship of Colors.* Natural brick colors in shades of brown, red, and buff predominate on wall surfaces, while natural stone colors in shades of gray, red, and brown also exist. Although most roofs are flat and therefore not visible, sloped roofs typically feature gray asphalt, while some feature red or green clay tile or slate in contrasting colors of gray, red, or green. Wooden architectural details are frequently painted in bold colors, appropriate to the architectural style of the buildings, which contrast markedly with brick facing. Brick apartment buildings are generally unpainted, with gray stone trim contrasting with brown or buff brickwork. Brick on commercial buildings is frequently painted in shades of yellow or orange. The original colors of any building, as determined by professional analysis, are always acceptable for that building and may provide guidance for similar buildings.

#### RECOMMENDATION

As noted previously, it is staff's opinion that the front porch is a highly-visible, distinctive feature of the building. Although the work is reversible, it is staff's opinion that the proposed location of the equipment /enclosure of the porch openings will negatively impact its historic character, subject to the conditions below. Staff recommends that the Commission approve the installation of new mailboxes and intercom at the property because it meets the Secretary of the Interior's Standard for Rehabilitation Standard Number 6. *Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.* However, staff does recommend that the Certificate of Appropriateness be issued with the following conditions:

- The new mailboxes shall be detached from the building and located/sited in the front yard area. The applicant shall provide a site plan and final proposal for the location of the mailboxes within the front yard area to HDC staff for review and approval prior to the issuance of the permit. If HDC staff determines that proposed location does not conform to the Secretary of the Interior's Standards for Rehabilitation and/or the Elements of Design, she shall forward the application to the Commission for review at a monthly meeting.
- The 6-7/16"(H) x 10-3/8"(W) x 3-1/2"(D) intercom may be installed separately from the mailbox/clusterbox units, surface-mounted, at the front elevation of the building. The applicant shall provide a dimensioned drawing which depict the location of the intercom to HDC staff for review and approval prior to the issuance of the permit. If HDC staff determines that proposed intercom installation does not conform to the Secretary of the Interior's Standards for Rehabilitation and/or the Elements of Design, she shall forward the application to the Commission for review at a monthly meeting.

# HISTORIC DISTRICT COMMISSION PROJECT REVIEW REQUEST

CITY OF DETROIT  
PLANNING & DEVELOPMENT DEPARTMENT  
2 WOODWARD AVENUE, ROOM 808, DETROIT, MI 48226

DATE: 6/24/2019

## PROPERTY INFORMATION

ADDRESS: 479 W. Willis St., Detroit, MI 48201 AKA: Lindley Hall Hotel Apartments

HISTORIC DISTRICT: District: Willis-Selden; Section: 25-2-181; Year Enacted: 10/10/2011

## APPLICANT IDENTIFICATION

Property Owner/  
Homeowner       Contractor       Tenant or  
Business Occupant       Architect/  
Engineer/  
Consultant

NAME: Tom Roberts COMPANY NAME: Thomas Roberts Architect

ADDRESS: 2927 4th Street CITY: Wyandotte STATE: MI ZIP: 48192

PHONE: \_\_\_\_\_ MOBILE: 734-250-4032 EMAIL: tom@thomasrobertsarchitect.com

## PROJECT REVIEW REQUEST CHECKLIST

Please attach the following documentation to your request:

- Photographs** of ALL sides of existing building or site
- Detailed photographs** of location of proposed work (photographs to show existing condition(s), design, color, and material)
- Description of existing conditions** (including materials and design)
- Description of project** (including an explanation as to why replacement--rather than repair--of existing and/or construction of new is required)
- Detailed scope of work** (formatted as bulleted list)
- Brochure/cut sheets** for proposed replacement material(s) and/or product(s)

### NOTE:

Based on the scope of work, additional documentation may be required  
**See [www.detroitmi.gov/hdc](http://www.detroitmi.gov/hdc) for scope-specific requirements**

**SUBMIT COMPLETED REQUESTS TO: [HDC@DETROITMI.GOV](mailto:HDC@DETROITMI.GOV)**

## Project Review Documentation

### Photographs of existing conditions:



*Photo 1: Covered front entrance*



*Photo 3: Stair approach to entrance*



*Photo 2: Main entrance door*



*Photo 4: Stair each side to basement units*

### **Description of existing conditions:**

The existing main entrance includes exterior concrete stairs with brick low walls on each side. The stair landing is quarry tile, surrounded by four brick piers, and covered by a masonry and brick balcony. The entry door and windows on either side have arched tops with surrounding stone work to match the quoins at the corners of the building. On either side of the covered entry are two floating concrete benches over which one can view the exterior stairs down to the basement apartment units.

**Project Scope of Work:**

The proposed scope of work is to install new tenant mailboxes under the existing covered porch. A cluster box unit would be installed on each side of the main entrance above the existing concrete bench. One side would also have a new telephone entry system installed. Perforated metal panels would enclose the new equipment and also provide fall protection for the open stairs below each side of the entry porch.

**Drawings (see attached sheets):**

A101: See enlarged plan, elevation, and two sections.

A401: See enlarged partial east elevation and enlarged partial west elevation.

**Product Data (see attached cut sheets):**

Cluster Box Unit: Budget Mailboxes; Vital cluster box unit; Dark bronze; 16 tenant boxes, 2 parcel boxes, and 1 outgoing slot. Install without pedestal. Install two units, one on each side of entry porch.

Telephone Entry System: Pach and Company Inc.; Quantum QC Series; Full-Flush Mount. Install on latch side of door next to mailbox unit.

Perforated Metal Panel: McNichols; Designer Perforated Metal; Windsor 1844; 36" x 48"; dark bronze finish. Frame with manufacturer's accessory U-edging at exposed edges of metal panel.

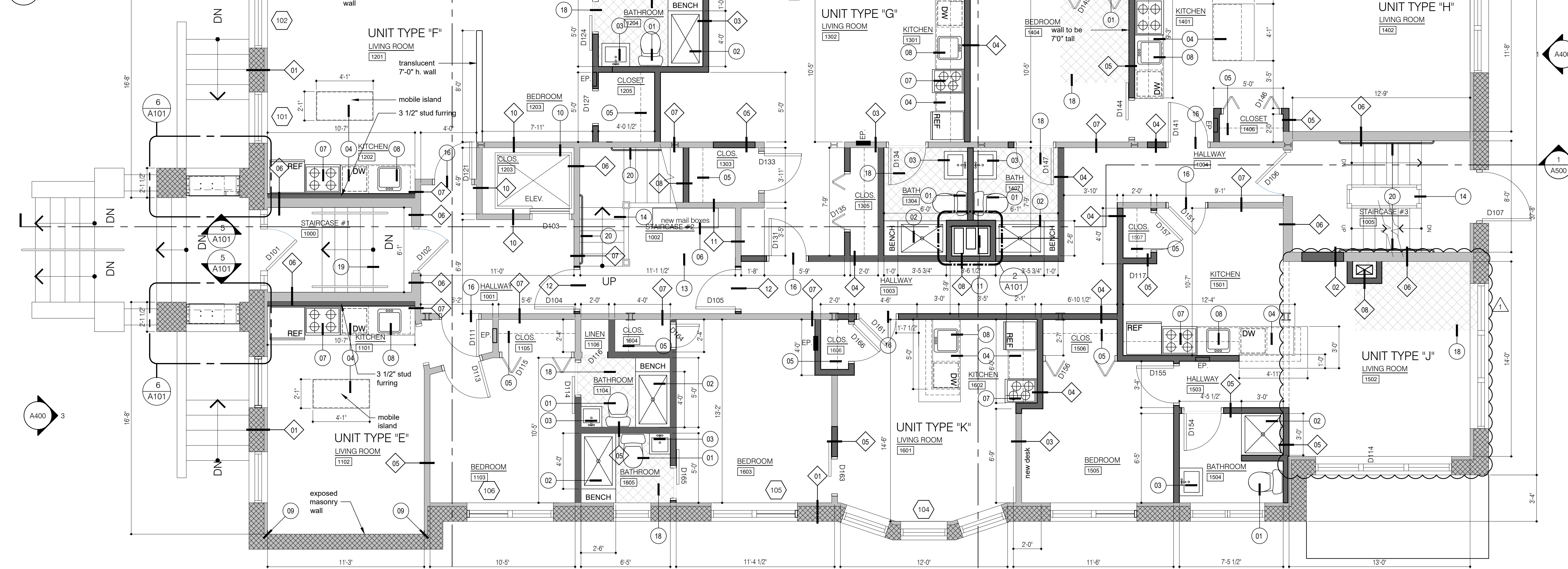


On latch side of entry door ONLY - telephone entry system, full flush mount, supported by cold formed metal framing painted matte black.

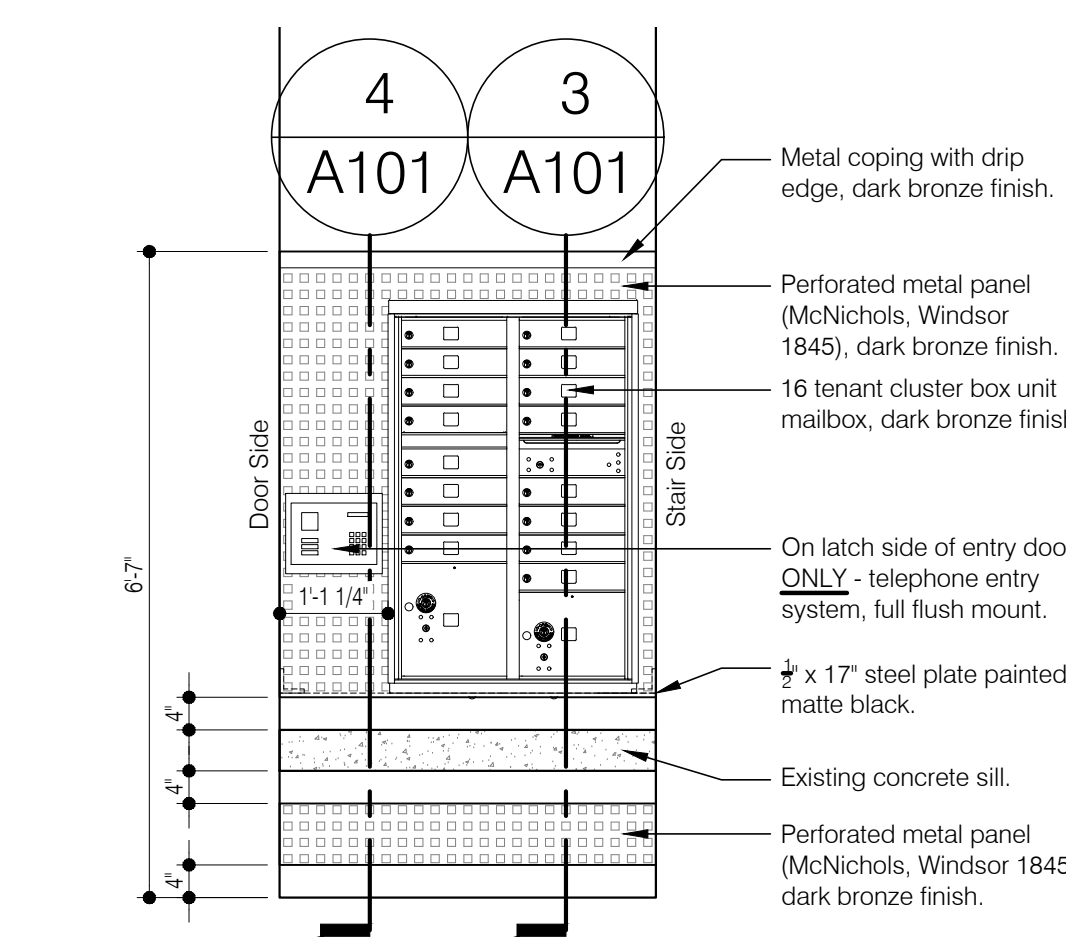
Cluster box unit mailbox, bolt to steel plate i/o pedestal.

Existing concrete sill below.  
Perforated metal panel on metal clip angles each side.  
1/2" x 17" steel plate, mounted to steel angle each end anchored into existing masonry piers.

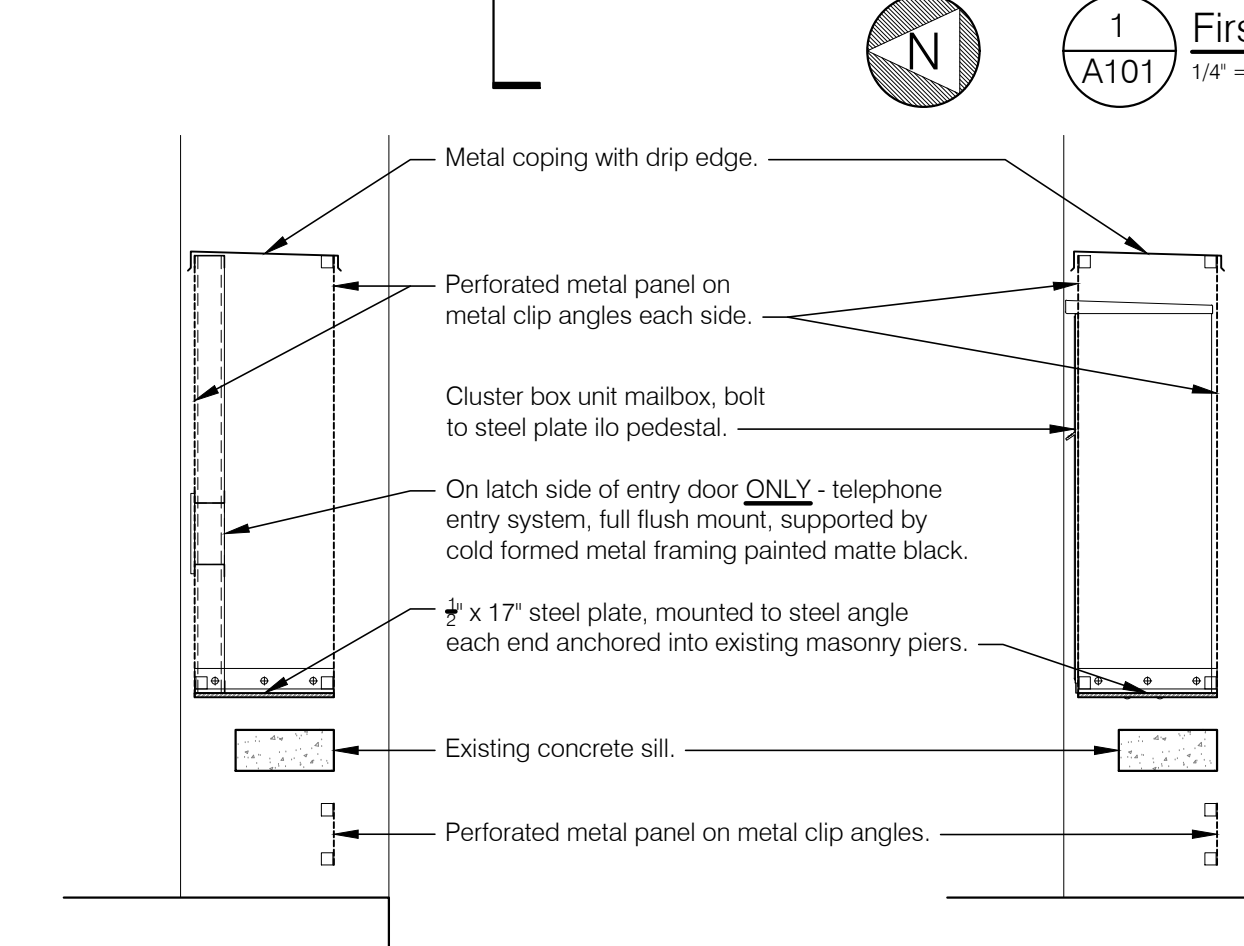
6 Mailbox & Intercom Plan  
1/2" = 1'-0"



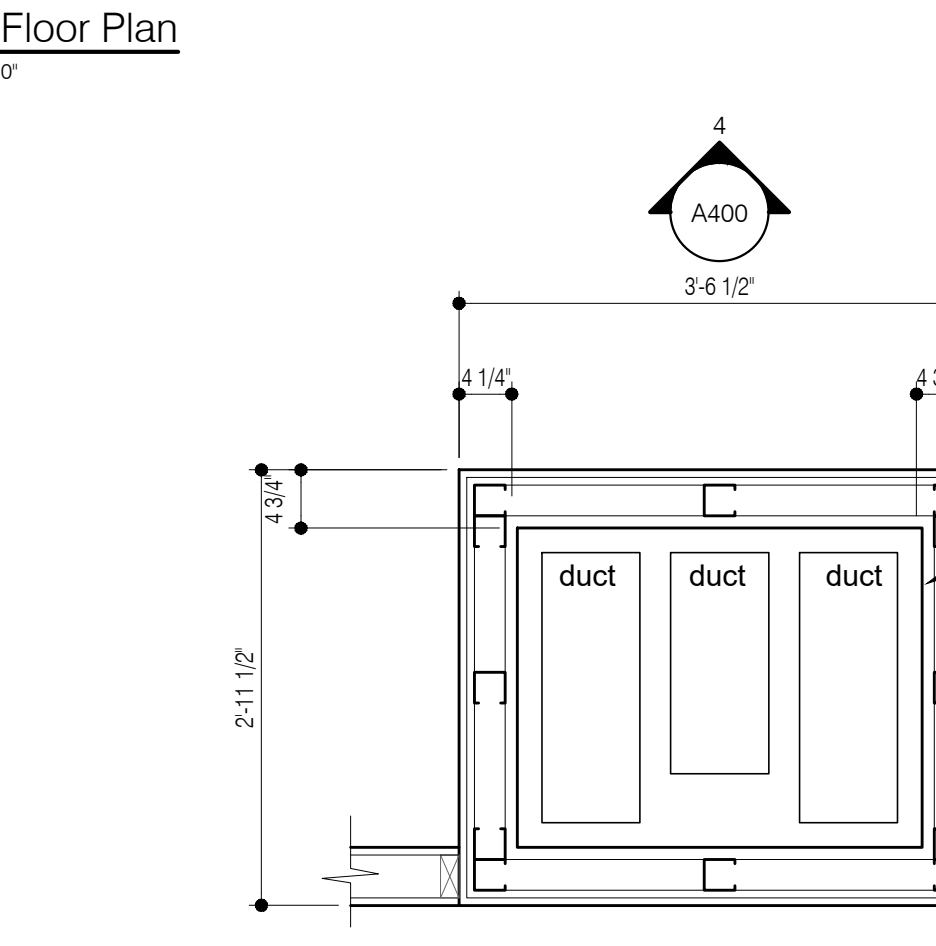
1 First Floor Plan  
1/4" = 1'-0"



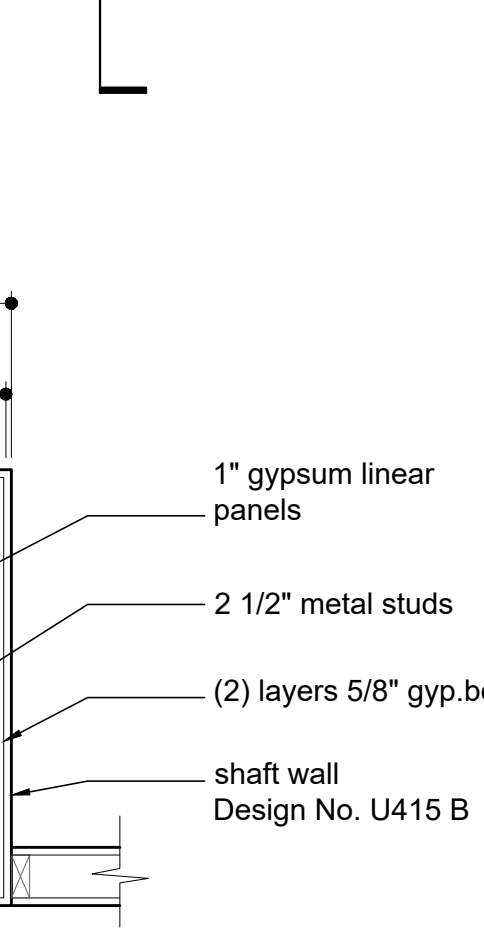
5 Mailbox & Intercom Elevation  
1/2" = 1'-0"



4 Mailbox & Intercom Section  
1/2" = 1'-0"



3 Mailbox & Intercom Section  
1/2" = 1'-0"



2 Shaft Wall Detail  
3/4" = 1'-0"

**LEGEND:**

- EXISTING CRACKS TO BE REPAIRED
- EXISTING TO BE REMOVED
- EXISTING WALLS
- NEW WALLS
- NEW FLOOR SLABS
- AREA OF WORK
- NEW DOORS
- EXIST. DOORS

**WALL TYPES**

- 1 EXISTING EXTERIOR WALL:  
12"-16" THICK LOAD BEARING MASONRY WITH 1" CEMENT PLASTER ON METAL LATH.
- 2 EXISTING MASONRY STAIR WALL:  
8" THICK LOAD BEARING MASONRY WITH 1" CEMENT PLASTER ON METAL ON EACH SIDE.
- 3 EXISTING CORRIDOR / DEMISING WALL: 1 HR RATED  
No. UL305  
EXISTING 2X4 WOOD FRAMING WITH (1) LAYER OF NEW 5/8" TYPE X GYPSUM BOARD EACH SIDE TO UNDERSIDE OF DECK ABOVE. FILL CAVITY WITH 3" MINERAL WOOL BATT INSULATION.
- 4 NEW CORRIDOR / DEMISING WALL: 1 HR RATED  
No. UL 305  
NEW 2X4 WOOD FRAMING WITH (1) LAYER 5/8" TYPE X GYPSUM BOARD EACH SIDE TO UNDERSIDE OF DECK ABOVE. FILL CAVITY WITH 3" MINERAL WOOL BATT INSULATION.
- 5 TYPICAL EXISTING OR NEW WALL: NON RATED  
EXISTING OR NEW 2X4 WOOD FRAMING WITH (1) LAYER 5/8" TYPE X GYPSUM BOARD ON EACH SIDE.

- GENERAL NOTES:**
- Do not scale these drawings. Use figured dimensions only.
  - Take necessary field measurements and otherwise verify dimensions shown on the drawings. Should any error or inconsistency exist, the contractor shall notify the architect prior to construction.
  - Contractors are solely responsible for construction means, methods, techniques, sequences and procedures and for coordination of the work under the contract.
  - Should hidden field conditions require modifications to the lay-out, the General Contractor shall coordinate with the architect.
  - Where items or fixtures are removed from walls, ceilings and/or floor, patch and repair walls, ceilings and/or floor to match adjacent surfaces.
  - Patch existing walls and ceilings surfaces to remain at all abandoned holes prior to painting.

- KEY NOTES:**
- Remove and dispose of unless otherwise noted (u.n.o.)
  - Not all of the key notes are used on this drawing.
  - 01 New floor mounted toilet
  - 02 New shower and bench
  - 03 New sink and support shelf
  - 04 New millwork
  - 05 New wire rod and shelf
  - 06 New mailbox system
  - 07 New Kitchen appliances
  - 08 New Kitchen Sink
  - 09 Patch Plaster @ edge of exposed masonry walls
  - 10 Exist. elevator
  - 11 New mechanical shaft. See mech. drawings
  - 12 New wood handrails
  - 13 Line of stair landing above
  - 14 Restore existing wood stair: stabilize or provide new stringers, treads, newel post, guardrails, etc. as required and paint
  - 15 New skylight in ex. opening
  - 16 Patch wall penetrations around new make up air ductwork
  - 17 New steel lintel
  - 18 Infill existing floor @ removed conc slabs; provide scissored 2x10 floor joists & new 1/2" plywood decking
  - 19 Restore existing marble stair, wainscot, and mosaic tile
  - 20 New painted steel handrail
  - 21 New ceiling soffit above
  - 22 New concrete slab @ trenching for plumbing
  - 23 Infill existing window opening, match existing surrounding construction
  - 24 New chain link fence with lockable gate
  - 25 New housekeeping pad - see note W on sheet E501

6 EXISTING CLAY TILE WALL: 2 HR RATED  
No. W-5-M-79  
EXISTING 4" CLAY TILE WITH 3/4" CEMENT PLASTER ON EACH SIDE OF WALL ASSEMBLY.

7 EXISTING GYPSUM PYROBLOCK WALL: 2 HR RATED  
No. W-4-M-86  
EXISTING 3" GYPSUM PYROBLOCK UNITS WITH 3/4" CEMENT PLASTER ON EACH SIDE OF WALL ASSEMBLY.

8 NEW SHAFT WALL: 2 HR RATED  
No. UL 415 SYSTEM B  
NEW 2-1/2" C-H SHAPED METAL STUDS (MIN. 25 GAUGE) WITH (2) LAYERS OF 5/8" TYPE X GYPSUM BOARD ON (1) SIDE AND 1" THICK GYPSUM LINER PANELS ON THE OPPOSITE SIDE WITH 1" THICK MINERAL WOOL BATT INSULATION FITTED IN CAVITY.

9 EXISTING MASONRY WALL: 5 HR RATED  
No. W-8-M-19  
EXISTING BRICK MASONRY

10 EXISTING CLAY TILE WALL: 2.2 HR RATED  
CHAPTER 1412.6.8 MBC 2012  
EXISTING 4" CLAY TILE WITH 3/4" CEMENT PLASTER ON ONE SIDE OF WALL ASSEMBLY.

11 EXISTING STAIR WALL: 2 HR RATED  
No. UL U301  
EXISTING 2X4 STUDS WITH NEW (2) LAYERS 5/8" TYPE X GYPSUM BOARD EACH SIDE TO UNDERSIDE OF DECK ABOVE.

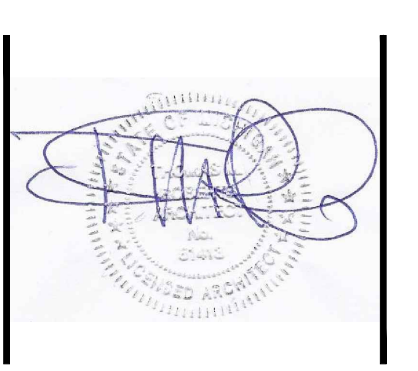
12 NEW STAIR WALL: 2 HR RATED  
No. UL U301  
NEW 2X4 STUDS WITH NEW (2) LAYERS 5/8" TYPE X GYPSUM BOARD EACH SIDE TO UNDERSIDE OF DECK ABOVE.

**SYSTEMS SOLUTION CONSULTANT, LLC**  
1663 Stephenson Hwy, Suite 201  
Troy, MI 48083  
(T) 248.247.1193

**THOMAS ROBERTS ARCHITECT, LLC**  
2927 4th Street  
Wyandotte, MI 48192  
(t) 734.250.4032

03.24.17	owner review	
03.30.17	owner review	
04.04.17	owner review	
05.17.17	owner review	
05.26.17	final owner review	
06.20.17	final owner review	
06.30.17	permits	
08.23.17	permit corrections	

03.11.19	1	Bulletin #1
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**Urbane on Willis**  
479 W. Willis  
Detroit, Michigan 48201

TR principal in charge  
TR project manager  
RS project architect  
YI drawn

2017.05.26 date  
17007 job number

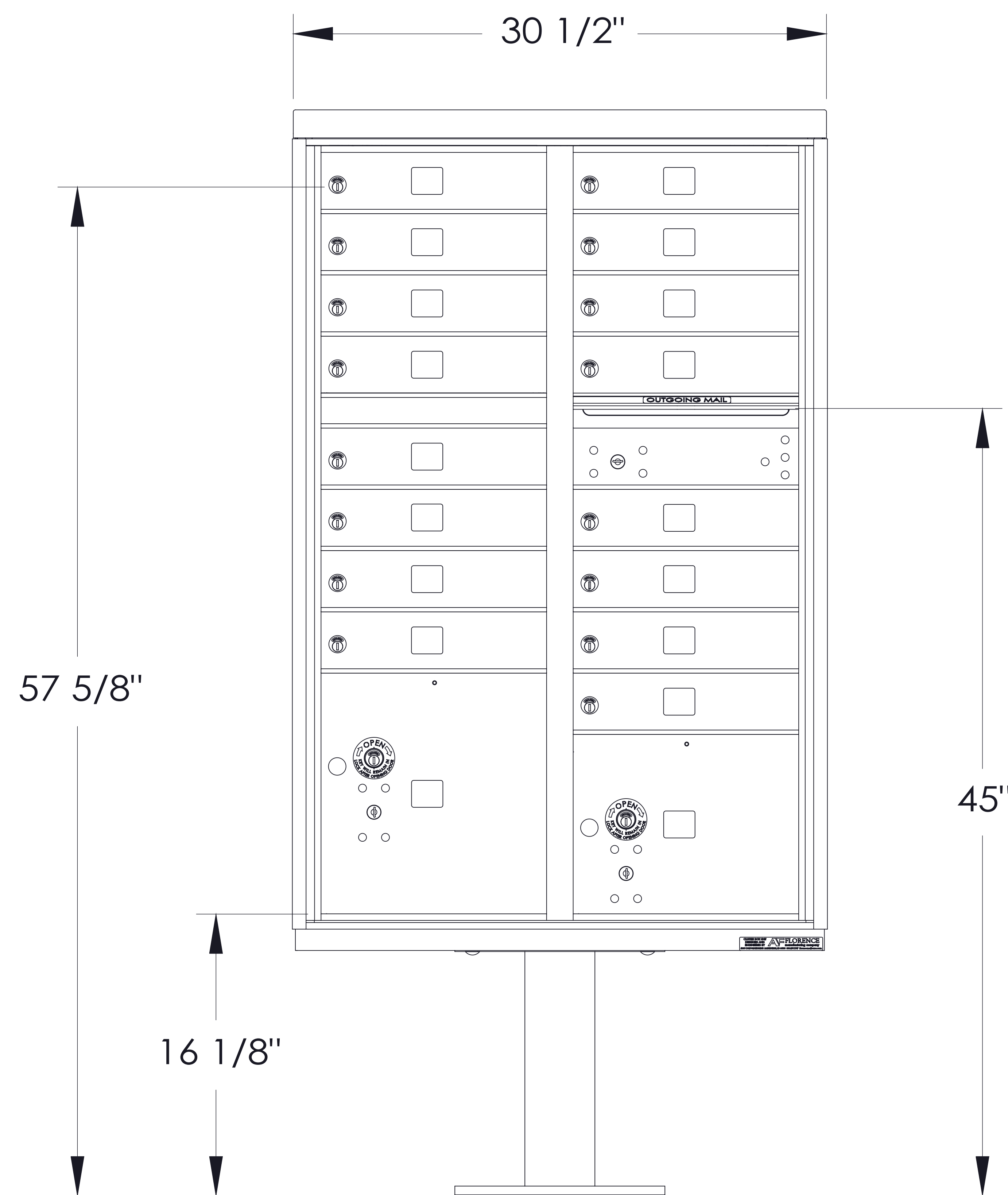
**A101**  
sheet number



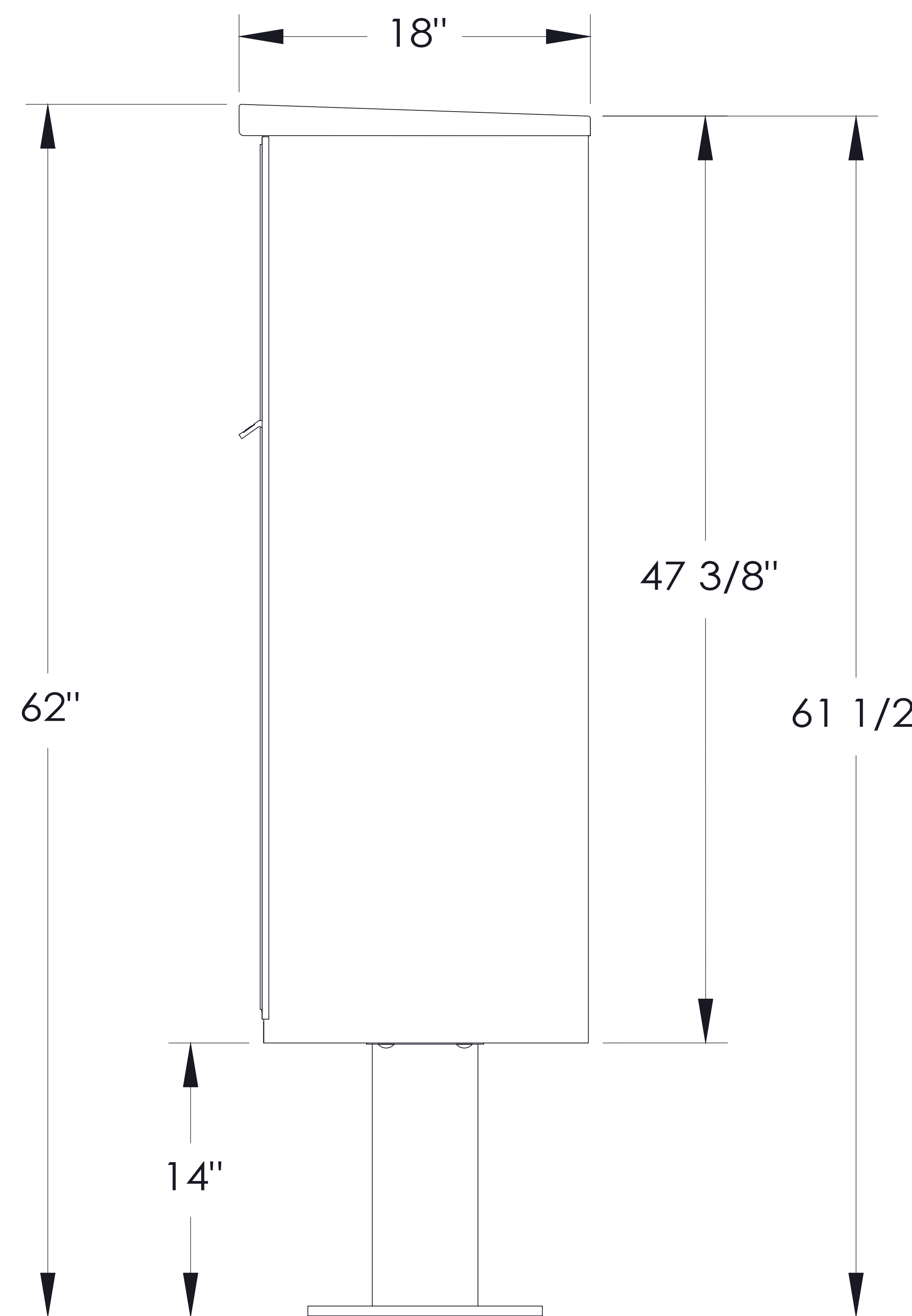




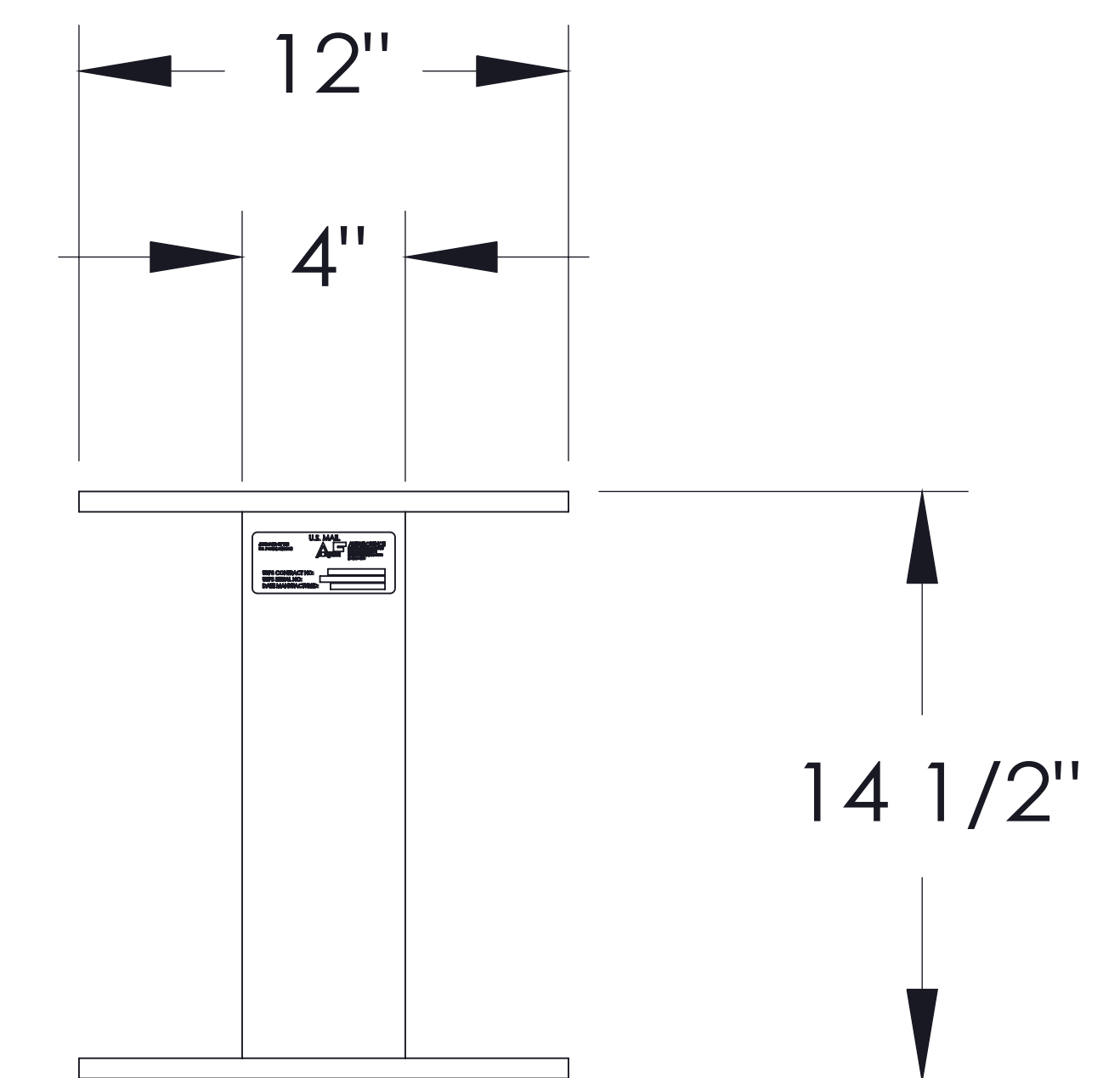
# vital™ Cluster Box Unit - Type III



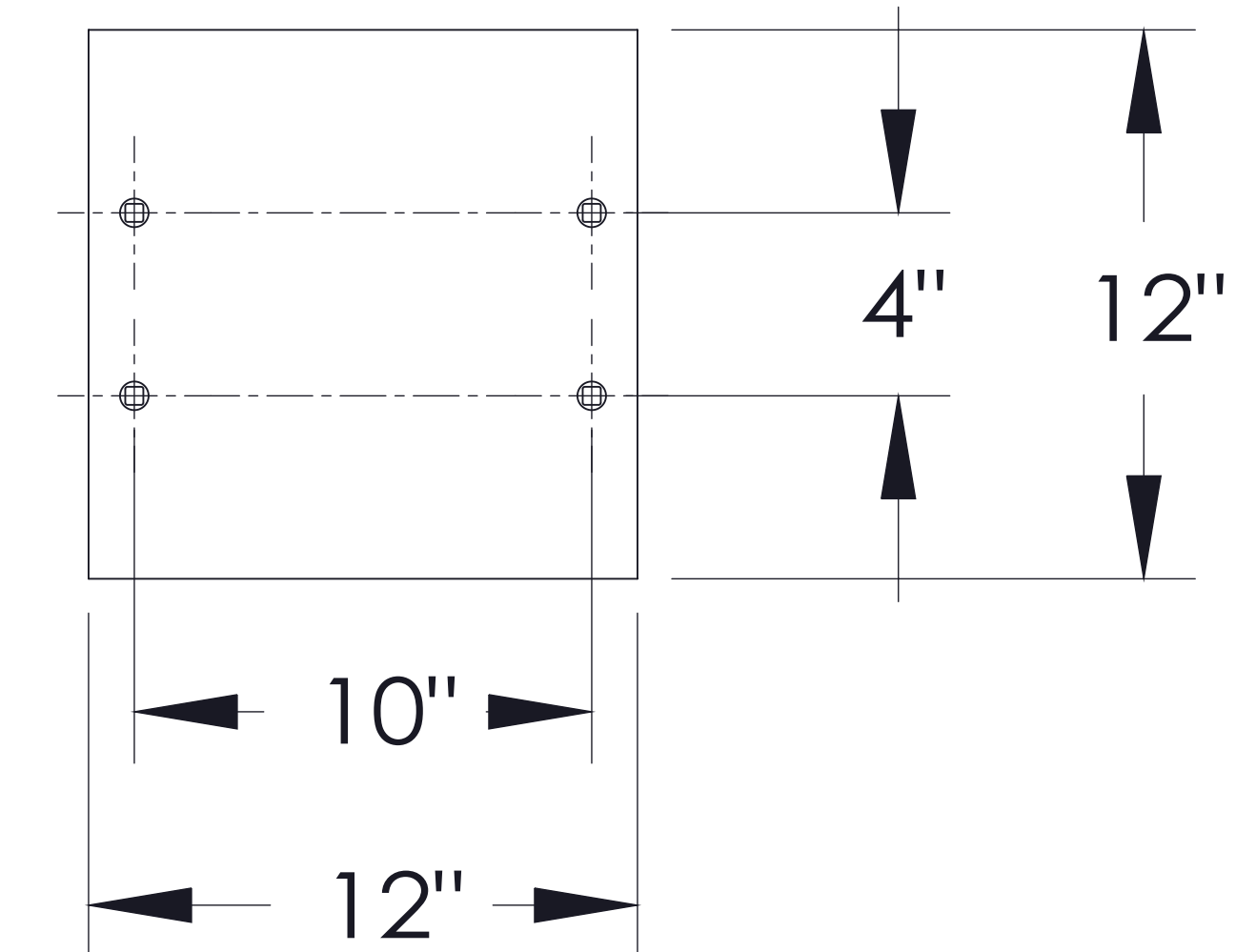
FRONT VIEW



SIDE VIEW



PEDESTAL



PEDESTAL BASE BOLT PATTERN

DOOR CHART

DOOR TYPE	DIMENSION (HEIGHT x WIDTH)
TENANT	3-3/8"x12-13/16"
10" PARCEL	10-1/4"x12-13/16"
13" PARCEL	13-3/4"x12-13/16"
OUTGOING SLOT	3/4"x11-3/4"

## NOTES:

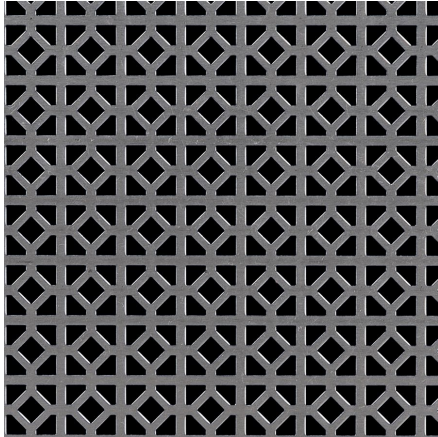
1. This unit is approved for USPS and private applications.
2. Decorative mailbox accessories sold separately and are USPS Approved products.
3. Pedestal should be installed with included Rubber Pad; mounting hardware not included, refer to installation manual for recommendations.
4. Florence "F" series CBU is Officially Licensed by USPS: License#CDSEQ-08-B-0012

PRODUCT SERIES: vital™ CLUSTER BOX UNIT



WebLife Stores LLC  
PO Box 20338, Panama City Beach, FL 32417  
www.budgetmailboxes.com • (866) 707-0008

MODEL 1570-16	REV A
SCALE NONE	LAST REV DATE 9/26/2012
DRAWING NUMBER 1570-16CS	DRAWN BY AFD



## McNICHOLS® PERFORATED METAL

Designer Perforated, WINDSOR 1845, Aluminum, Alloy 3003-H14, .0400" Thick (18 Gauge), 5/8" Square (1/4" Interior Diamond) on 3/4" Straight Centers, 45% Open Area

**McNICHOLS®** Perforated Metal, Designer Perforated, WINDSOR 1845, Aluminum, Alloy 3003-H14, Mill Finish, .0400" Thick (18 Gauge), 5/8" Square (1/4" Interior Diamond) on 3/4" Straight Centers, 1/8" Bar Width, Minimum Solid Margins Both Sides of Sheet Parallel to Length of Sheet, Holes Sheared Through Both Ends of Sheet Parallel to Width of Sheet, 45% Open Area

**ITEM** 17940040M2 - 36" x 24"

### ITEM SPECIFICATIONS

<b>Item Number</b>	17940040M2
<b>Product Line</b>	Perforated Metal
<b>Designer Type</b>	Designer Perforated
<b>Series Name</b>	WINDSOR
<b>Series Number</b>	1845
<b>Primary Material</b>	Aluminum (AL)
<b>Alloy, Grade or Type</b>	Alloy 3003-H14 (3003H14)
<b>Material Finish</b>	Mill Finish
<b>Gauge/Thickness</b>	.0400" Thick (18 Gauge)
<b>Hole Pattern</b>	5/8" Square (1/4" Interior Diamond) on 3/4" Straight Centers
<b>Hole Size</b>	5/8"
<b>Hole Centers</b>	3/4"
<b>Bar Width</b>	1/8"
<b>Hole Arrangement</b>	Straight Centers
<b>Margins Parallel to Width</b>	Sheared Through Both Ends
<b>Margins Parallel to Length</b>	Minimum Solid Both Sides
<b>End Pattern</b>	Sheared Through Both Ends



<b>Percent Open Area</b>	45%
<b>Weight</b>	0.32 Lbs./Square Foot
<b>Product Form</b>	Sheet
<b>Sizes (Width x Length)</b>	36" x 24"; 36" x 48"; 36" x 96"



# QUANTUM QC SERIES

## iP BROWSER TELEPHONE ENTRY SYSTEM



Commercial application telephone entry system, programmable via Web Browser.

No "Software Installation" necessary

No "Monthly Fee"

Four way to program, via LAN, WAN, Direct Connect or System's Keypad.

Selectable port, no "Dedicated Static IP" needed.

Surface or Full-Flush Mount

FEATURES/MODEL	QC1 Surface	QC1FF Full Flush	QC1IP Surface	QC1IPFF Full Flush	QC2IP Surface	QC2IPFF Full Flush	QC6IP Surface	QC6IPFF Full Flush
<b>QWCM IP Browser</b>	optional	optional	yes	yes	yes	yes	yes	yes
<b>Input power 12Vac transformer supplied</b>	12Vac/12Vdc	12Vac/12Vdc	12Vac/12Vdc	12Vac/12Vdc	12Vac/12Vdc	12Vac/12Vdc	12Vac/12Vdc	12Vac/12Vdc
<b>Current consumption</b>	900mA	900mA	1150mA	1150mA	1150mA	1150mA	1150mA	1150mA
<b>Operating temperature</b>	0-140 °F	0-140 °F	0-140 °F	0-140 °F	0-140 °F	0-140 °F	0-140 °F	0-140 °F
<b>16 x 1 Backlit LCD</b>	yes	yes	yes	yes	yes	yes	yes	yes
<b>Backlit keypad button</b>	yes	yes	yes	yes	yes	yes	yes	yes
<b>Tenant capacity</b>	100	100	100	100	250	250	600	600
<b>Access code capacity 4-8 digit</b>	300	300	300	300	1000	1000	600	600
<b>Card/Fob capacity</b>	300	300	300	300	1000	1000	3000	3000
<b>Number of Built-in relay form C dry contact</b>	2	2	2	2	2	2	2	2
<b>26-Bit wiegand input</b>	yes	yes	yes	yes	yes	yes	yes	yes
<b>Built-in 26-Bit <i>proprietary</i> card reader</b>	yes	yes	yes	yes	yes	yes	yes	yes
<b>10 - Time Zone</b>								
<b>10 - Auto unlock schedule</b>								
<b>20 - Holiday time zone</b>								
<b>10 - Unlock hold card</b>								
<b>10 - Unlock hold code 4-8 digit</b>								
<b>10 - Temporary card up to 10 times used</b>								
<b>10 - Temporary code 4-8 digit up to 10 times used</b>								
<b>2 - Auxiliary input for exit switch, postal lock</b>								
<b>2 - Door sensor</b>								
<b>Unlock hold timer</b>	yes	yes	yes	yes	yes	yes	yes	yes
<b>Event recording buffer</b>	600	600	600	600	600	600	600	600
<b>Satellite Keypad, Card Reader or Combo w/ independent access</b>	max. 8	max. 8	max. 8	max. 8	max. 8	max. 8	max. 8	max. 8
<b>Surface mount dimension</b>	6-7/16"(H) x 10-3/8"(W) x 3-1/2"(D)							
<b>Full-flush mount dimension</b>	Outside: 9-13/16"(H) x 11-13/16"(W) Inside: 7-1/2"(H) x 10-1/2"(W) x 3-5/8"(D)							
<b>Warranty</b>	24 month							
<b>ACCESSORIES</b>								
<b>QVPC</b> Analog color camera				<a href="#"><i>Pedestal Mounting Post, Adapter Plate and Mounting Ring</i></a>			<a href="#"><i>Miscellaneous Accessories</i></a>	
<b>USCR</b> 26-Bit Wiegand Satellite Card Reader							<b>USP1</b> AC and Telephone Surge Protector.	
<b>USKP</b> Satellite keypad				<b>UPM1S</b> Standard Single Arm (42"H, 5"x5" base)			<b>USP2L</b> Surge and Lightning Protection, <i>include Lightning on 24 months warranty</i>	
<b>USKPR</b> Satellite Card Reader and Keypad Combination				<b>UPM1L</b> Large Single Arm (47"H, 8"x8" base)			<b>UBAT1</b> 12VDC 4.5 Ahr backup battery.	
<b>UFOB</b> Quantum Keyfob				<b>UPM6L</b> Large Single Arm (64"H, 8"x8" base)			<b>UXIT</b> Multipurpose push button switch	
<b>UCLAM</b> Quantum Clam Shell Card				<b>UPM2</b> Double Vertical Arm (44"/84"H, 8"x8" base)			<b>IREXIT</b> Infrared exit switch	
<b>UIISO</b> Quantum ISO Card				<b>UPM5</b> Double Horizontal Arm (47"H, 8"x8" base)				
<b>UCRM</b> 26-Bit Wiegand/RS-485 controller Module				<b>UPM12E</b> 12" Expansion Arm use for all UPM				
				<b>UPMDB64</b> Single Arm Direct Buriel (64"H)				